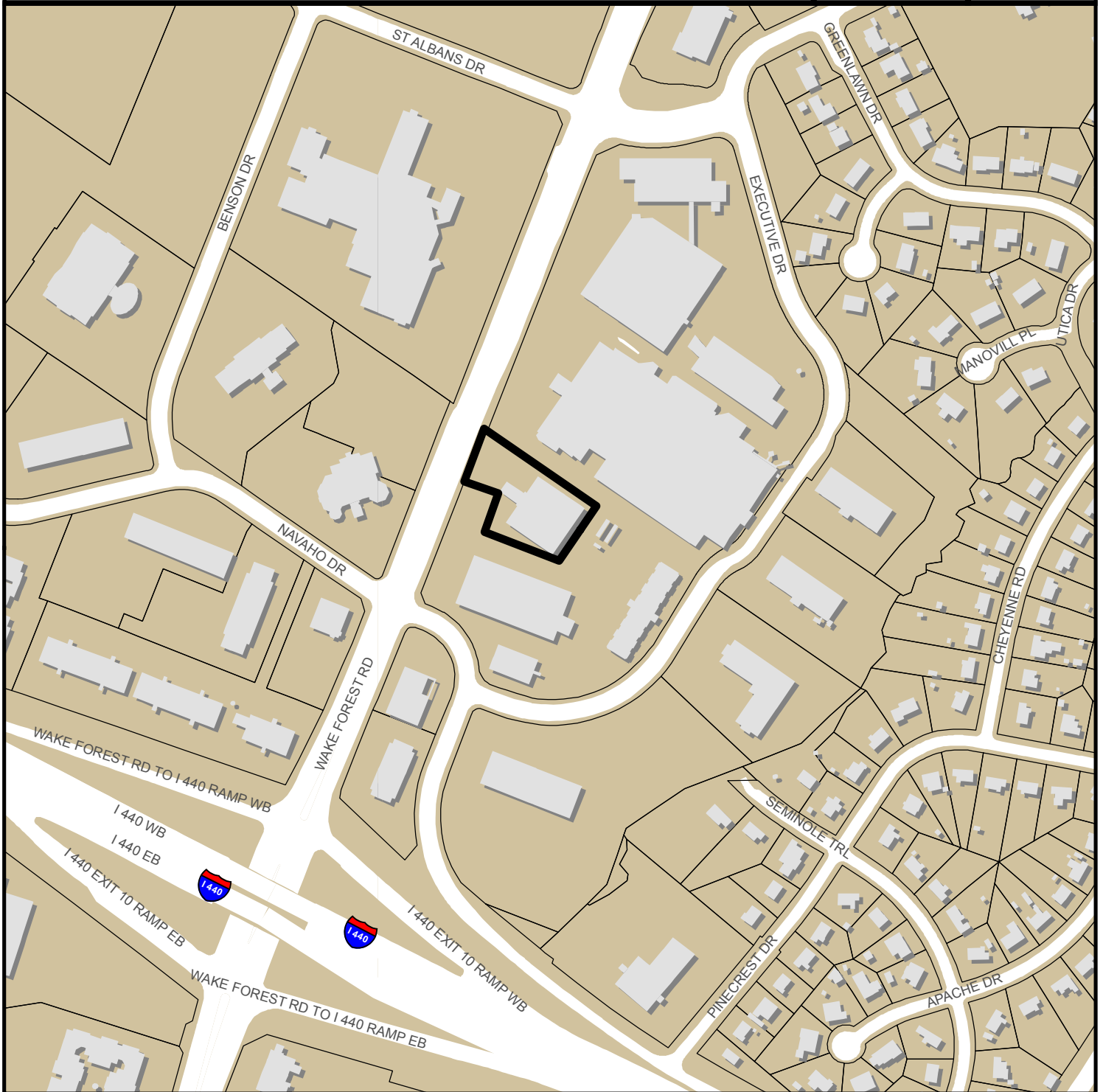


# DUKE RALEIGH HOSPITAL INPATIENT TOWER SR-65-2017



0 300 600 Feet

Zoning: **OX-5-PL-CU**

CAC: **Atlantic**

Drainage Basin: **Big Branch**

Acreage: **17.28**

Sq. Ft.: **210,169**

Planner: **Michael Walters**

Phone: **(919) 996-2636**

Applicant: **Linda Vasil**

Phone: **(919) 645-5979**





# Administrative Approval Action

AA # 3693 / SR-65-17, Duke Raleigh Hospital New Inpatient Tower and Surgical Expansion Transaction# 522658

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the east side of Wake Forest Road, between the intersections of Wake Forest Road and Navaho Drive, and Wake Forest Road and St. Albans Drive. The address for the parent tract is 3400 Wake forest Road.

