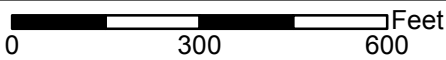


HECK-ANDREWS HOUSE RENOVATIONS SR-90-17



Zoning: **DX-3-DE/ HOD-G**

CAC: **North Central**

Drainage Basin: **Pigeon House**

Acreage: **0.4**

Sq. Ft.: **11,232**

Planner: **Ryan Boivin**

Phone: **(919) 996-2681**

Applicant: **James Grady**

Phone: **(919) 834-5939**





Administrative Approval Action

SR-90-17 Heck-Andrews House Renovations
Transaction # 534991, AA # 3786

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of N Blount St and the south side of E North Street. The site is addressed at 309 N Blount Street, which is inside City limits.

REQUEST: Development of a 0.4 acre tract zoned DX-3-DE with General Historic Overlay district (Blount Street HOD-G). The project proposes renovations to the existing structure, an addition, and change of use. Previously this was a detached house. As proposed the existing structure will include office use and special event space. An addition of 960 SF is proposed and will be located to the rear of the existing structure.

DESIGN ADJUSTMENT(S)/

ALTERNATES, ETC: A Design Adjustment was approved for UDO Section 8.5 providing relief from streetscape improvements for existing streets.

A certificate of appropriateness was granted by the City of Raleigh Historic Development Commission (ref. 133-17-MW).

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by James Grady of James Grady Architect PLLC.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. Provide fire flow analysis.
2. All proposed work must comply with the certificate of appropriateness approved by the City of Raleigh Historic Development Commission.

ENGINEERING

3. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' of sidewalk for 265' shall be paid to the City of Raleigh.
4. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.



Administrative Approval Action

SR-90-17 Heck-Andrews House Renovations
Transaction # 534991, AA # 3786

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STORMWATER

5. The lot is grandfathered per UDO 9.2.2.A.1, a one-half acre or less in size, used for any other lawful use requiring a plot plan or site plan. Per 9.2.2. A.4. site is limited to 65% impervious area without additional runoff controls. Proposed impervious surface is less than 65%.

URBAN FORESTRY

6. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

Prior to issuance of building occupancy permit:

7. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 4-18-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 4/19/2018

Staff Coordinator: Ryan Boivin

Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Heck-Andrews Renovations	
	Development Case Number	SR-90-2017	
	Transaction Number	534991	
	Design Adjustment Number	DA - 7 - 2018	
STAFF RESPONSE	Staff recommendation based upon the findings in the applicable code(s):		
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual	
	Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.		
	DEPARTMENTS		
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning	
	<input checked="" type="checkbox"/> Development Engineering	<input type="checkbox"/> Transportation	
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.	
	<input type="checkbox"/> Public Utilities		
	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			


Authorized Signature

DANIEL KING, PE
ENGINEERING REVIEW MANAGER

4/18/18
Date

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.5 Existing Streets



DEVELOPMENT
SERVICES
DEPARTMENT

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise safety;
YES NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and
YES NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.
YES NO

STAFF FINDINGS

Staff Supports the request for a Design Adjustment regarding street widening responsibilities and public right-of-way dedication for the property at 309 N Blount St. This property is located in an already developed area where additional street connections and public right-of-way dedication is not required and the changes to the site does not create any additional maintenance responsibilities for the City. This property is located within the original confines of the William Christmas Plan.

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

PROJECT	Project Name Heck-Andrews House Renovations	
	Case Number SR-90-2017	
	Transaction Number 534991	
OWNER	Name Bryan Jenkins, Chief Financial Officer, North Carolina Association of Realtors	
	Address 4511 Weybridge Lane	City Greensboro
	State NC	Zip Code 27407 Phone 336 294-3112
CONTACT	Name James Grady, PhD, AIA	Firm James Grady Architect, PLLC
	Address 129 Sterlingdaire Dr	City Cary
	State NC	Zip Code 27511 Phone 919 834-5939
REQUEST	I am seeking a Design Adjustment from the requirements set forth in the following:	
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	- See page 2 for findings
	<input type="checkbox"/> UDO Art. 8.4 New Streets	- See page 3 for findings
	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets	- See page 4 for findings
	<input type="checkbox"/> Raleigh Street Design Manual	- See page 5 for findings
	Provide details about the request; (please attach a memorandum if additional space is needed):	
The Heck-Andrews House at 309 N. Blount St, a State of NC Historic Site per Ordinance No. (1972)-308, within the City of Raleigh's Blount St. Historic Overlay District, listed on the National Register of Historic Places, lies within the 1 sq. mile Original Raleigh Christmas Plan. Since the City of Raleigh's UDO does not reference the Christmas Plan, the City Planning Transportation Dept. requires submittal of this Design Amendment, in conjunction with the Administrative Site Plan Review of proposed adaptive re-use of the property, to address non-conformance of existing street frontages to public right-of-way dedication of street widening requirements of the UDO 8.5 Streetscape Standards, as specified in the ASR Transportation Review Comments. The site includes the existing 1867 Historic Heck-Andrews House, a proposed New Addition on the site of the former Historic Carriage House (demolished 1996), the existing repaired paved driveway with new Parking and Turnaround, and Existing Driveway access from North Street, as approved with conditions by Certificate of Appropriateness 08-15-2017. Approval is based on UDO sections 8.3.6.A-F and 8.5.1.G. Attachments: AS-1e, AS-1, CE-1, CE-2, L-1.1, L-2.0, AS-4, Historic Ordinance.		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

James S. Grady, PhD, AIA 2 Mar. 2018
 Owner/Owner's Representative Signature Date

CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input checked="" type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to designadjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
 Development Services, Development Engineering
 One Exchange Plaza, Suite 500
 Raleigh NC, 27601

For Office Use Only	RECEIVED DATE: 3/6/2018	DA - 7 - 2018
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Article 8.5 Existing Streets

Administrative Design Adjustment Findings



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

A. The requested design adjustment meets the intent of this Article;

Per Article 8.5.1.A, Intent, Item 3: Design Adjustments pursuant to 8.1.G may be appropriate when an existing building would impede expansion, when transitioning from a different street section, or where strict compliance with this UDO and the Raleigh Street Design Manual would pose a safety hazard. This Design Adjustment from Strict conformance to the designated Streetscape requirements as specified by ASR Transportation Review Comments regarding public right of way dedication of street widening requirements for N Blount St. as Avenue 4-Lane, Parallel Parking, and North St. as Main Street, Parallel Parking, meet this intent.

B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;

The Heck-Andrews House at 309 N. Blount St, a State of NC Historic Site per Ordinance No. (1972)-308, within the City of Raleigh's Blount St. Historic Overlay District, listed on the National Historic Register of Historic Places, lies within the 1 sq. mile Original Raleigh Christmas Plan.

