



Administrative Approval Action

Camp Bow Wow: SR-81-17, Transaction# 531493
AA# 3881, DA-50-2018

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the south side of Discovery Drive and west of the intersection of Departure Drive and Discovery Drive. The site address is 2716 Discovery Drive and the PIN is 1726084653.

REQUEST: Development of a 1.38-acre tract zoned Industrial Mixed Use (IX-3). The applicant is requesting to operate an Indoor Doggie Day Care in an 11,619 square foot existing building.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:**

One Design Adjustment has been approved by the Development Services Director Designee for this project, noted below:

1. A Design Adjustment was approved for UDO Section 8.3.2 providing relief from block perimeter requirements. Reference DA-50-2018.

STORMWATER NOTE: Exempt from Active stormwater controls per UDO Sec. 9.2.2.A.3.c. Substitution of Impervious surface with pervious surface; net reduction of 415 sf impervious area.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 10/18/2018 by Randy Miller of Thompson and Associates.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.



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LEGAL DOCUMENTS - Email to legaldocumentreview@raleighnc.gov. Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input checked="" type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. Provide fire flow analysis.

Engineering

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and be shown on a plat approved for recordation.
3. A 5' utility placement easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
4. A 10' permanent slope easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
5. A fee-in-lieu for 6' sidewalk shall be paid to the City of Raleigh (UDO 8.1.10).



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6. A surety for incomplete public improvements will be required to be paid at 125% of construction costs.

Urban Forestry

7. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way. This development proposes 4 street trees along Discovery Dr.

The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. All street lights and street signs required as part of the development approval are installed.
4. Final inspection of all right of way street trees by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 11-28-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 11/25/18

Staff Coordinator: Daniel L. Stegall


Design Adjustment Staff Response



**DEVELOPMENT
SERVICES
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

PROJECT	Project Name	Camp Bow Wow	
	Development Case Number	SR-81-2017	
	Transaction Number	531493	
	Design Adjustment Number	DA - 50 - 2018	
Staff recommendation based upon the findings in the applicable code(s):			
<input checked="" type="checkbox"/> <u>UDO Art. 8.3 Blocks, Lots, Access</u>		<input type="checkbox"/> <u>UDO Art. 8.5 Existing Streets</u>	
<input type="checkbox"/> <u>UDO Art. 8.4 New Streets</u>		<input type="checkbox"/> <u>Raleigh Street Design Manual</u>	
Staff SUPPORTS <input checked="" type="checkbox"/> DOES NOT SUPPORT <input type="checkbox"/> the design adjustment request.			
DEPARTMENTS			
<input type="checkbox"/> Dev. Services Planner		<input type="checkbox"/> City Planning	
<input checked="" type="checkbox"/> Development Engineering <i>KC Beard</i>		<input checked="" type="checkbox"/> Transportation	
<input type="checkbox"/> Engineering Services		<input type="checkbox"/> Parks & Recreation and Cult. Res.	
<input type="checkbox"/> Public Utilities			
STAFF RESPONSE	CONDITIONS:		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY			


Authorized Signature KENNETH W. RITCHIE, PE, MPA 11/28/2018
Date
ENGINEERING AND INFRASTRUCTURE MANAGER

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

Staff Response

Article 8.3 Blocks Lots, Access



DEVELOPMENT
SERVICES
DEPARTMENT

The Development Services Director may in accordance with Sec. 10.2.18. approve a design adjustment, subject to all of the following findings.

- A. The requested design adjustment meets the intent of this Article;
YES NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
YES NO
- C. The requested design adjustment does not increase congestion or compromise Safety;
YES NO
- D. The requested design adjustment does not create any lots without direct street Frontage;
YES NO
- E. The requested design adjustment is deemed reasonable due to one or more of the following:
1. Topographic changes are too steep;
 2. The presence of existing buildings, stream and other natural features;
 3. Site layout of developed properties;
 4. Adjoining uses or their vehicles are incompatible;
 5. Strict compliance would pose a safety hazard; or
 6. Does not conflict with an approved or built roadway construction project
 7. adjacent to or in the vicinity of the site.
- YES NO

STAFF FINDINGS

This site, Camp Bow Wow, is proposed to be a dog day care center within the existing building and parking lot. The zoning of the property is IX-3 with an allowable maximum block perimeter of 4,000 linear feet. The site's measurable block perimeter is 10,000 linear feet as shown on the attached block perimeter map. Due to the existing development on all lots surrounding this property, and a north-south railroad line that prevents an east-west street connection, a public street or pedestrian passage will not be able to be constructed. Therefore, a design adjustment is being requested that will waive that requirement.

An ADA accessible sidewalk connection is being provided from the building entrance to the right-of-way on Discovery Drive.

Design Adjustment Application



DEVELOPMENT SERVICES DEPARTMENT

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

Project Name Camp Bow Wow		
Case Number SR-81-17		
Transaction Number 531493		
Name		
Address		City
State	Zip Code	Phone
Name Randall Miller		Firm Thompson and Associates
Address 1149 Executive Circle Suite D2		City Cary
State NC	Zip Code 27511	Phone 919-465-1566
I am seeking a Design Adjustment from the requirements set forth in the following:		
<input checked="" type="checkbox"/> UDO Art. 8.2 Finding 1(a) - See page 2 for findings		
<input type="checkbox"/> UDO Art. 8.4 New Streets - See page 3 for findings		
<input type="checkbox"/> UDO Art. 8.5 Finding 2(a) - See page 4 for findings		
<input type="checkbox"/> Raleigh Street Design Manual - See page 5 for findings		
Provide details about the request. (please attach a memorandum if additional space is needed):		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

4/9/18
Date

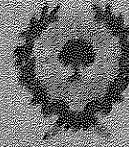
CHECKLIST	
Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input checked="" type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to design.adjustments@raleighnc.gov.

Deliver the addressed envelopes and letters to:
Development Services, Development Engineering
One Exchange Plaza, Suite 500
Raleigh, NC, 27601

Fee Office Use Only	RECEIVED DATE:	DA
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Article 8.3, Blocks, Lots, Access
Administrative Design Adjustment Findings



**DEVELOPMENT
SERVICES
DEPARTMENT**

The Development Services Director may in accordance with Sec. 10.2.16, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;
See attached responses

- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;
See attached responses

- C. The requested design adjustment does not increase congestion or compromise Safety;
See attached responses

- D. The requested design adjustment does not create any lots without direct street frontage;
See attached responses

- E. The requested design adjustment is deemed reasonable due to one or more of the following:
 - 1. Topographic changes are too steep;
 - 2. The presence of existing buildings, stream and other natural features;
 - 3. Site layout of developed properties;
 - 4. Adjoining uses or their vehicles are incompatible;
 - 5. Strict compliance would pose a safety hazard; or
 - 6. Does not conflict with an approved or built roadway construction project adjacent to or in the vicinity of the site.
 - 7.