**REQUEST:** Development on a portion of a 17.18 acre tract zone OX-5-PL with the addition of a 174,693 square foot, five-story 75' height, new inpatient and surgery tower expansion containing an additional 38 hospital beds.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:**

Hardship Variance (A-16-17) allowing an 8'3" height variance to allow for the construction of an elevator penthouse in excess of the 12' height encroachment allowed above the roof, a 1'10" height variance to allow for the installation of mechanical equipment in excess of the 12' height encroachment allowed above the roof and a 10' variance to allow a stairwell bulkhead to be located at the building edge instead of recessed inward 10' as required by Section 1.5.7.D.3. of the Unified Development Ordinance as well as a 1-story/4'7" increase in the overall building height allowed by Section 3.3.2.A. of the Unified Development Ordinance that results in an elevator penthouse that is 20'3" above the roof and an overall elevator structure height of 79'7", mechanical equipment that is 13'10" above the roof and a stairwell bulkhead.

A Design Adjustment has been approved for this project waiving both the block perimeter requirement and the dedication of additional right of way width.

Administrative Alternates have been approved by the Planning Director granting an additional 2' waiver to the Build To requirement for an addition to an existing building, and also to the landscape and screening requirement specifically in the service area. (AAD 28-17)

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by ColeJenest & Stone.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

**PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:**

### **ENGINEERING**

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.



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## STORMWATER

3. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.

Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeded a site, shall be paid to the City.

## URBAN FORESTRY

4. Obtain required stub and tree impact permits from the City of Raleigh. (*used with new streets and infrastructure*)
5. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
6. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

## PRIOR TO ISSUANCE OF BUILDING PERMITS:

### GENERAL

1. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombinations, Right Of Way and/or Easement Dedications, and Tree Save Areas.

### ENGINEERING

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
3. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
4. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' of sidewalk along Navaho Drive, Executive Drive and Wake Forest Rd shall be paid to the City of Raleigh.
5. That if the proposed public improvements are not installed and inspected by the City to be accepted for maintenance, a surety in the amount of 125% of the cost of construction for the streetscape trees installed on Navaho Drive and Executive Drive is to be paid to the Development Services Department in accordance with code section 8.1.3 of the UDO
6. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.



# Administrative Approval Action

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7. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

## **PUBLIC UTILITIES**

8. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions / Recombinations, Right-of-Way, Utility / Stormwater Easement Dedications and/or Tree Save Areas
19. Initiation of the easement exchange process is required (via dedication of new easement on Record Plat, ending with abandonment of old easement on subsequent Deed)
20. Utility re-alignment construction shall be substantially complete (to eliminate conflict with new building)

## **STORMWATER**

21. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering program.

## **URBAN FORESTRY**

22. A final inspection of required tree conservation and right of way tree protection areas by Urban Forestry staff must be completed.
23. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.
24. That a final map be recorded showing all tree conservation areas to be established.

## **Prior to issuance of building occupancy permit:**

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. Next Step: All street lights and street signs required as part of the development approval are installed.
5. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
7. Next Step: Final inspection of all required Tree Conservation and right of way tree protection areas by Urban Forestry Staff.