C. The requested design adjustment does not increase congestion or compromise safety;

The proposed Design Adjustment does not make any changes to the existing street frontage or street access that would increase congestion or compromise safety.

D. The requested design adjustment does not create additional maintenance responsibilities for the City; and

The proposed Design Adjustment does not make any changes to the existing street frontage or street access that would create additional maintenance responsibilities for the City.

E. The requested design adjustment has been designed and certified by a Professional Engineer.

The Administrative Site Plan Review drawings submitted with this Design Adjustment have been designed and prepared by members of the Design Team lead by the Registered Architect of Record, and include the Civil Engineer of Record:

- AS-1e Existing Conditions Site Plan
- AS-1 Proposed Site Plan
- AS-4 Transportation Site Plan
- CE-1 Utilities Site Plan
- CE-2 Utilities Details

Individual Acknowledgement



DEVELOPMENT
SERVICES
DEPARTMENT

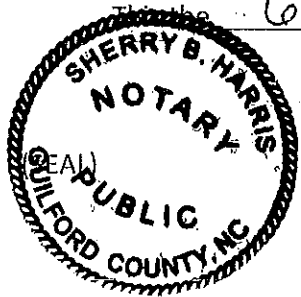
Bryan M. Jenkins as NCAR CFO/Owner 3/6/18

STATE OF NORTH CAROLINA
COUNTY OF Guilford

INDIVIDUAL

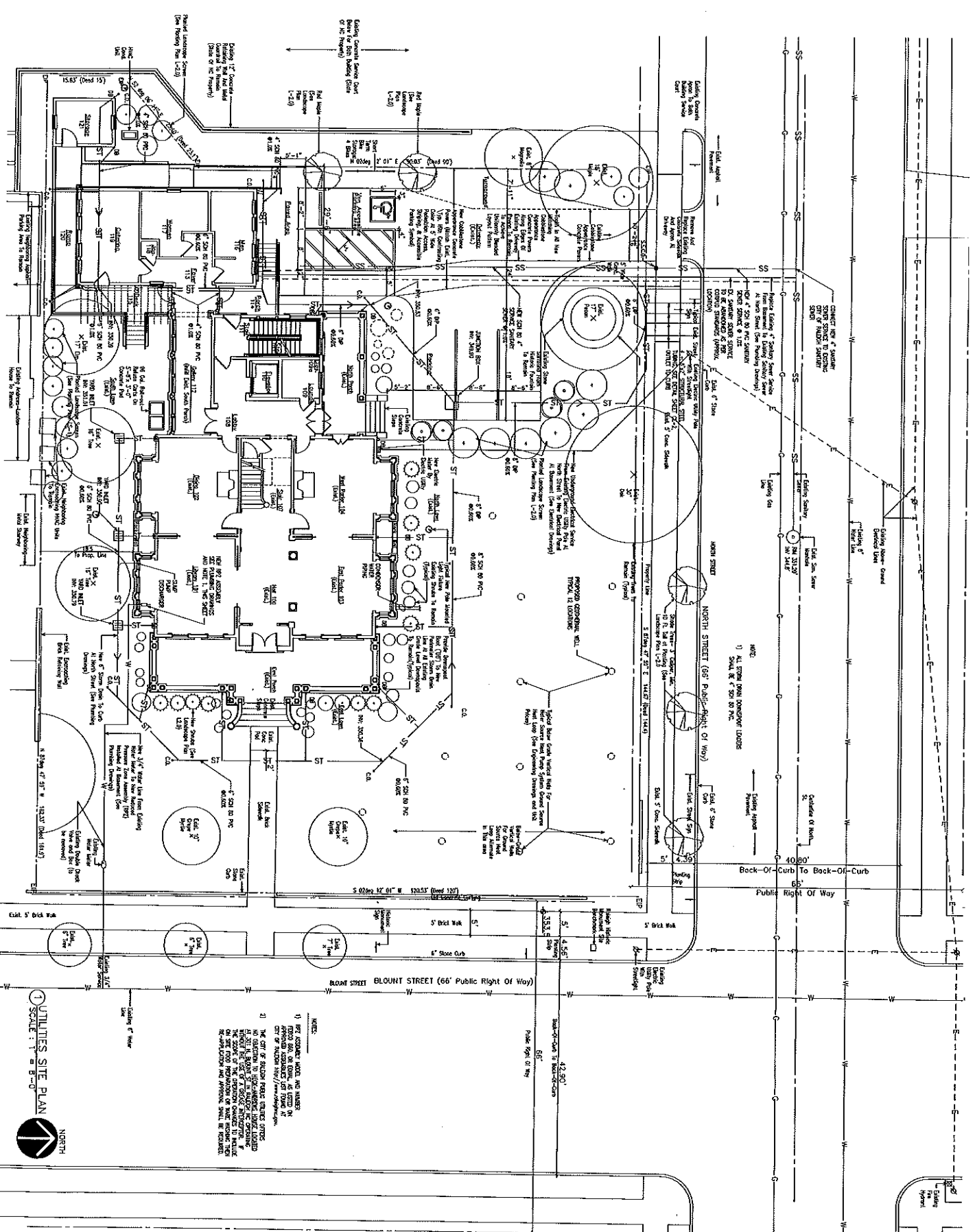
I, Sherry B. Harris, a Notary Public do hereby certify that
Bryan M. Jenkins personally appeared before me this day and
acknowledged the due execution of the forgoing instrument.

This is the 6 day of March, 2018.



Notary Public Sherry B. Harris

My Commission Expires: April 7, 2022



NOTE:
 1) ALL UTILITY PIPES AND CONDUITS SHALL BE 6" DIA. OR LARGER.
 2) ALL UTILITY PIPES SHALL BE 18" DIA. OR LARGER.

Public Right of Way
 40' 00" To Back-Of-Curb
 6' 00" To Back-Of-Curb

BLOUNT STREET (66' Public Right of Way)
 NORTH STREET (65' Public Right of Way)

- NOTES:
- 1) PER ASSUMED LOCAL AND STATE REGULATIONS, ALL UTILITY PIPES SHALL BE 18" DIA. OR LARGER.
 - 2) THE CITY OF RALEIGH REQUIRES ALL UTILITY PIPES TO BE 18" DIA. OR LARGER.
 - 3) ALL UTILITY PIPES SHALL BE 18" DIA. OR LARGER.
 - 4) ALL UTILITY PIPES SHALL BE 18" DIA. OR LARGER.
 - 5) ALL UTILITY PIPES SHALL BE 18" DIA. OR LARGER.