Code Sections Referenced: Article 8.3.6;

Regarding 8.3.6 and Block Perimeter

The design adjustment asks that we meet the following criteria for Article 8.3.6:

- (A) The approved design meets the intent of Articles 8.3
- (B) The approved design adjustment conforms with the Comprehensive Plan and adopted City plans
- (C) The approved design adjustment does not increase congestion or compromise safety
- (D) The approved adjustment does not create any lots without direct street frontage
- (E) The design adjustment is deemed reasonable due to one or more of the following:
 - 1. Topographic changes are too steep;
 - 2. The presence of existing buildings, stream and other natural features;
 - 3. Site layout of developed properties;
 - 4. Adjoining uses or their vehicles are incompatible
 - 5. Strict compliance would pose a safety hazard; or
 - 6. Does not conflict with an approved or built roadway construction project adjacent to or in the vicinity of the site
- (F) No design adjustment shall be approved when the City Council has authorized a roadway project in the vicinity, where the roadway design has not yet been finalized.

TEXT Article 8.3.1: (A) The intent of the maximum block perimeter and connectivity regulations is to provide a well-connected street network. (B) Large blocks with limited connectivity discourage walking, contribute to street congestion and add driving distance that can negatively impact emergency services. New streets should be designed to consider future development. (C) The access regulations are intended to provide a means for safe, efficient and convenient vehicular and pedestrian access within developments and between adjacent developments and to lessen traffic congestion. Pedestrian, bike and vehicular access should be safe, direct and convenient. (D) Administrative design adjustments to the requirements of this Article may be appropriate where topographic changes are too steep, where existing buildings, streams or other natural or man-made obstructions or site layout of developed properties prevent cross access, where adjoining uses are incompatible or where strict compliance with this UDO would pose a safety hazard. ((E) is not applicable to this site.)

JUSTIFICATION

We request that the block perimeter requirements as they pertain to SR-B1-17/Change of Use for Existing Building be adjusted so that neither a public street dedication through the lot nor a pedestrian passage through the site shall be required.

We believe that our site plan meets with the design adjustment requirements in that:

- 1. It meets with the intent of Article 8.3, specifically 8.3.1.D. The narrow lot and existing building on the site ensures that no public road meeting UDO road construction requirements can pass through the site without demolishing the existing building. Another complicating factor is that the only potential road linkage would appear to be one which connects Discovery Drive to an existing cul-de-sac (McHines Place) off Spring Forest Road. Any potential road or pedestrian walkway would also need to pass through at 2-3 additional lots that we do not control if it were

to reduce the block perimeter. There are also some difficult slopes along many of the potential routes of passage, particularly at each lot line.

2. We believe that the design adjustment conforms to the 2030 Comprehensive plan. Page 80 reads "Complete street designs should be context-sensitive, consider local needs, and incorporate up-to-date design standards appropriate for the project setting. Each project must be considered both individually and as part of a connected network. Design should consider such elements as natural features, adjacent land uses, input from local stakeholders and merchants, community values, and future development patterns... When determining the community context and the feasibility of implementing Complete Streets concepts, there should be a balance between the safety of all users, the roadway's vehicular level-of-service, and the multimodal quality of service." We believe that in this case a design adjustment strikes an appropriate balance between the Complete Streets goals and the context of the existing site and surrounding lots.
3. Given the light traffic and minimal pedestrian utilization of Discovery Drive, we do not believe that there will be any additional congestion in the area due to the lack of a connection between Discovery Drive and McHines Place. This design adjustment would not create any additional maintenance responsibilities for the City, nor would it compromise safety.
4. Approving this design adjustment would not conflict with any authorize roadway project in the vicinity of the site.

Individual Acknowledgement



DEVELOPMENT
SERVICES
DEPARTMENT

STATE OF NORTH CAROLINA
COUNTY OF Durham

INDIVIDUAL

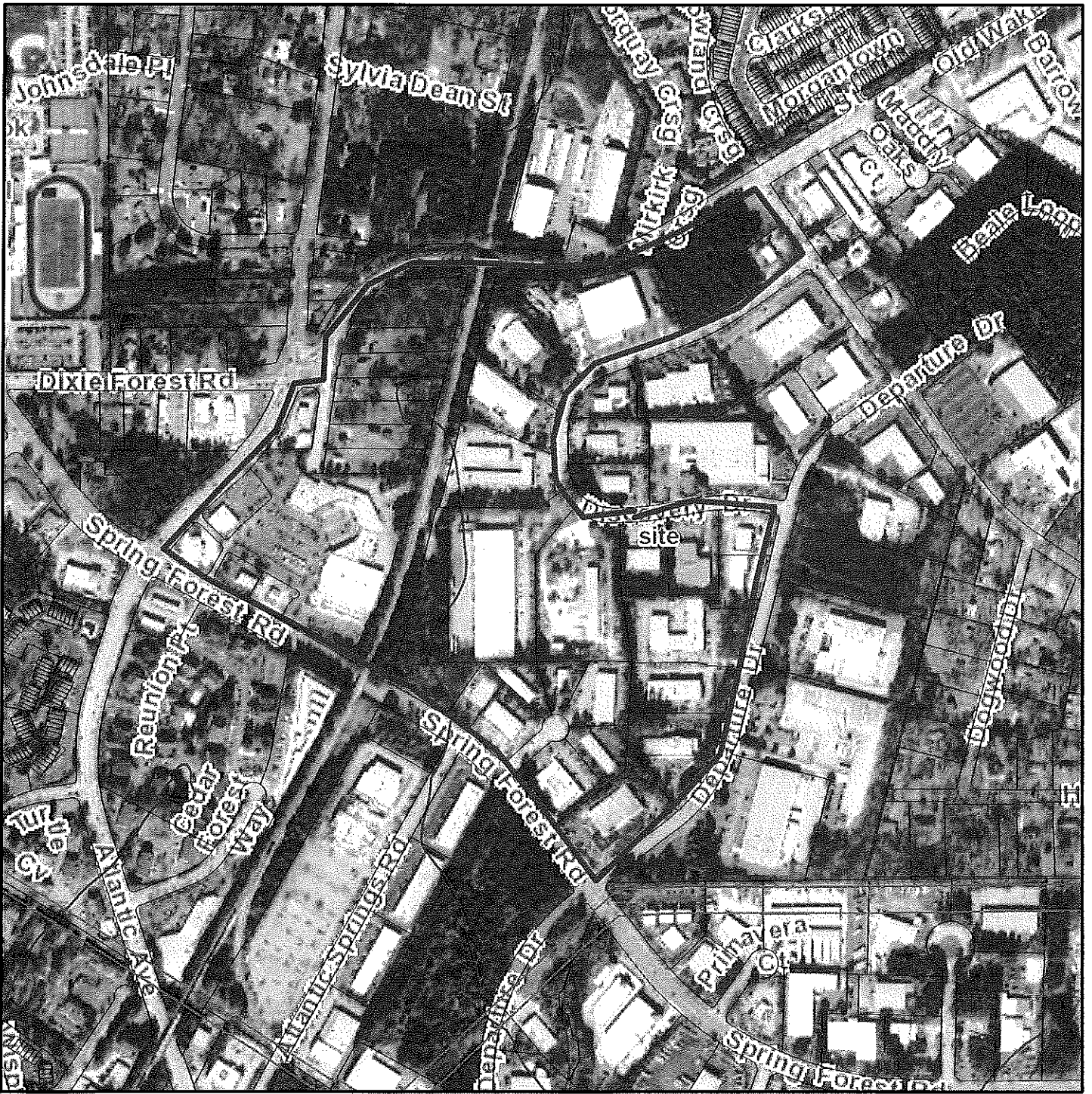
I, Troy A. Moon, a Notary Public do hereby certify that
Suzette L. Linneman personally appeared before me this day and
acknowledged the due execution of the foregoing instrument.