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**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date: 12-20-2020**

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Quinn Billy Zell* Date: 12/20/2017

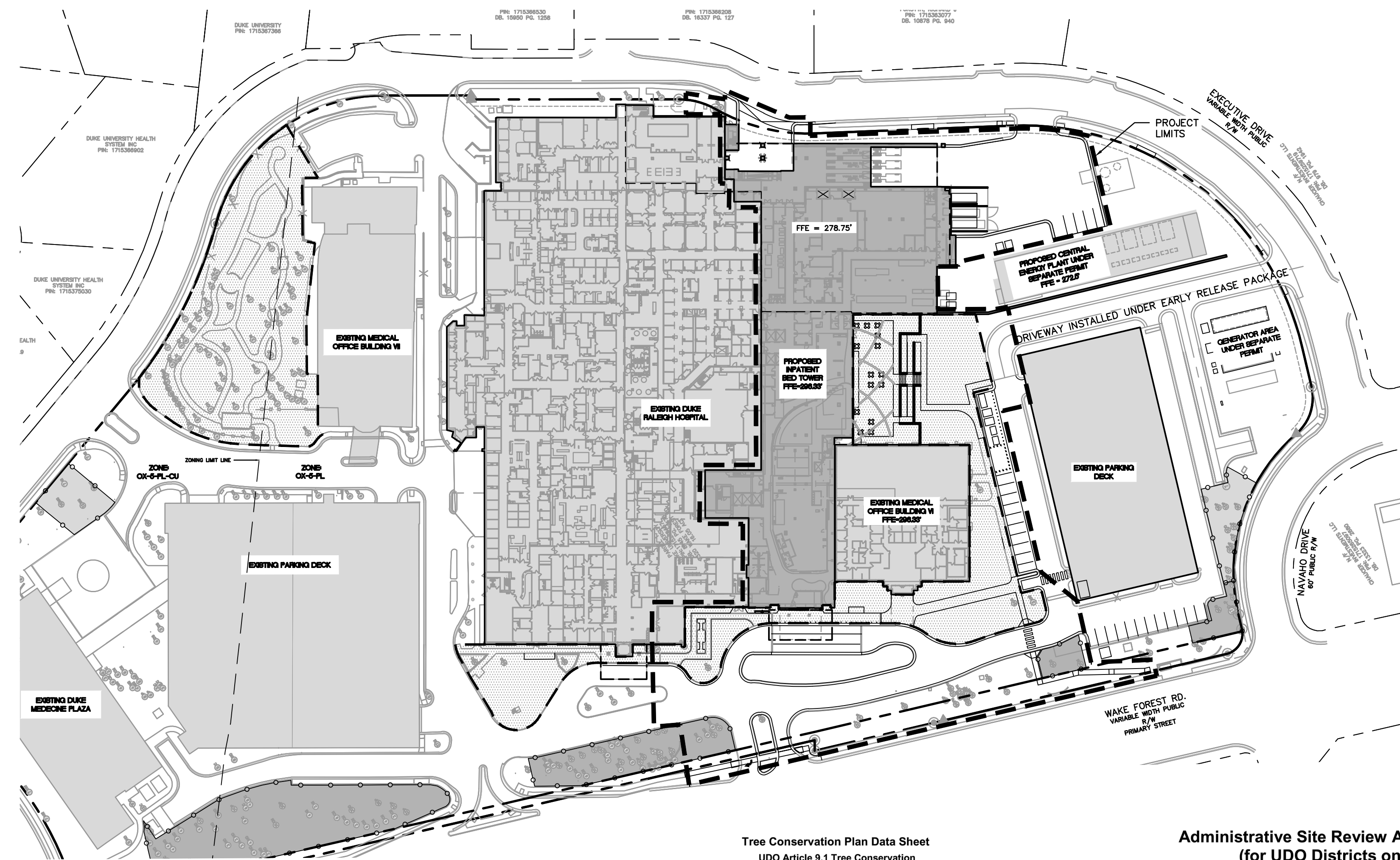
Staff Coordinator: Michael Walters



# DUKE RALEIGH HOSPITAL NEW INPATIENT TOWER AND SURGERY EXPANSION

## RALEIGH, NC

CITY OF RALEIGH ADMINISTRATIVE SITE PLAN CASE #: SP-65-17  
CITY OF RALEIGH TRANSACTION #: #522658



### INDEX OF SHEETS

- NEW INPATIENT TOWER AND SURGERY EXPANSION  
ADMINISTRATIVE SITE REVIEW DRAWINGS:
- C000 COVER SHEET
  - V001 EXISTING CONDITIONS SURVEY
  - V002 HOSPITAL PROPERTIES MAP
  - C001 GENERAL SITE NOTES
  - C100 OVERALL CAMPUS PLAN
  - C101 TREE CONSERVATION PLAN
  - C102 TREE CONSERVATION PLAN