UTILITIES SITE PLAN
 SCALE: 1" = 8'-0"
 NORTH

CE-1	Heck-Andrews House Renovations 309 H. BLOUNT ST RALEIGH, NC 27601			James Grady Architect PLLC 129 STERLINGDAIRE DRIVE CARY, NC 27511 Phone: (919) 834-5939 Fax: (919) 834-5939 E-mail: jgr@jgarchitect.net
UTILITIES SITE PLAN	North Carolina Association of Realtors			



PROJECT NAME:

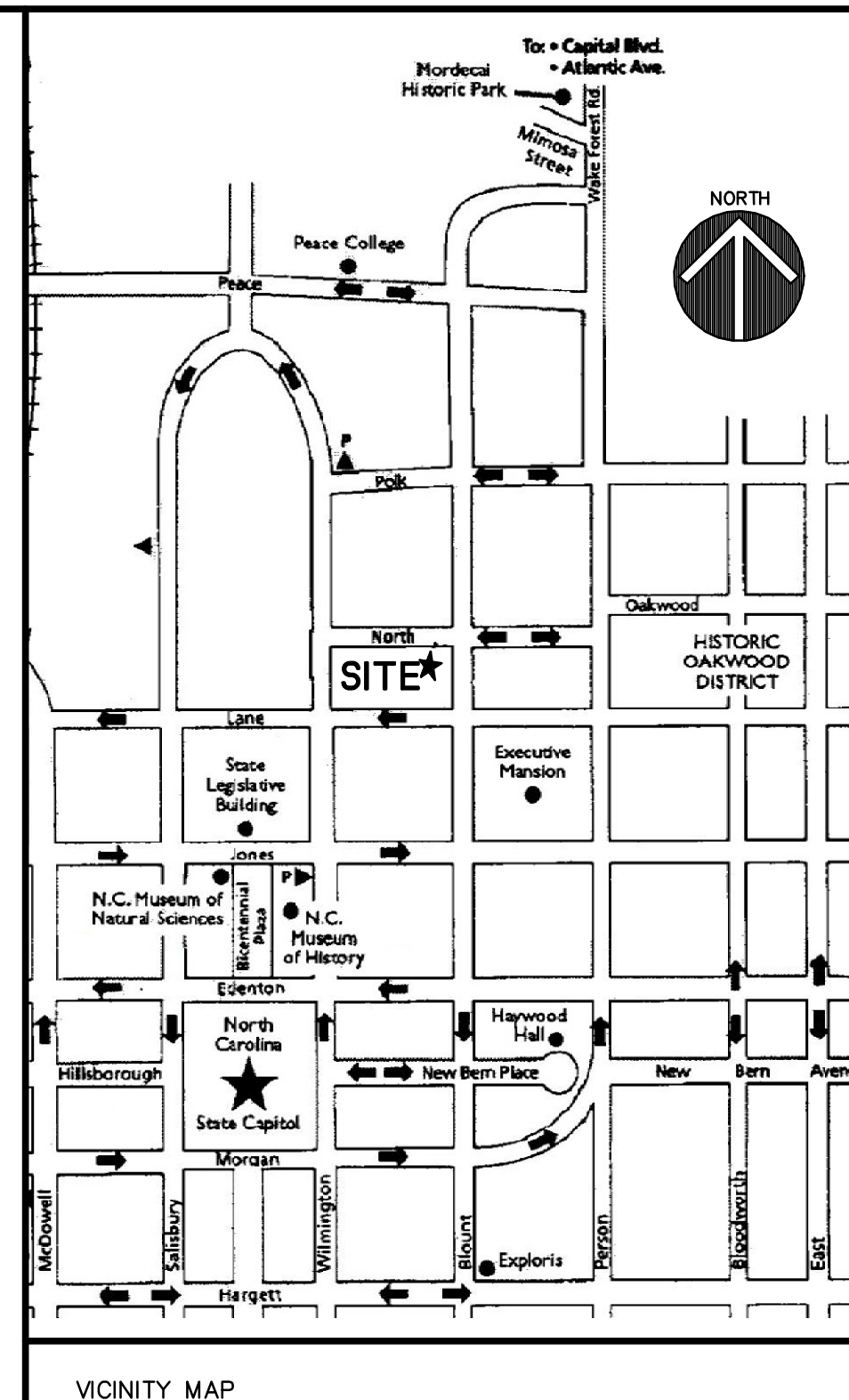
Heck-Andrews House Renovations

309 N. Blount Street Raleigh, NC 27601

OWNER:

North Carolina Association Of Realtors

4511 Weybridge Lane Greensboro, NC 27407



INDEX OF DRAWINGS:

- CS-1 COVER SHEET- ASR APPLICATION; COA PLACARD, DRAWING INDEX, NOTES & LEGENDS
- AS-1e EXISTING CONDITIONS SITE PLAN SCALE: 1"=6'
- AS-1 PROPOSED SITE PLAN SCALE: 1"=6'
- AS-2 GRADING PLAN SCALE: 1"=6'
- AS-3 FIRE APPARATUS SITE PLAN SCALE: 1"=8'
- AS-4 TRANSPORTATION SITE PLAN SCALE: 1"=10'
- AS-5 SITE DETAILS & EXTERIOR LIGHTING & HVAC CUT SHEETS
- CE-1 UTILITIES SITE PLAN SCALE: 1"=8'
- CE-2 UTILITIES DETAILS NOT TO SCALE
- L-1.0 TREE CONSERVATION PLAN SCALE: 1"=6'
- L-1.1 TREE PROTECTION NOTES & LANDSCAPING DETAILS SCALE: 1"=6'
- L-2.0 LANDSCAPE PLAN SCALE: 1"=6'
- A-5e EXISTING BUILDING EAST ELEVATION SCALE: 1/4"=1'-0"
- A-5 EAST ELEVATION AT NEW ADDITION SCALE: 1/4"=1'-0"
- A-6e EXISTING BUILDING NORTH ELEVATION SCALE: 1/4"=1'-0"
- A-6 NORTH BUILDING ELEVATION- RENOVATION & ADDITION 1/4"=1'-0"
- A-7e EXISTING BUILDING WEST ELEVATION SCALE: 1/4"=1'-0"
- A-7 WEST BUILDING ELEVATION- RENOVATION & ADDITION 1/4"=1'-0"
- A-8e EXISTING BUILDING SOUTH ELEVATION SCALE: 1/4"=1'-0"
- A-8 SOUTH BUILDING ELEVATION- RENOVATION & ADDITION 1/4"=1'-0"