This the 9th day of April, 2016.

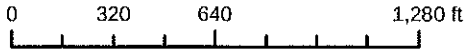
TROY A. MOON
NOTARY PUBLIC
Durham County, North Carolina
My Commission Expires 3-13-2022

Notary Public Troy A. Moon

My Commission Expires: 3/13/2022



Camp Bow Wow existing block perim.



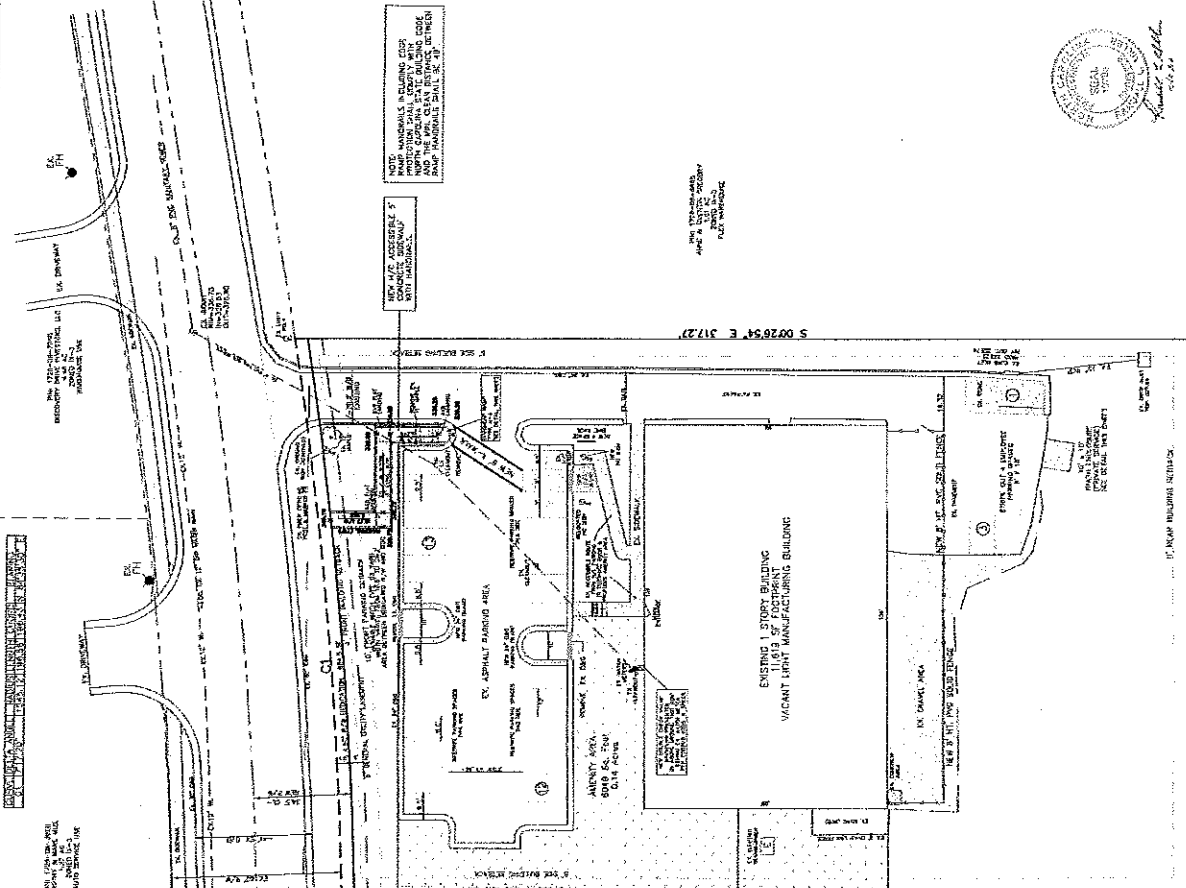
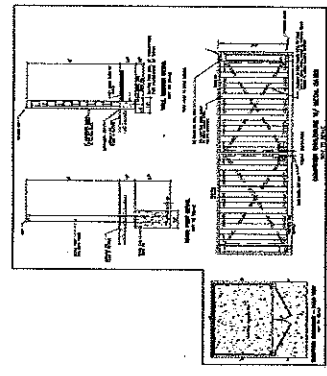
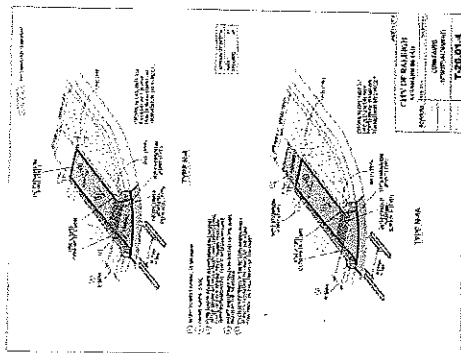
1 inch = 600 feet

Disclaimer
iMaps makes every effort to produce and publish the most current and accurate information possible. However, the maps are produced for information purposes, and are NOT surveys. No warranties, expressed or implied, are provided for the data therein, its use, or its interpretation.

A FEE-TO-BUILD IS REQUIRED TO BE PAID PRIOR TO THE START OF CONSTRUCTION TO COVER THE COST OF THE PERMIT FOR THE SIDEWALK ALONG THE FRONTAGE AND A RETAINING WALL CONSTRUCTED OUTSIDE THE RIGHT-OF-WAY FOR 14' SHOULDER.

11-02-2011
 H.C. FREDERICKS-2011

DISCOVERY DR
 EX. 60' PUBLIC R/W



USE CHANGE

SITE DATA
 P/N 1725-01-4883
 8200 N 1725th St
 22 15266 74 214
 NET SITE ADDRESS AFTER R/W ADJUSTMENT: 89, 226 & 57

PROPOSED USE: 1,400 SF OFFICE SPACE, 400 SF OFFICE USE, 4,000 SF LIGHT MANUFACTURING AREA
EXISTING IMPERVIOUS SURFACE AREA: 30,285 SF ±
PROPOSED IMPERVIOUS SURFACE AREA: 31,028 SF ±
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LEGEND

EXISTING 1ST FLOOR
 EX. 2ND FLOOR
 EX. 3RD FLOOR
 EX. 4TH FLOOR
 EX. 5TH FLOOR
 EX. 6TH FLOOR
 EX. 7TH FLOOR
 EX. 8TH FLOOR
 EX. 9TH FLOOR
 EX. 10TH FLOOR
 EX. 11TH FLOOR
 EX. 12TH FLOOR
 EX. 13TH FLOOR
 EX. 14TH FLOOR
 EX. 15TH FLOOR
 EX. 16TH FLOOR
 EX. 17TH FLOOR
 EX. 18TH FLOOR
 EX. 19TH FLOOR
 EX. 20TH FLOOR