  - C103 TREE CONSERVATION PLAN
  - C104 TREE CONSERVATION PLAN
  - C200 OVERALL SITE PLAN
  - C400 GRADING AND STORMWATER MANAGEMENT PLAN
  - C500 SITE UTILITY PLAN
  - C501 FIRE ACCESS PLAN
  - C810 UTILITY DETAILS
  - L200 OVERALL MATERIALS PLAN
  - L300 OVERALL PLANTING PLAN
  - L301 LANDSCAPE CODE COMPLIANCE PLAN
  - A501 ARCHITECTURAL EXTERIOR ELEVATIONS
  - A502 ELEVATIONS AND LOADING DOCK PLAN
  - A503 ROOF AND BASEMENT PLAN

### PROPERTY OWNERS

DUKE UNIVERSITY MEDICAL CENTER AND HEALTH SYSTEM  
2200 WEST MAIN STREET, SUITE 650  
DURHAM, NC 27705

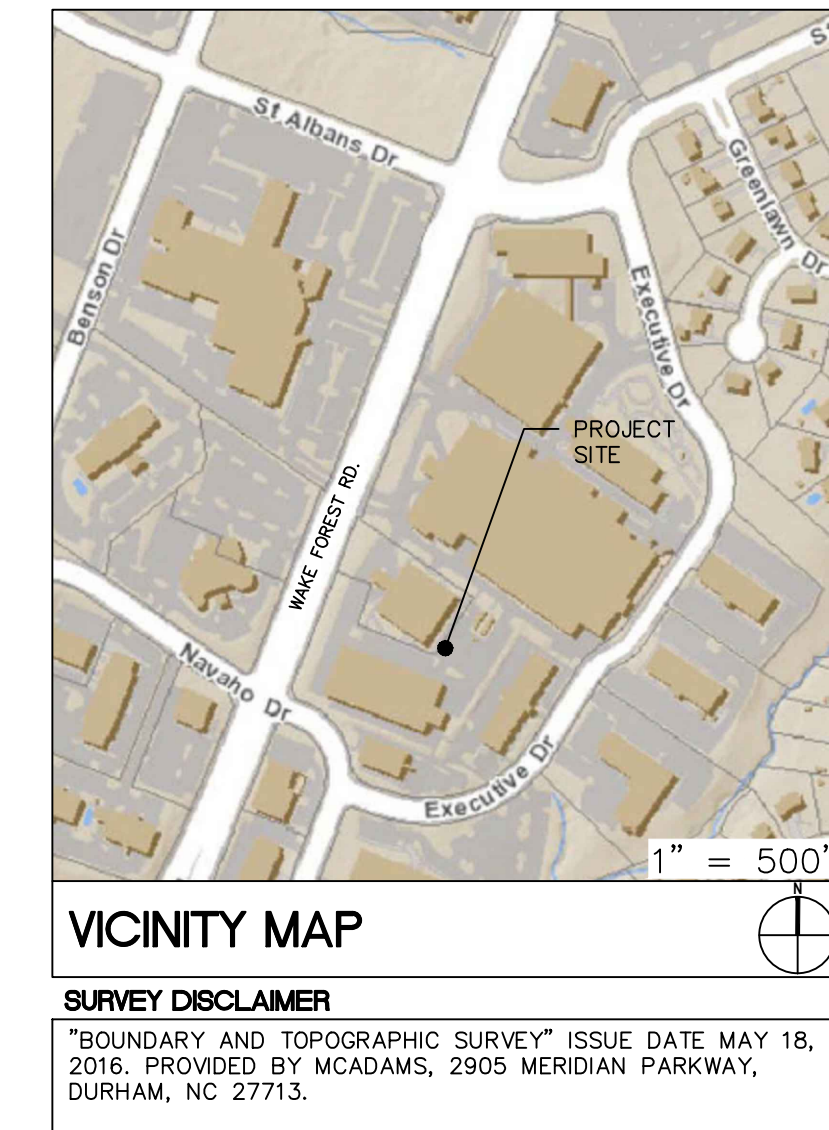
DUKE HEALTH FACILITY PLANNING, DESIGN & CONSTRUCTION  
TONY BALDASSARI  
PROJECT MANAGER  
2200 WEST MAIN STREET, SUITE 650  
DURHAM, NC 27705  
M: 919-286-8311  
ANTHONY.BALDASSARI@DUKE.EDU