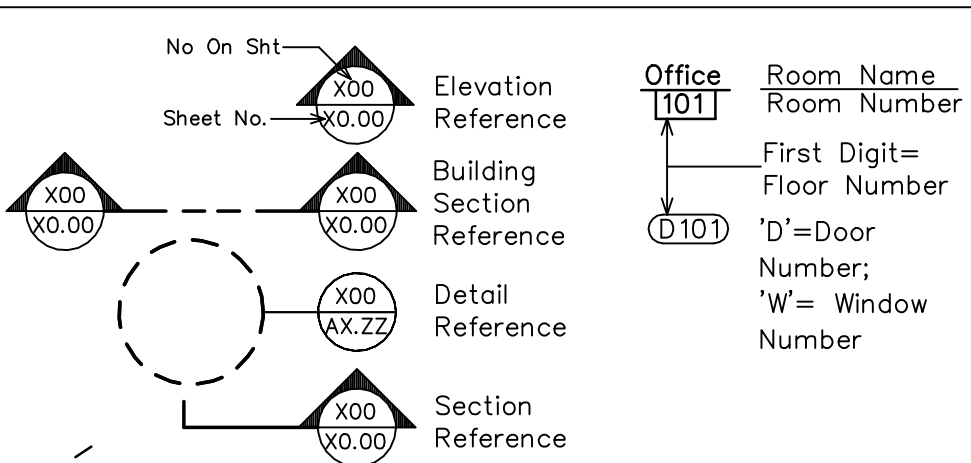
1. The City of Raleigh's Solid Waste Design Manual has been reviewed and the proposed site plan is in compliance with its requirements. (2) 96 Gal. Refuse Carts, Stored On A City Street, x 3'-0" Concrete Pad, As Shown On The Plans, Will Be Purchased From The City And Rolled Out To The Street For Trash Collection Per Part B, "Small Business / Office In A Residential Area And In Downtown", Of The Raleigh Solid Waste Design Manual.
2. Active Stormwater Controls & Stormwater Plan ASR Exemption Applies, per Following UDO Sections Below: Grandfathered lot, less than 1/4 acre, with Proposed Impervious = 18% / 41 acre sites= 44% impervious, which is less than the 65% Impervious Surface Coverage Allowed By The Exemption.
3. UDO Stormwater Plan Exemption Reference: Sec. 9.2.2. Active Stormwater Control Measures
 - a. Exemptions
 1. Grandfathered Lots
 2. Defined
 - a. Any lot which was either recorded prior to May 1, 2001 (the first application of the Stormwater Management Ordinance) or lawfully recorded later as part of a subdivision approved prior to May 1, 2001.
 - b. Use Standards
 1. A grandfathered lot of one-half acre or less that has not been altered to be larger than one-half acre in size, used for any other lawful use requiring a plot plan or site plan.
 2. Impervious Surfaces Limitations and Other Regulations
 - a. Lots exempted by subsections A.1 or A.2 above shall be subject to Sec. 9.2.2. et seq. when the applicable maximum impervious surface area of the lot exceeds:
 - Zoning District Maximum Percentage of Impervious Surface Coverage
 - R-10 and all other base zoning districts 65%
4. A Design Adjustment Regarding Public Right-of-Way Dedication For Street Widening Is Being Submitted. The Heck-Andrews House Property Is Located Within The Original Raleigh 1 Sq. Mile Plan of 1792 By William Christmas.
5. City of Raleigh Planning informs the Owner with this note that any outdoor music/noise will not be amplified.
6. Prior to any work in the right-of-way, the contractor must apply for a Right-of-Way Services permit for any lane or sidewalk closures or work in the public right-of-way. A traffic control and/or pedestrian plan shall be submitted to rightofwayservices@raleighnc.gov along with the Application (See City of Raleigh Right-of-Way Obstruction Notes Below).

ASR APPLICATION STATEMENTS AND CITY CODE REFERENCES

Right-of-Way Obstruction Notes:

- Lane and Sidewalk closures or detours: Prior to any lane or sidewalk obstruction, the contractor or engineer shall submit a traffic control and/or pedestrian plan along with a Right-of-Way Services Application to request the obstruction prior to the start of work. rightofwayservices@raleighnc.gov for approval.
- The City of Raleigh requires an approved Right-of-Way Obstruction Permit for work on any public street or sidewalk and NCDOT road within Raleigh's Jurisdiction.
- All Traffic Control Signage and practices shall adhere to the Manual on Uniform Traffic Control, and the latest edition of the NCDOT "Standard Specification for Roadway Structures", NCDOT "Roadway Standard Drawing Manual", and the NCDOT supplement to the MUTCD.
- All public sidewalks must be accessible to pedestrians who are visually impaired and/or people with mobility concerns. Existing and alternative pedestrian routes during construction shall be required to be compliant with the Public Rights of Way Accessibility Guidelines (PROWAG), the ADA Standards for Accessible Design and the Manual on Uniform Traffic Control Devices (MUTCD).
- Prior to the start of work, the Client shall schedule a Pre-Construction meeting with the Engineering Inspections Coordinator to review the specific components of the approved plan, and ensure all permits are issued.
- All permits must be available and visible on site during the operation.

CITY OF RALEIGH RIGHT OF WAY OBSTRUCTION NOTES



ADMINISTRATIVE SITE PLAN REVIEW SET- CYCLE 4

Case File: SR-90-17 Transaction # 534991

James Grady Architect PLLC
129 STERLINGDAIRE DRIVE CARY, NC 27511
Phone: (919) 834-5939 Fax: (919) 834-5939
E-mail: jim@jgarchitect.net

PROJECT: Heck-Andrews House Renovations
309 N. BLOUNT ST RALEIGH, NC 27601
OWNER: North Carolina Association of Realtors

DRAWN BY: JGG
DATE: 4 APR 2018
JOB NUMBER: 1601
REVISIONS:

CS-1

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

RHDC
RALEIGH HISTORIC DEVELOPMENT COMMISSION

309 N BLOUNT STREET
Address
BLOUNT STREET
Historic District
HECK-ANDREWS HOUSE
Historic Property
133-17-MW
Certificate Number
08-15-2017
Date of Issue
08-15-2018
Expiration Date

Project Description:

- Renew COA 098-196-CA for construction of rear addition;
- expansion of driveway/parking area;
- planting evergreen screening;
- construction of pergola.

Change the COA to include installation of storm windows;

- minor window size change on addition.

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Pending the resolution of appeals, commencement of work is at your own risk.

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | cfax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE
 Detached
 Attached
 Apartment
 Townhouse
 General
 Mixed Use
 Open Lot

FOR OFFICE USE ONLY
 Transaction Number
 Assigned Project Coordinator
 Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION
 Development Name: Heck-Andrews House Renovations
 Zoning District: DX-3-DE
 Overlay District (if applicable): Blount Street Historic District
 Inside City Limits? Yes No
 Proposed Use: Office (Primary Use) and Events Outside M-F Business Hours
 Property Address(es): 309 N Blount St, Raleigh, NC 27601
 Major Street Location: SW Corner- Blount St at North St
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
 P.I.N. 1704707598
 What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office
 Mixed Residential Non-Residential Condo School Shopping Center Banks Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other: if other, please describe: Existing Historic Building Renovation & Addition- Adaptive Re-use for Office (B) & Events (A-3)

WORK SCOPE
 Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (see Chapter 6 of the UDO), indicate impacts on parking requirements. Renovation, addition & change of use: Existing un-occupied historic residence. Proposed Uses: Office 2nd & 3rd floors B; 1st Flr: Events such as weddings outside M-F Business hours= A-3; Basement Storage= S-1. Parking spaces required (DX Zoning): 11,232 of total bldg area- 10,000 sf= 1,232 sf/ 500 sf/space= 2.46 spaces provided onsite. Bike spaces provided onsite: 4 short term/ 4 long term.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
 Certificate of Appropriateness: RHDC 098-16-CA (309 N. Blount Street), approved with conditions; renewed 133-17-MW.