SHEET 2

SITE PLAN WITH UTILITIES
CAMP BOW WOV
2216 DISCOVERY DR

OWNER:
 CAMP BOW WOV DURHAM/RTD
 2812 S. WARRIOR BLVD.
 DURHAM, NC 27707
 (919) 487-8971

DESIGNER:
 H.C. FREDERICKS-2011
 8200 N 1725th St
 22 15266 74 214
 (919) 487-8971

INDEX OF SHEETS FOR CAMP BOW WOW

SHEET 1	EXISTING CONDITIONS PLAN
SHEET 2	SITE PLAN WITH UTILITIES
SHEET 3	LANDSCAPE PLAN

Administrative Site Review Application
(for UDO Districts only)



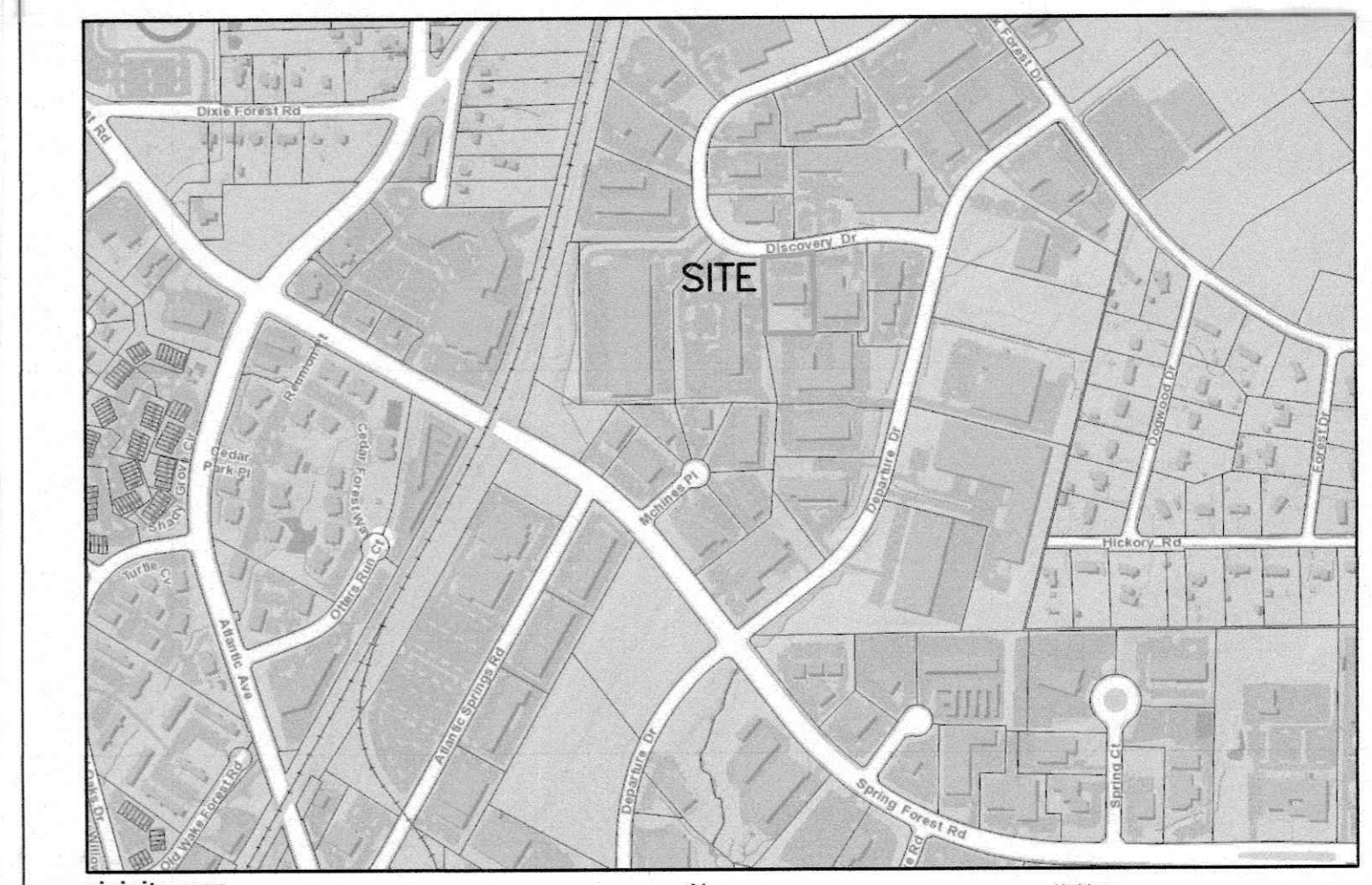
DEVELOPMENT SERVICES DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2895 | Fax 919-996-1831
Litchford Satellite Office | 8320 - 10 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse <input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot		FOR OFFICE USE ONLY Transaction Number Assigned Project Coordinator Assigned Team Leader	
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #			
GENERAL INFORMATION Development Name: CAMP BOW WOW Zoning District: IX-3 Overlay District (if applicable) Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Proposed Use: DOGGIE DAY CARE Property Address(es): 2716 DISCOVERY DR. Major Street Locator: Wake County Property Identification Number(s) for each parcel to which these guidelines will apply: P.I.N. 1726084653 P.I.N. P.I.N. P.I.N. What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospital <input type="checkbox"/> Motel/Motel <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> New Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Bank <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institution <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input checked="" type="checkbox"/> Other, if other, please describe: CHANGE OF USE			
WORK SCOPE Per City Code Section 10.2.B.D.1, summarize the project work scope. For additions, changes of use, or occupancy (see Chapter 6 of the UDO), indicate impacts on parking requirements. Change of use for ex. vacant building. Construction of new accessible sidewalk, new parking area islands, erection of exterior fence, remove ex. gravel area. Ex. parking on site adequate for new use.			
DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE. PROJECT REQUIRES A DESIGN ADJUSTMENT (WAIVER FROM BLOCK PERMETER REQUIREMENTS)			
CLIENT/DEVELOPER/OWNER Company: CAMP BOW WOW Name (s): NEIL BLEAU Address: 2612 MIAMI BLVD. DURHAM, NC 27703 Phone: 919 321-8971 Email: NBLEAU@CAMPBOWWOW.COM Fax:			
CONSULTANT (Contact Person for Plans) Company: THOMPSON & ASSOCIATES Name (s): RANDY MILLER Address: 1149 EXECUTIVE CI. SUITE D2 CARY, NC 27511 Phone: 919 465-1566 Email: MILLER.PE@ATT.NET Fax: 919 465-1585			

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s): IX-3	Proposed building use(s): DOGGIE DAY CARE
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross: 11,619
Overlay District	Proposed Building(s) sq. ft. gross: 0
Total Site Acres: Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed): 11,619
Off street parking: Required 29 Provided 29	Proposed height of building(s): EXISTING
CDM (Certificate of Appropriateness) case #	# of stories: 1
BDA (Board of Adjustment) case # A:	Colling height of 1 st Floor: EXISTING
CUD (Conditional Use District) case # Z:	
Stormwater Information	
Existing Impervious Surface: 30,885 SF acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 30,470 SF acres/square feet	If Yes, please provide: Alluvial Soils FEMA Map Panel # Flood Study
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # Of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # Of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # Of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: <u>Neil Bleau</u> Date: <u>1/2/18</u>	
Printed Name: <u>Neil L. Bleau</u>	
Signed: _____ Date: _____	
Printed Name: _____	



vicinity map
 1 inch = 500 feet
 Disclaimer: Map makers every effort to produce and publish the most current and accurate information possible. However, no maps are provided for information purposes and are NOT to be used for navigation, engineering or similar and provided for the data owner, its use or its interpretation.