### PLAN PREPARER:

LINDA VASIL, PE  
COLEJENEST&STONE  
119 EAST HARGETT STREET  
SUITE 300  
RALEIGH, NC 27601  
P: 919-645-5979  
F: 919-719-1819  
E: LVASIL@COLEJENEST&STONE.COM

### SITE DATA:

PROJECT NAME:	DUKE RALEIGH HOSPITAL - NEW INPATIENT TOWER AND SURGERY EXPANSION	PUBLIC INFRASTRUCTURE/SERVICE STREET:	PUBLIC
JURISDICTION:	CITY OF RALEIGH, WAKE COUNTY. ATLANTIC CAC	WATER:	PUBLIC
TOWNSHIP:	RALEIGH	SEWER:	PUBLIC
ZONING:	OX-5-PL & OX-5-PL-CU	SOLID WASTE SERVICE:	PRIVATE
LAND USE:	EX: INSTITUTIONAL PR: INSTITUTIONAL		
ADJACENT ZONING:	OFFICE MIXED USE		
ADJACENT LAND USE:	EX: OFFICE		
ADJACENT ZONING:	COMMERCIAL MIXED USE		
ADJACENT LAND USE:	EX: COMMERCIAL MIXED USE		
ADJACENT ZONING:	RESIDENTIAL - 6		
ADJACENT LAND USE:	EX: RESIDENTIAL		
ACREAGE:	ENTIRE CAMPUS: 17.15 ACRES PROJECT LIMITS: 4.56 ACRES		
IMPERVIOUS COVER:	OVERALL CAMPUS: 12.87 ACRES PROJECT AREA: 12.69 ACRES EX: ±12.87 ACRES EX: ±3.27 ACRES PR: ±12.69 ACRES PR: ±3.66 ACRES		
SETBACKS:	FRONT: 5', 10' FROM R.O.W. REAR: 0-6'		
PARKING SUMMARY:	EXISTING CAMPUS SPACES: 1,589 SPACES NORTH PARKING DECK: 891 SPACES SOUTH PARKING DECK: 628 SPACES SURFACE PARKING: 72 SPACES PROPOSED CHANGE IN QUANTITY: -31 SURFACE SPACES TOTAL CAMPUS PARKING: 1,558 SPACES TOTAL CAMPUS HANDICAP PARKING: 65 SPACES		
REQUIRED CAMPUS PARKING:	HOSPITAL: 1-SPACE PER 2 BEDS 238 BEDS = 119 SPACES MOB: 1-SPACE PER 300-SF. 236,364 SF = 788 SPACES TOTAL REQUIRED CAMPUS PARKING: 907 SPACES TOTAL REQUIRED CAMPUS HANDICAP PARKING: 26 SPACES		
		PUBLIC IMPROVEMENT QUANTITIES:	
		PUBLIC WATER (LF)	0
		PUBLIC SEWER (LF)	0
		PUBLIC STREET (LF)	0
		PUBLIC SIDEWALK (LF)	107
		HEIGHT:	
		MAX ALLOWED: 75' (5 STORIES)	
		EXISTING: 75'	
		PROPOSED: 75'	
		TREE CONSERVATION:	
		*SEE SHEETS C101-C104 FOR LOCATIONS AND CALCULATIONS	
		GROSS FLOOR AREA (GFA):	
		EXISTING: 497,356 GSF*	
		MAIN HOSPITAL: 260,992 SF (6 STORIES)	
		MOB 6: 75,579 (4 STORIES)	
		MOB 7: 75,785 (5 STORIES)	
		MOB 8: 85,000 (5 STORIES)	
		*EXISTING TOTALS EXCLUDE PARKING STRUCTURES	
		PROPOSED ADDITION: 174,693 GSF**	
		**EXCLUDES ADDITION BASEMENT LEVEL (35.1% INCREASE)	
		AMENITY AREA SUMMARY:	
		PROJECT SITE: 16.85 ACRES (AFTER R.O.W. DEDICATION)	
		HOSPITAL: 1.68 ACRES (10%)	
		REQUIRED AREA: 1.76 ACRES (10.4%)	
		PROVIDED AREA: 1.76 ACRES (10.4%)	
		76,911 SQ. FT. (10.4%)	