CLIENT/DEVELOPER/OWNER
 Company: North Carolina Association of Realtors Name (s): Bryan Jenkins, Chief Financial Officer
 Address: 4511 Weybridge Lane, Greensboro, NC 27407
 Phone: 336 294-3112 Email: bjenkins@ncraealors.org Fax: 336 299-7872

CONSULTANT (Contact Person for Plans)
 Company: James Grady Architect Name (s): James G Grady, PhD, AIA
 Address: 129 Sterlingdaire Drive, Cary, NC 27511
 Phone: 919 834-5939 Email: jim@jgarchitect.net Fax: 919 834-5939

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information		Building Information	
Zoning District(s)	DX-3-DE	Proposed building use(s)	Offices & Events (Outside M-F Business Hours)
If more than one district, provide the acreage of each:	n/a	Existing Building(s) sq. ft. gross	10,272 sf
Overlay District	Blount Street Historic District	Proposed Building(s) sq. ft. gross	960 sf
Total Site Acres	Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 0.41 acres	Total sq. ft. gross (existing & proposed)	11,232 sf
Off street parking: Required	no	Proposed height of building(s)	47' Exisit/ 17' at Addition
COA (Certificate of Appropriateness) case #	RHDC 098-16-CA (309 N. Blount Street) renewed 133-17-MW.	# of stories at 4 exist. Historic Bldg; 1 Story at Addition	
BOA (Board of Adjustment) case #	A-	Ceiling height of 1 st floor	11'-11"
CUD (Conditional Use District) case #	Z-		
Stormwater Information			
Existing Impervious Surface	0.114887 acres/square feet	Flood Hazard Area	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface	0.18 acres/square feet	If Yes, please provide:	
Neuse River Buffer	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils	Flood Study
Wetlands	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FEMA Map Panel #	
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more		
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7		
3. Total Number of Hotel Units	7. Open Space (only) or Amenity		
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No		
SIGNATURE BLOCK (Applicable to all developments)			
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.			
I hereby designate James G Grady, PhD, AIA, of James Grady Architect to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.			
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signed	Bryan M. Jenkins as CFO of NC Assoc. of REALTORS Date 10/24/2017		
Printed Name	Bryan M. Jenkins		
Signed	Date		
Printed Name	Date		

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

CERTIFICATE OF APPROPRIATENESS

C.O.	Clean Out
DB	Downspout Boot- Existing Downspout
DSB	Downspout Boot & New Downspout
EIP	Existing Iron Pipe
Exist.	Existing
F.F.E.	Finished Floor Elevation
F.H.	Fire Hydrant
PT	Point Of Tangency

ABBREVIATIONS

ADMINISTRATIVE SITE PLAN REVIEW APPLICATION- PAGES 1 & 2

—E—	Electrical Line
—G—	Natural Gas Line
—SS—	Sanitary Sewer Line
—ST—	Storm Drain Line
—W—	Water Line
—354—	Contour Line

LINE TYPE LEGEND

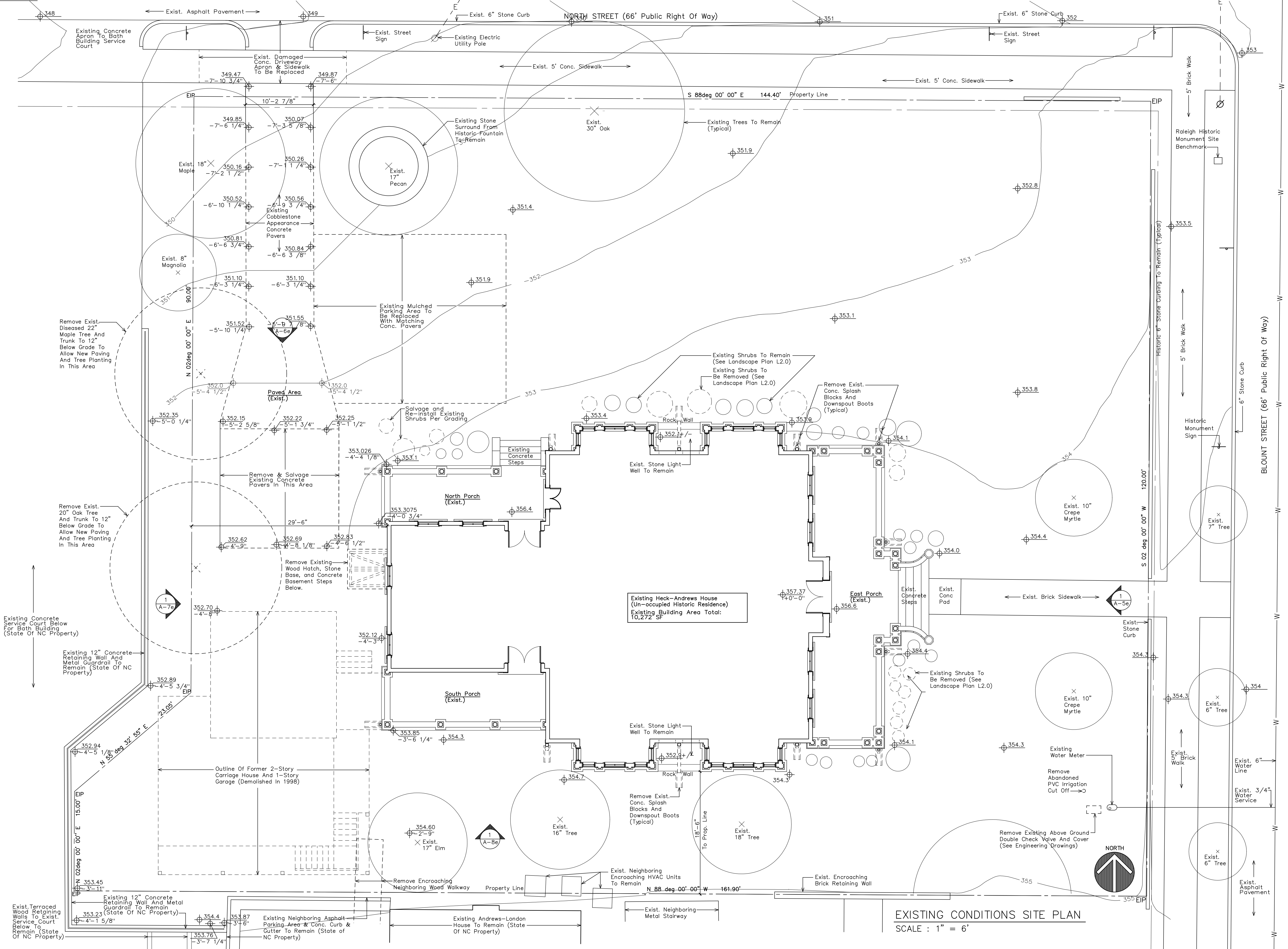
Ø	Electric Utility Pole
⊗	Fire Hydrant
↓	Street Sign
⊙	Geothermal System Vertical Well
⊕	Spot Elevation
⊙	Pole Mounted Light Fixture
▨	New Cobblestone Appearance Concrete Pavers (Match Existing)
▨	New Concrete Sidewalk
▨	New Addition- Typical Exterior Wall