ADMINISTRATIVE SITE REVIEW

USE CHANGE

EXISTING USE: VACANT BUILDING
 PREVIOUS USE: OFFICE WITH LIGHT MANUFACTURING
 PROPOSED USE: DOGGIE DAY CARE

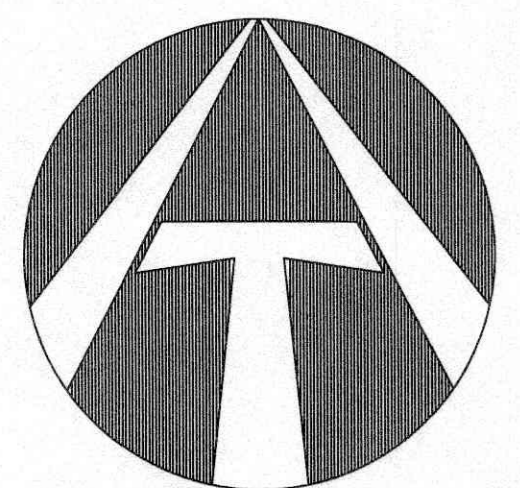
CAMP BOW WOW

2716 DISCOVERY DR.

CITY OF RALEIGH, NORTH CAROLINA

PROJECT # SR-81-17
 TRANSACTION # 531493
 REVISED: 3/6/2018
 REVISED: 11/2/2018

NOTE:
 NO CHANGES WILL BE MADE TO THE BUILDING FACADE NOR WILL THERE BE CHANGES TO THE OVERALL HEIGHT OF THE BUILDING.



CO. LIC # : C-0343
THOMPSON and ASSOCIATES, P.A.
 1149 EXECUTIVE CIRCLE
 SUITE D UNIT 2
 CARY, NC 27511
 TEL. 919 465-1566 FAX 919 465-1585
 miller.pe@att.net

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS

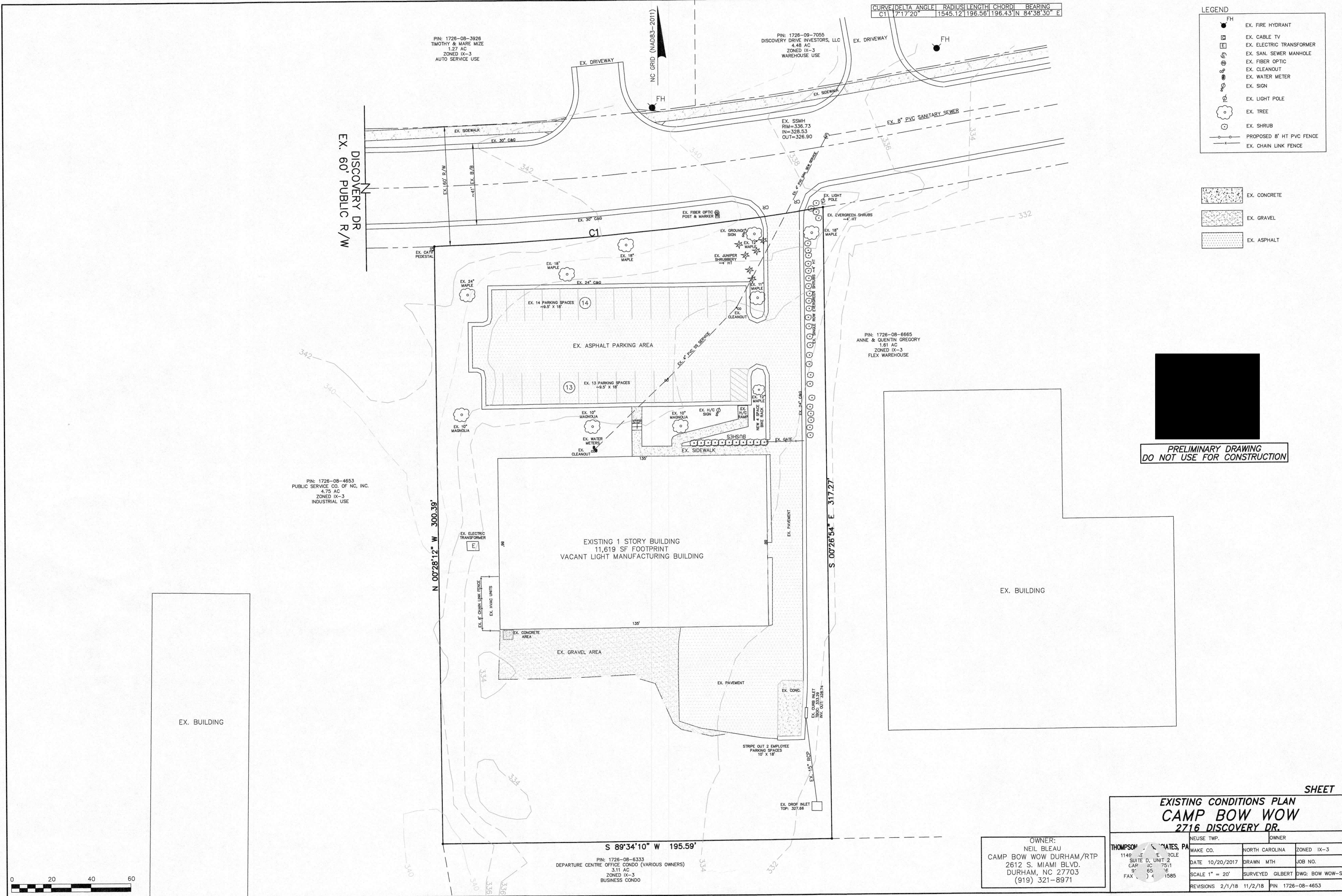
**PRELIMINARY DRAWING
 DO NOT USE FOR CONSTRUCTION**

OWNER:
 NEIL BLEAU
 CAMP BOW WOW DURHAM/RTP
 2612 S. MIAMI BLVD.
 DURHAM, NC 27703
 (919) 321-8971

THIS DEVELOPMENT WILL ADHERE TO USE STANDARDS IN UDO SECTION 6.4.9 B2.a AND B2.b ANIMAL CARE (INDOOR)

- 6.4.9 B2.a
 NO OVERNIGHT OUTDOOR ACTIVITY ASSOCIATED WITH THE CARE OF ANIMALS. FOR THE PURPOSES OF THIS SECTION "OVERNIGHT" CONSTITUTES THE HOURS BETWEEN 11 PM AND 7 AM.
- 6.4.9 B2.b
 OUTDOOR ACTIVITY, INCLUDING BUT NOT LIMITED TO WALKING AND BATHING ANIMALS, IS PERMITTED DURING THE DAY, PROVIDED THAT NO MORE THAN 4 ANIMALS ARE ENGAGED IN OUTDOOR ACTIVITY AT A TIME. FOR THE PURPOSES OF THIS SECTION, "DURING THE DAY" CONSTITUTES THE HOURS BETWEEN 7 AM AND 11 PM.