Project  
**NEW INPATIENT TOWER AND SURGERY EXPANSION**  
3400 Wake Forest Road  
Raleigh, North Carolina 27609

Prepared For  
**Duke Raleigh Hospital**  
Duke University Medical Center & Health System  
2200 West Main Street, Suite 650  
Durham, North Carolina 27705



Contract No



Hellmuth, Obata + Kassabaum, Inc.  
Canal House, 3223 Grace Street, N.W.  
Washington, DC 20007 USA  
t+1 202 339 8700 f+1 202 339 8800

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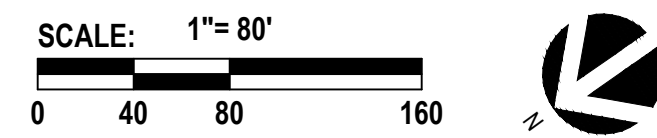
**ColeJenest & Stone**  
1119 East Hargett Street, Suite 300  
Raleigh, North Carolina 27601  
P: 919 719 1800

MEP Engineers



NC Lic. No. C-2982  
1414 Raleigh Road, Suite 305  
Chapel Hill, North Carolina 27517  
P: 919 419 9802

Key Plan



Professional Seals



No.	Description	Date
1	ADMIN. SITE PLAN - 3RD SUBMITTAL	10/10/17

### NEW INPATIENT TOWER AND SURGERY EXPANSION

Date of First Issue: 2017-07-21  
Project No: 50425.00  
Sheet Title

### COVER SHEET

Original drawing is 24 x 36. Do not scale contents of this drawing.  
Sheet Number

# C000

### GENERAL NOTES:

- THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, AND EXISTENCE OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA PRIOR TO ANY EXCAVATION. THE OMISSION OF OR INCLUSION OF UTILITY LOCATIONS ON THE PLANS IS NOT TO BE CONSIDERED AS THE NONEXISTENCE, OR DEFINITE LOCATION OF EXISTING UNDERGROUND UTILITIES. ANY DAMAGE TO EXISTING UNDERGROUND UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- ALL SIDEWALKS ARE PUBLIC AND MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION, AND PEOPLE WITH MOBILITY DISABILITIES. EXISTING PEDESTRIAN ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
- ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERING, PARKED VEHICLES OR SIGNS BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
- ALL ROOFTOP UTILITIES ARE TO BE SCREENED FROM PUBLIC R.O.W. SEE ARCHITECTURAL PLANS FOR ELEVATIONS.
- SOLID WASTE SERVICE TO BE COLLECTED BY PRIVATE SERVICE PROVIDER.



- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR PLACING BARRICADES, USING FLAG MEN, ETC., AS NECESSARY TO ENSURE THE SAFETY OF THE PUBLIC.
- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, OR LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
- SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, 29 CFR, PART 1926, SUBPART P, OR AS AMENDED.

### Tree Conservation Plan Data Sheet UDO Article 9.1 Tree Conservation (Include applicable information on the plan sheet)

Project Name: DUKE RALEIGH HOSPITAL PATIENT TOWER	Gross Site Acres:	17.15	ac
	Right-of-way to be dedicated with this project:	0.3	ac
	Net Site Acres:	16.85	ac

UDO 9.1.4.A. Primary Tree Conservation Areas	Number of Acres	Percent of Tract
1. Primary Tree Conservation Area - SHOD 1	0	0%
1. Primary Tree Conservation Area - SHOD 2	0	0%
2. Primary Tree Conservation Area - Parkway Frontage	0	0%
3. Primary Tree Conservation Area - CM	0	0%
4. Primary Tree Conservation Area - MPD	0	0%
5. Primary Tree Conservation Area - Champion Tree XX" dbh species	0	0%
6. Primary Tree Conservation Area - Neuse Buffer Zone 2	0	0%
7. Primary Tree Conservation Area - 45% Slopes	0	0%
8. Primary Tree Conservation Area - Thoroughfare	0.6	3%
<b>Subtotal of Primary Tree Conservation Areas:</b>	<b>0.6</b>	<b>3%</b>