SYMBOLS LEGEND MATERIALS LEGEND

CITY OF RALEIGH RIGHT OF WAY OBSTRUCTION NOTES

No On Sht	Sheet No.	Elevation Reference	Office Room Name
X00	X0.00	X00	Room Number
X00	X0.00	X00	First Digit= Floor Number
X00	X0.00	X00	D'=Door Number;
X00	X0.00	X00	'W'= Window Number
X00	X0.00	X00	

KEY SYMBOLS



EXISTING CONDITIONS SITE PLAN
SCALE : 1" = 6'

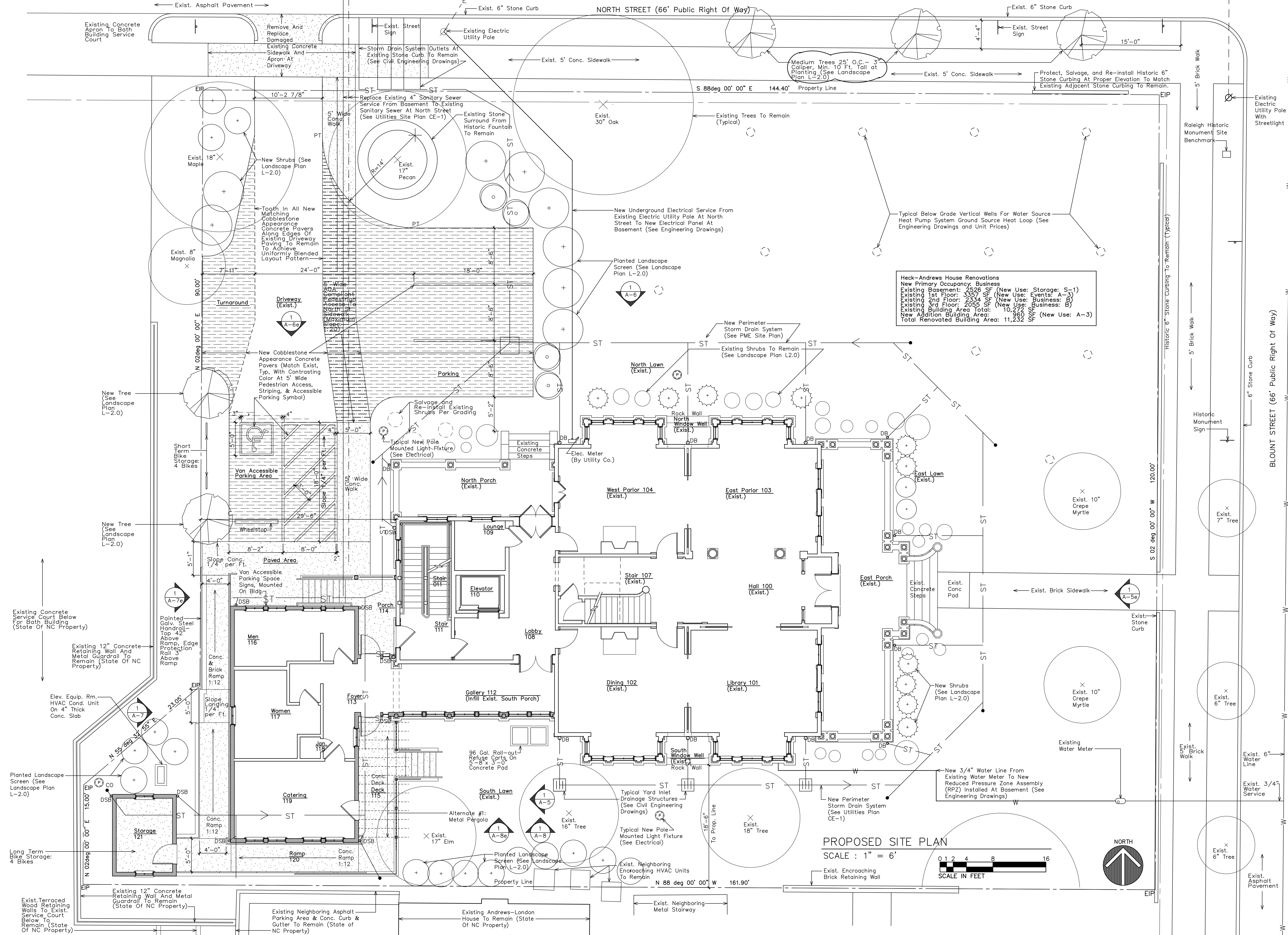
James Grady Architect PLLC
129 STERLINGDAIRE DRIVE CARY, NC 27511
Phone: (919) 834-5939 Fax: (919) 834-5939
E-mail: jim@jgarchitect.net

Heck-Andrews House Renovations
309 N. BLOUNT ST RALEIGH, NC 27601
PROJECT: OWNER:

DRAWN BY: JGG
DATE: 4 APR 2018
JOB NUMBER: 1601
REVISIONS:

DWG NAME: a_plan
\\HAH\mtec\ LINETYPE SET:
jga

AS-1e



Heck-Andrews House Renovations
 New Primary Occupancy: Business
 Existing Basement: 2526 SF (New Use: Storage: S-1)
 Existing 1st Floor: 3357 SF (New Use: Events: A-3)
 Existing 2nd Floor: 2334 SF (New Use: Business: B)
 Existing 3rd Floor: 2055 SF (New Use: Business: B)
 Existing Building Area Total: 10,272 SF
 New Addition Building Area: 960 SF (New Use: A-3)
 Total Renovated Building Area: 11,232 SF