SITE DATA	USE CHANGE
PIN 1726-08-4653 REID: 162580 BM 1987 PG 371 DB 15306 PG 204	
SITE ADDRESS: 2716 DISCOVERY DR. RALEIGH, NC TOTAL ACREAGE: 1.378 ACRES (60,014 SF) 4.5' R/W DEDICATION 884.5 SF NET SITE ACREAGE AFTER R/W DEDICATION: 59,129.5 SF	
ZONED IX-3 EXISTING USE: VACANT PREVIOUS USE: ~7,400 SF OFFICE SPACE WITH ~ 4,000 SF LIGHT MANUFACTURING AREA	
PROPOSED USE: DOGGIE DAYCARE	
AMENITY AREA REQUIRED: 10% OF 59,130 SF = 5,913 SF AMENITY AREA PROVIDED: 6,049 SF 10.23%	
EXISTING IMPERVIOUS SURFACE AREA: 30,885 SF 52.23%	
EX. BUILDING: 11,619	
EX. PAVEMENT, CONCRETE, CURB & GUTTER, AND SIDEWALK: 19,266 SF	
PROPOSED CONCRETE PAD FOR TRASH ENCLOSURE: 100 SF	
ADDED CONCRETE FOR NEW H/C RAMP: 79 SF	
NEW SIDEWALK FROM DISCOVERY DR. R/W: 360 SF	
---ASPHALT REMOVED FOR PARKING LANDSCAPE ISLANDS: 338 SF	
---GRAVEL AREA REMOVED (REAR BUILDING): 616 SF	
PROPOSED IMPERVIOUS SURFACE AREA: 30,470 SF 51.53%	
NET REDUCTION OF 415 SF OF IMPERVIOUS AREA	
PARKING REQUIRED: 1 PER 400 SF BUILDING AREA (PERSONAL SERVICE): 11,619 SF/400 = 29 PARKING PROVIDED: 29	
BICYCLE PARKING REQUIRED: 4 BICYCLE PARKING PROVIDED: 4	
TRASH COLLECTION - PRIVATE WASTE COMPANY	
SITE HAS EXISTING C.O.R. WATER AND SEWER SERVICES	
SITE IS NOT WITHIN FEMA 100 YEAR FLOOD PLAIN. SITE DOES NOT CONTAIN ANY WETLAND AREAS SITE DOES NOT CONTAIN NEUSE RIVER BUFFER AREAS	
ALL WORK AND MATERIALS SHALL CONFORM TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.	

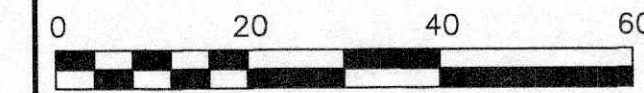


CURVE	DELTA ANGLE	RADIUS	LENGTH	CHORD	BEARING
C1	71°17'20"	1545.12'	196.56'	196.43'	N 84°38'30" E

- LEGEND**
- EX. FIRE HYDRANT
 - EX. CABLE TV
 - EX. ELECTRIC TRANSFORMER
 - EX. SAN. SEWER MANHOLE
 - EX. FIBER OPTIC
 - EX. CLEANOUT
 - EX. WATER METER
 - EX. SIGN
 - EX. LIGHT POLE
 - EX. TREE
 - EX. SHRUB
 - PROPOSED 8" HT PVC FENCE
 - EX. CHAIN LINK FENCE

- EX. CONCRETE
- EX. GRAVEL
- EX. ASPHALT

PRELIMINARY DRAWING
DO NOT USE FOR CONSTRUCTION



SHEET 1

EXISTING CONDITIONS PLAN
CAMP BOW WOW
2716 DISCOVERY DR.

THOMPSON SURVEYING & CONSULTANTS, PA		NEUSE TWP.		OWNER	
1149 S. E. ROLLE	SUITE D, UNIT 2	DATE 10/20/2017	DRAWN MTH	JOB NO.	
CAR 4C	7511	SCALE 1" = 20'	SURVEYED GILBERT	DWG: BOW WOW-SITE	
95	65				
FAX	1585	REVISIONS 2/1/18	11/2/18	PIN 1726-08-4653	

OWNER:
 NEIL BLEAU
 CAMP BOW WOW DURHAM/RTP
 2612 S. MIAMI BLVD.
 DURHAM, NC 27703
 (919) 321-8971

PIN: 1726-08-6333
 DEPARTURE CENTRE OFFICE CONDO (VARIOUS OWNERS)
 3.11 AC
 ZONED IX-3
 BUSINESS CONDO

PIN: 1726-08-4653
 PUBLIC SERVICE CO. OF NC, INC.
 4.75 AC
 ZONED IX-3
 INDUSTRIAL USE

PIN: 1726-08-6665
 ANNE & QUENTIN GREGORY
 1.61 AC
 ZONED IX-3
 FLEX WAREHOUSE

PIN: 1726-08-3926
 TIMOTHY & WARE WIZE
 1.27 AC
 ZONED IX-3
 AUTO SERVICE USE

PIN: 1726-09-7055
 DISCOVERY DRIVE INVESTORS, LLC
 4.48 AC
 ZONED IX-3
 WAREHOUSE USE

A FEE-IN-LIEU IS REQUIRED TO BE PAID PRIOR TO BUILDING PERMIT FOR 6' SIDEWALK ALONG THE DISCOVERY DRIVE FRONTAGE.