PROPOSED SITE PLAN
 SCALE : 1" = 6'
 SCALE IN FEET

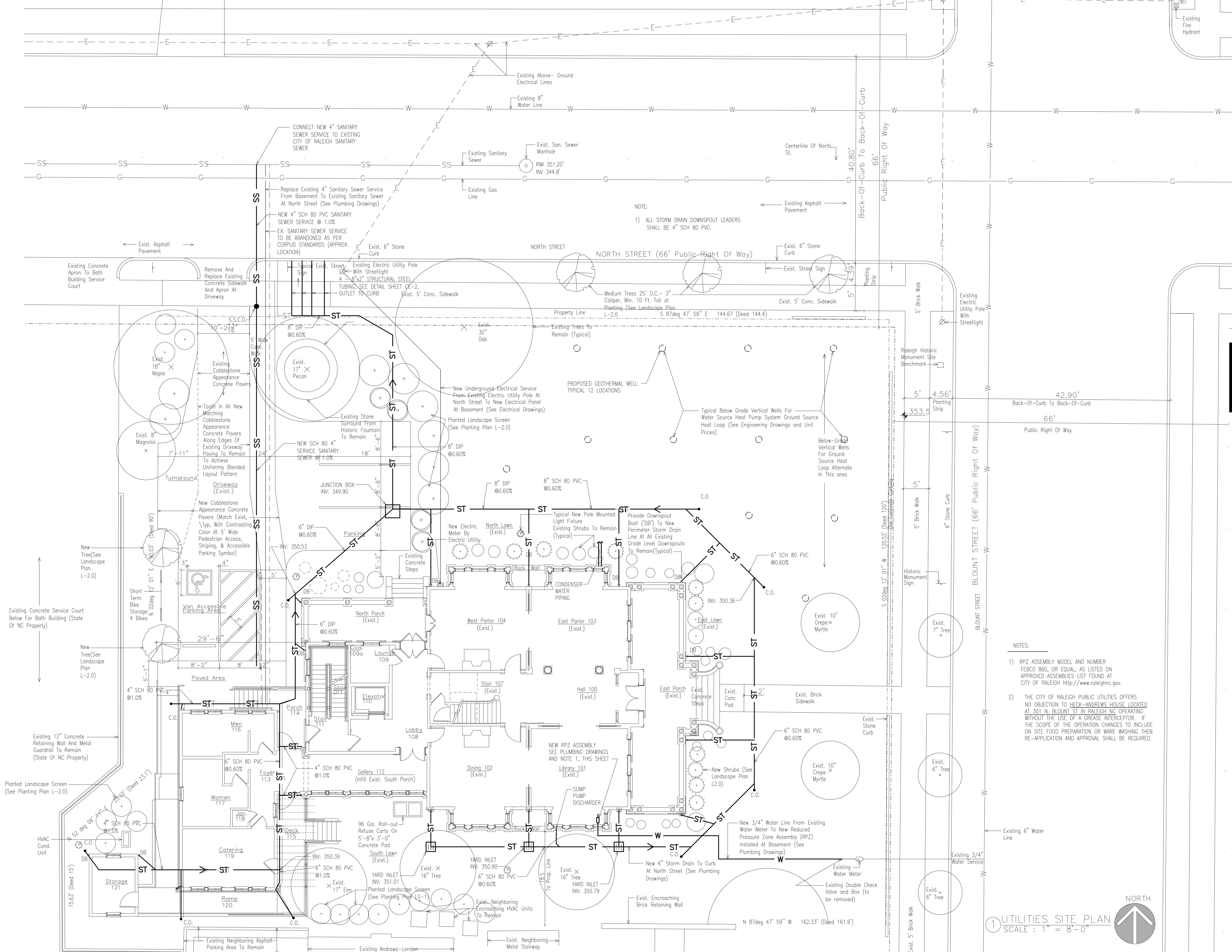
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 E-mail: jim@jgarchitect.net

Heck-Andrews House Renovations
 PROJECT: 309 N. BLOUNT ST. RALEIGH, NC 27601
 OWNER: North Carolina Association of Realtors

DRAWN BY: JGG
 DATE: 4 APR 2018
 JOB NUMBER: 1601
 REVISIONS:

DWG NAME: a_plan
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 jgg

AS-1

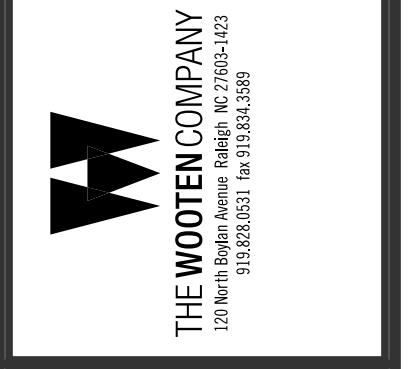


NOTE:
 1) ALL STORM DRAIN DOWNSPOUT LEADERS SHALL BE 4" SCH 80 PVC.

- NOTES:
- RPZ ASSEMBLY MODEL AND NUMBER FEBCO 860, OR EQUAL, AS LISTED ON APPROVED ASSEMBLIES LIST FOUND AT CITY OF RALEIGH <http://www.raleighnc.gov>.
 - THE CITY OF RALEIGH PUBLIC UTILITIES OFFERS NO OBJECTION TO HECK-ANDREWS HOUSE LOCATED AT 301 N. BLOUNT ST IN RALEIGH NC OPERATING WITHOUT THE USE OF A GREASE INTERCEPTOR. IF THE SCOPE OF THE OPERATION CHANGES TO INCLUDE ON SITE FOOD PREPARATION OR WARE WASHING THEN RE-APPLICATION AND APPROVAL SHALL BE REQUIRED.