CURVE	DELTA ANGLE	RADIUS	LENGTH	CHORD	BEARING
C1	7°17'20"	1545.12'	196.56'	196.43'	N 84°38'30" E

PIN: 1726-08-3926
TIMOTHY & MARE MIZE
1.27 AC
ZONED IX-3
AUTO SERVICE USE

PIN: 1726-09-7055
DISCOVERY DRIVE INVESTORS, LLC
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DEPARTURE CENTRE OFFICE CONDO (VARIOUS OWNERS)
3.11 AC
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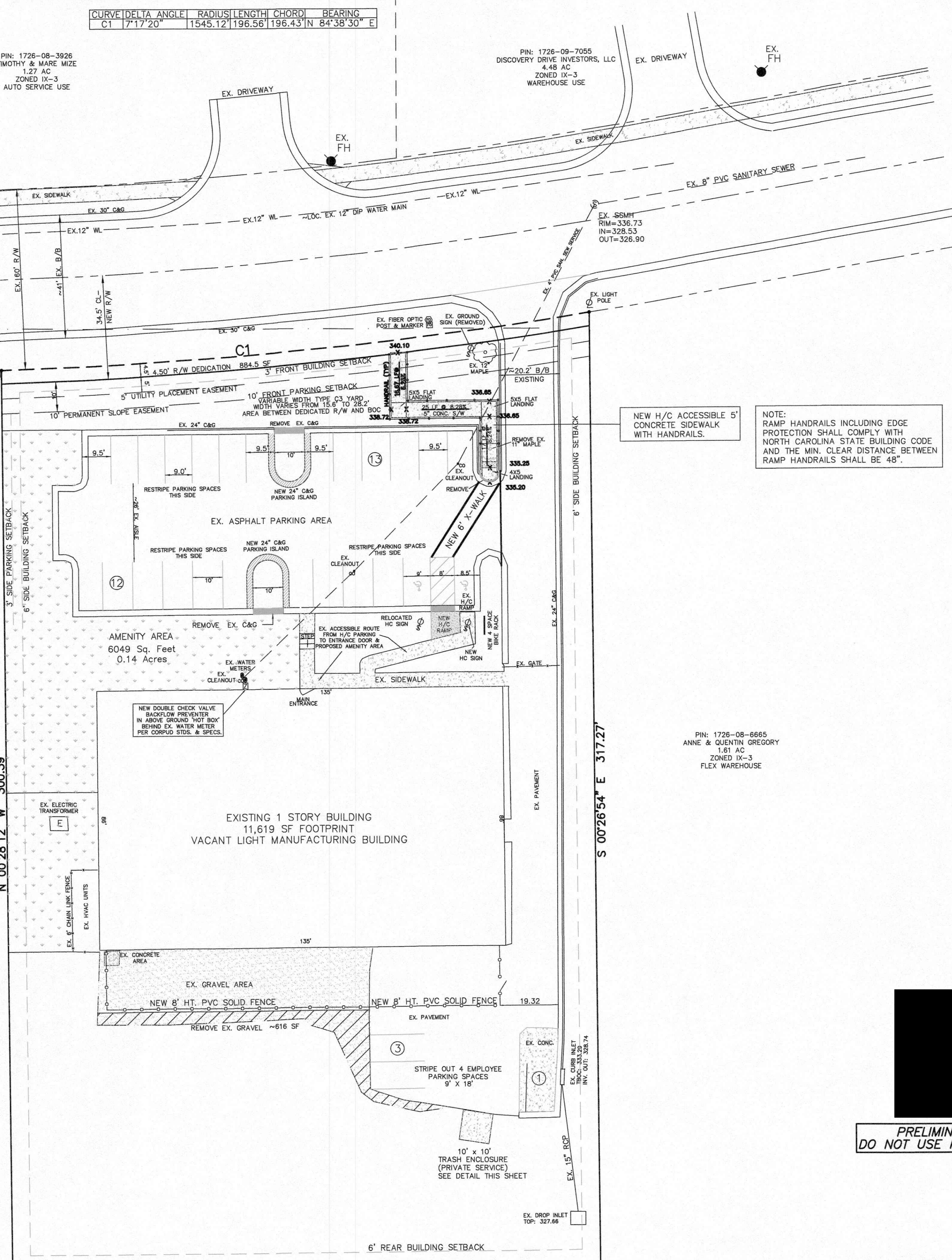
NC GRID (NAD83-2011)
DISCOVERY DR
EX. 60' PUBLIC R/W

15' X 390' SIGHT TRIANGLE

N 00°28'12" W 300.39'

S 00°26'54" E 317.27'

S 89°34'10" W 195.59'



NEW H/C ACCESSIBLE 5' CONCRETE SIDEWALK WITH HANDRAILS.

NOTE: RAMP HANDRAILS INCLUDING EDGE PROTECTION SHALL COMPLY WITH NORTH CAROLINA STATE BUILDING CODE AND THE MIN. CLEAR DISTANCE BETWEEN RAMP HANDRAILS SHALL BE 48".

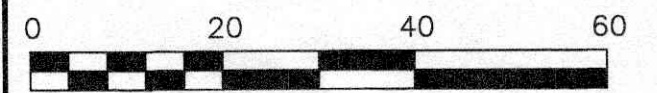
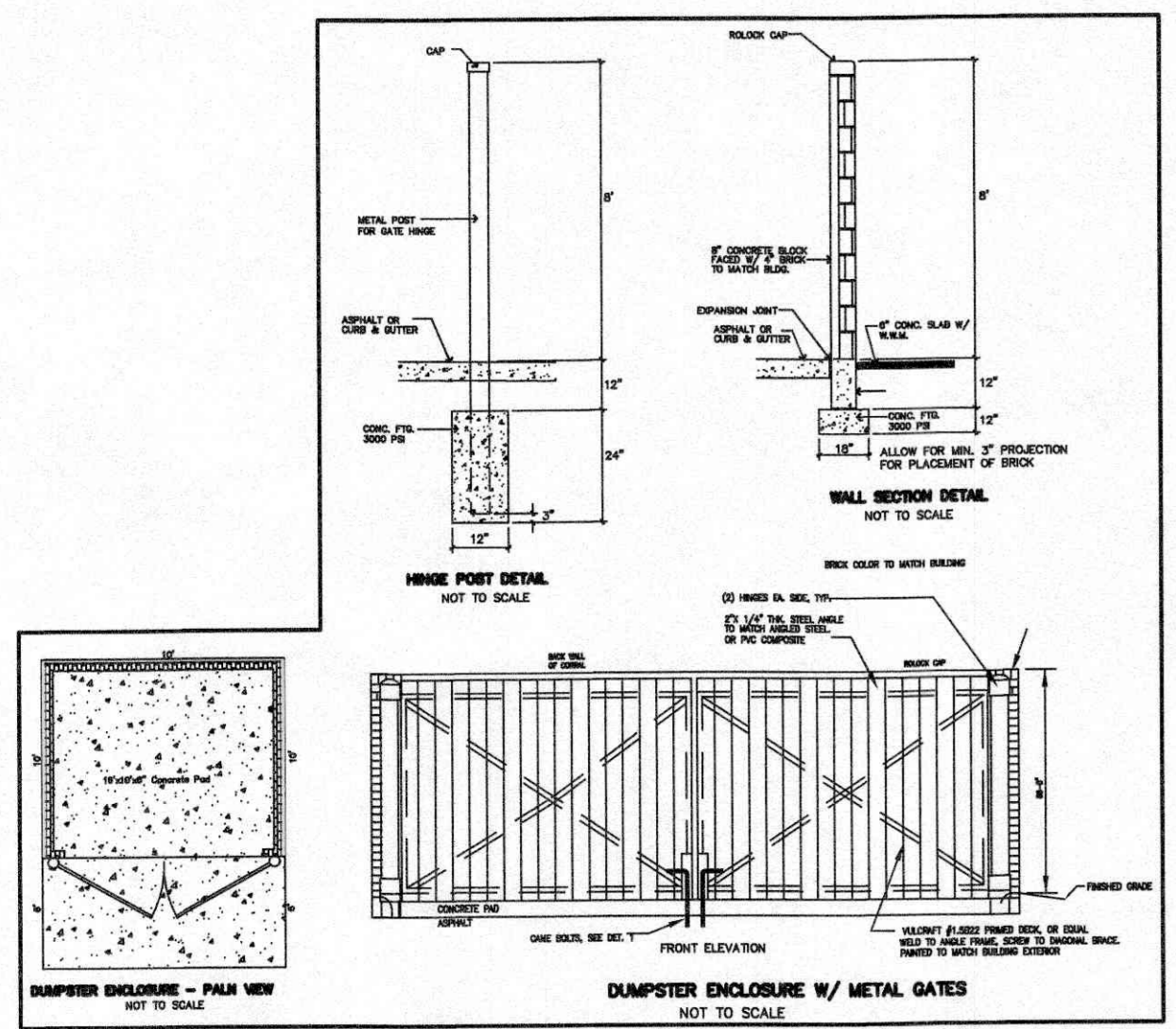
SETBACKS:	PARKING:
BUILDING: 3' FRONT	10' FRONT
0' OR 6' SIDE	0' OR 3' SIDE
0' OR 6' REAR	0' OR 3' REAR