1 UTILITIES SITE PLAN
 SCALE : 1" = 8'-0"

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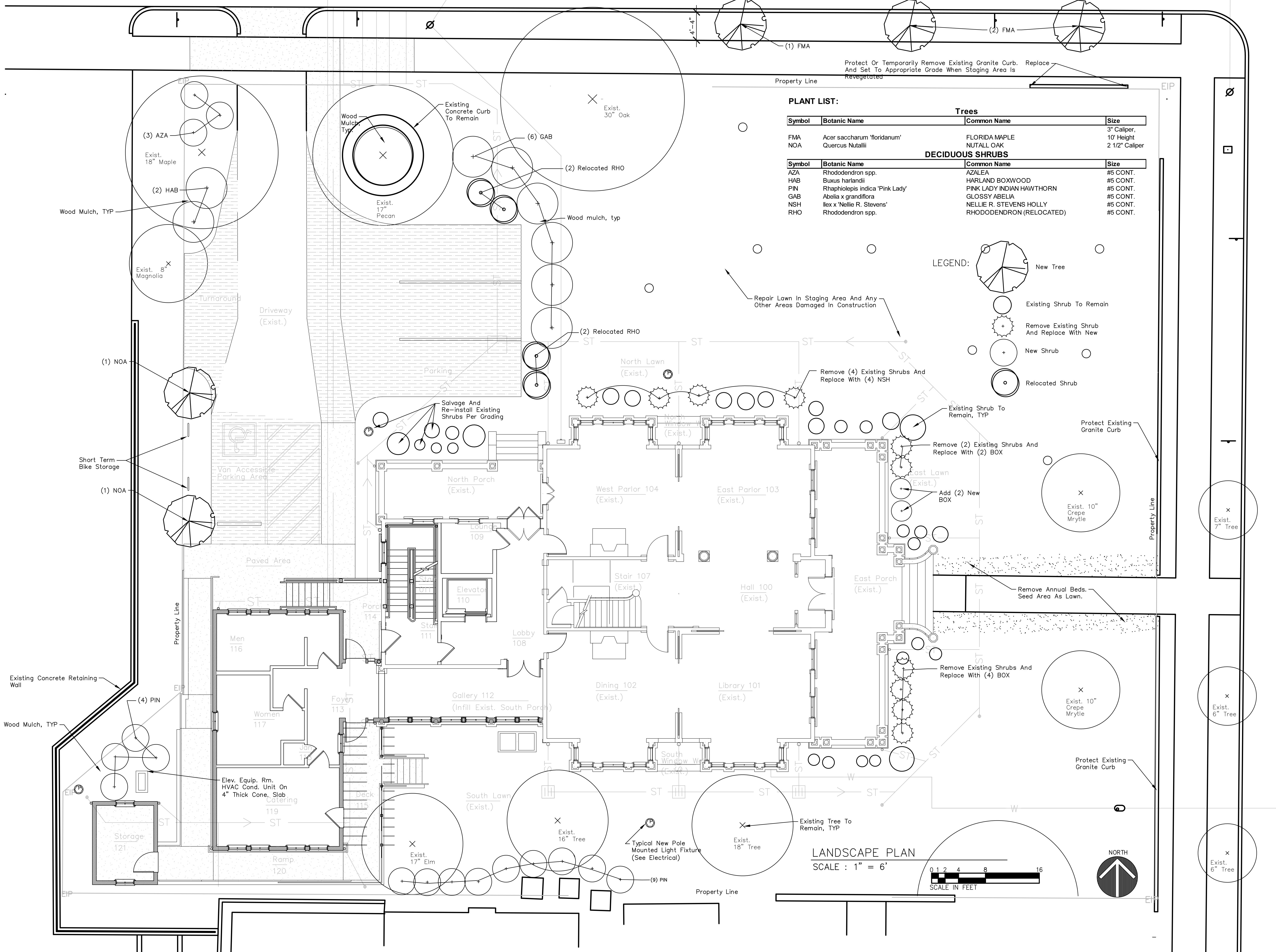


PROJECT: Heck-Andrews House Renovations
 309 N. BLOUNT ST RALEIGH, NC 27601
 OWNER: North Carolina Association of Realtors

DRAWN BY: RTP
 DATE: 4 APRIL 2018
 JOB NUMBER: 1601
 REVISIONS:

UTILITIES SITE PLAN

CE-1

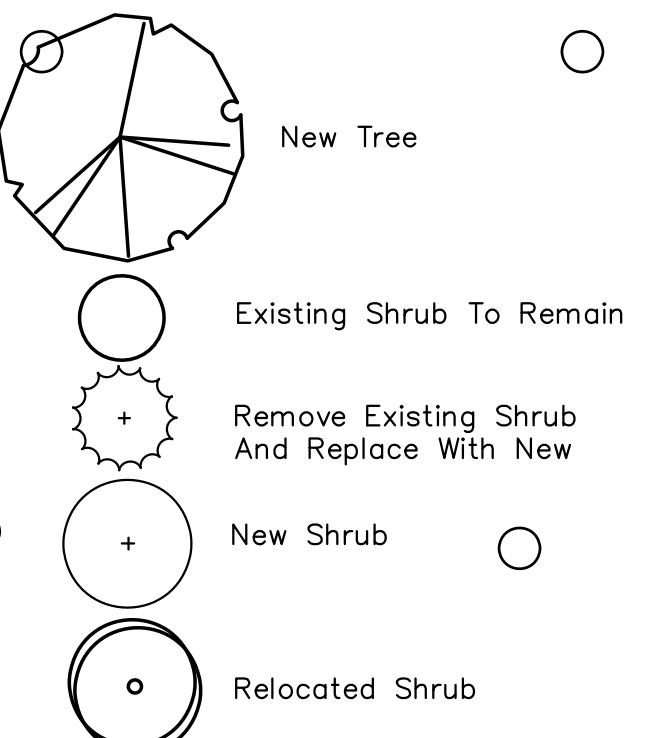


PLANT LIST:

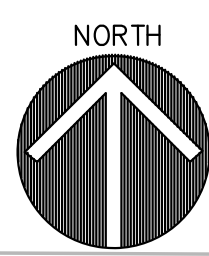
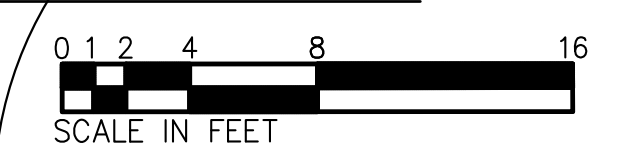
Symbol	Botanic Name	Common Name	Size
FMA	<i>Acer saccharum 'floridanum'</i>	FLORIDA MAPLE	3" Caliper, 10' Height
NOA	<i>Quercus Nutallii</i>	NUTALL OAK	2 1/2" Caliper

Symbol	Botanic Name	Common Name	Size
AZA	<i>Rhododendron spp.</i>	AZALEA	#5 CONT.
HAB	<i>Buxus harlandii</i>	HARLAND BOXWOOD	#5 CONT.
PIN	<i>Raphiolepis indica 'Pink Lady'</i>	PINK LADY INDIAN HAWTHORN	#5 CONT.
GAB	<i>Abelia x grandiflora</i>	GLOSSY ABELIA	#5 CONT.
NSH	<i>Ilex x 'Nellie R. Stevens'</i>	NELLIE R. STEVENS HOLLY	#5 CONT.
RHO	<i>Rhododendron spp.</i>	RHODODENDRON (RELOCATED)	#5 CONT.

LEGEND:



LANDSCAPE PLAN
SCALE : 1" = 6'



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DC DESIGN CONCEPTS
Community + Landscape Architects
211 North Public Road, Suite 200
Lafayette CO 80026
303.664.5301 www.dcta.net

Heck-Andrews House Renovations
PROJECT: 309 N. BLOUNT ST RALEIGH, NC 27601
OWNER: North Carolina Association of Realtors

DRAWN BY: DP/RL
DATE: 04 APR 2018
JOB NUMBER: 1601
REVISIONS:

DWG NAME: a_plan
HAH\mtec
LINETYPE SET: Jga
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