LEGEND

- EX. FIRE HYDRANT
- EX. CABLE TV
- EX. ELECTRIC TRANSFORMER
- EX. SAN. SEWER MANHOLE
- EX. FIBER OPTIC
- EX. CLEANOUT
- EX. WATER METER
- EX. SIGN
- EX. LIGHT POLE
- EX. TREE
- EX. SHRUB
- PROPOSED 8' HT PVC FENCE
- EX. CHAIN LINK FENCE

- PROPOSED AMENITY AREA
- EX. CONCRETE
- EX. GRAVEL
- EX. ASPHALT
- EX. GRAVEL REMOVED

**PRELIMINARY DRAWING
DO NOT USE FOR CONSTRUCTION**



SHEET 2

**SITE PLAN WITH UTILITIES
CAMP BOW WOW
2716 DISCOVERY DR.**

OWNER:
NEIL BLEAU
CAMP BOW WOW DURHAM/RTP
2612 S. MIAMI BLVD.
DURHAM, NC 27703
(919) 321-8971

THOMPSON	PLANNING, PA	NEUSE TWP.	OWNER: NEIL BLEAU
1149	1149	WAKE CO.	NORTH CAROLINA
SUITE D, UNIT 2	7511	DATE 10/20/2017	DRAWN MTH
CAR IC 7511	65	SCALE 1" = 20'	SURVEYED GILBERT
9' 65	1585	SCALE 1" = 20'	SURVEYED GILBERT
FAX 4	1585	REVISIONS 2/1/18	11/2/2018
		PIN 1726-08-4653	

NC GRID (NAD83-2011)

PIN: 1726-08-3926
TIMOTHY & MARE MIZE
1.27 AC
ZONED IX-3
AUTO SERVICE USE

PIN: 1726-09-7055
DISCOVERY DRIVE INVESTORS, LLC
4.48 AC
ZONED IX-3
WAREHOUSE USE

NOTE:
STREET TREES SHALL BE INSTALLED AND MAINTAINED
IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2
OF THE RALEIGH CITY TREE MANUAL.

NOTE:
A TREE IMPACT PERMIT FOR STREET TREES INSTALLED
IN THE PUBLIC RIGHT-OF-WAY IS REQUIRED PRIOR TO
ISSUANCE OF BUILDING PERMITS.

15' X 390' SIGHT TRIANGLE

DISCOVERY DR
EX. 60' PUBLIC R/W

CURVE	DELTA ANGLE	RADIUS	LENGTH	CHORD	BEARING
C1	7°17'20"	1545.12'	196.56'	196.43'	N 84°38'30" E

STREET TREE REQUIREMENTS:
196.56 STREET FRONTAGE - 39.46 LF DRIVEWAY
= 157.10 LF FRONTAGE
157.10/40 = 3.93 (4)
4 STREET TREES REQUIRED
4 STREET TREES PROVIDED

SYMBOL	SCIENTIFIC/Common NAME	QUANTITY	SIZE/ROOT	HEIGHT	NOTES
	RIVER BIRCH BETULA NIGRA	4	3" CAL. MINIMUM	12'	3' OFF BACK EX. CURB (OUTSIDE SHOWN SIGHT TRIANGLE)

STREET TREE PLANT LEGEND

PLANTING REQUIREMENTS

VARIABLE WIDTH TYPE C3 YARD-DISCOVERY DRIVE FRONTAGE
132 LF PARKING AREA
REQUIRED: 30 SHRUBS PER 100 LF = 132/100 X 30 = 39.6
40 SHRUBS PROVIDED

PARKING LOT ISLANDS
2 INTERIOR ISLANDS REQUIRED
1 TREE PER ISLAND = 2 TREES REQUIRED
4 TREES PROVIDED (INCLUDES 2 TREES TO WEST OF PARKING AREA)

PLANT LEGEND:

SYMBOL	SCIENTIFIC/Common NAME	QUANTITY	SIZE/ROOT	HEIGHT	NOTES
	DWARF BURFORD HOLLY ILEX CORNUTA "DWARF BURFORD"	63	3 GAL CONTAINER	24"	VARIABLE WIDTH TYPE C3 YARD
	SOUTHERN WAX MYRTLE MYRTICA CERIFERA	9	5 GAL CONTAINER	4'	HVAC SCREEN SCREEN
	SUGAR MAPLE ACER SACCHARUM	4	3" CAL. MINIMUM	12'	PARKING LOT ISLANDS

LEGEND

	EX. FIRE HYDRANT
	EX. CABLE TV
	EX. ELECTRIC TRANSFORMER
	EX. SAN. SEWER MANHOLE
	EX. FIBER OPTIC
	EX. CLEANOUT
	EX. WATER METER
	EX. SIGN
	EX. LIGHT POLE
	EX. TREE
	EX. SHRUB
	PROPOSED 8' HT PVC FENCE
	EX. CHAIN LINK FENCE

PIN: 1726-08-4653
PUBLIC SERVICE CO. OF NC, INC.
4.75 AC
ZONED IX-3
INDUSTRIAL USE

PIN: 1726-08-6665
ANNE & QUENTIN GREGORY
1.61 AC
ZONED IX-3
FLEX WAREHOUSE

N 00°28'12" W 300.39'

S 00°26'54" E 317.27'

EXISTING 1 STORY BUILDING
11,619 SF FOOTPRINT
VACANT LIGHT MANUFACTURING BUILDING

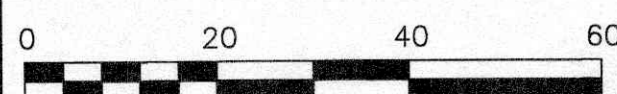
EX. GRAVEL AREA

10' x 10'
TRASH ENCLOSURE
(PRIVATE SERVICE)

S 89°34'10" W 195.59'

PIN: 1726-08-6333
DEPARTURE CENTRE OFFICE CONDO (VARIOUS OWNERS)
3.11 AC
ZONED IX-3
BUSINESS CONDO

PRELIMINARY DRAWING
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SHEET 3

LANDSCAPE PLAN
CAMP BOW WOW
2716 DISCOVERY DR.

OWNER:
NEIL BLEAU
CAMP BOW WOW DURHAM/RTP
2612 S. MIAMI BLVD.
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THOMPSON MATES, PA		WAKE CO.		NORTH CAROLINA	
1149	SUITE D, UNIT 2	DATE	10/20/2017	DRAWN	MTM
95	CAR	SCALE	1" = 20'	SURVEYED	GILBERT
65	75-1	SCALE	1" = 20'	SURVEYED	GILBERT
1585) 4	REVISIONS	2/1/18 11/2/18	DWG:	BOW WOW-SITE

NEUSE TWP.
OWNER: NEIL BLEAU
ZONED IX-3
JOB NO.
PIN 1726-08-4653