UDO 9.1.4.D.2 Tree Conservation Area - Greenway	0	0%
-------------------------------------------------	---	----

UDO 9.1.4.B.1.a. & b. Secondary Tree Conservation Areas (Include perimeter buffers and their alternate compliance areas)	0.13	0.7%
-----------------------------------------------------------------------------------------------------------------------------	------	------

UDO 9.1.4.B.1.c. & d. Individual Tree Secondary Tree Conservation Areas (Include individual trees and their alternate compliance areas)	0	0%
--------------------------------------------------------------------------------------------------------------------------------------------	---	----

<b>Subtotal of Secondary Tree Conservation Areas:</b>	<b>0.13</b>	<b>0.7%</b>
-------------------------------------------------------	-------------	-------------

<b>TOTAL ALL TREE CONSERVATION AREA PROVIDED:</b>	<b>0.73</b>	<b>3.7%</b>
---------------------------------------------------	-------------	-------------

UDO 9.1.9. Watershed Protection Overlay Districts	ac	%
UWPOD - Wooded Area (preserved)	0	0%
UWPOD - Wooded Area (planted)	0	0%
FWPOD - Wooded Area (preserved)	0	0%
FWPOD - Wooded Area (planted)	0	0%
SWPOD - Wooded Area (preserved)	0	0%
SWPOD - Wooded Area (planted)	0	0%

### Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
	Transaction Number
	Assigned Project Coordinator
	Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 472895

GENERAL INFORMATION	
Development Name	DUKE RALEIGH HOSPITAL NEW INPATIENT TOWER AND SURGERY EXPANSION
Zoning District	OX-5-PL Overlay District (if applicable) Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use	INSTITUTIONAL
Property Address(es)	3400 WAKE FOREST RD, RALEIGH NC 27609 Major Street Locator: WAKE FOREST ROAD
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:	
P.I.N. 1715361608	P.I.N. 1715268457

What is your project type?	<input type="checkbox"/> Apartment <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Duplex <input type="checkbox"/> Other: if other, please describe:	<input checked="" type="checkbox"/> Elderly Facilities <input type="checkbox"/> School <input type="checkbox"/> Religious Institutions	<input type="checkbox"/> Hospitals <input type="checkbox"/> Shopping Center <input type="checkbox"/> Residential Condo	<input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Banks <input type="checkbox"/> Retail	<input type="checkbox"/> Office <input type="checkbox"/> Industrial Building <input type="checkbox"/> Cottage Court
----------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------	---------------------------------------------------------------------------------------------------------------------------

Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  
New Inpatient Tower and surgery expansion. Additional 38 hospital beds added and 31-parking spaces removed. Existing site has excess parking on site, see summary on plans.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE
--------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------

CLIENT/DEVELOPER/OWNER	Company DUKE UNIVERSITY MEDICAL CENTER AND HEALTH SYSTEM Name (s) TONY BALDASSARI Address 2200 WEST MAIN STREET, SUITE 650, DURHAM, NC 27705 Phone 919.286.8311 Email anthony.baldassari@duke.edu Fax
CONSULTANT (Contact Person for Plans)	Company COLE JENEST & STONE Name (s) LINDA VASIL, P.E. Address 119 EAST HARGETT STREET, SUITE 300, RALEIGH, NC 27601 Phone 919-645-5979 Email lvasil@colejeneststone.com Fax 919-719-1819

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) OX-5-PL	Proposed building use(s) HOSPITAL
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross 497,356
Overlay District N/A	Proposed Building(s) sq. ft. gross 174,693
Total Site Acres Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	Total sq. ft. gross (existing & proposed) 672,049
Off street parking: Required 907 Provided 1,589 (existing)	Proposed height of building(s) 75 feet
COA (Certificate of Appropriateness) case #	# of stories 6
BOA (Board of Adjustment) case # A-A-16-17	ceiling height of 1 <sup>st</sup> floor 12 feet (varies)
CUD (Conditional Use District) case # Z-	
Stormwater Information	
Existing Impervious Surface 12.87 ACRES acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 12.69 ACRI acres/square feet	If Yes, please provide: Alluvial Soils Flood Study FEMA Map Panel #
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)  
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.  
I hereby designate SEAN GLEASON & LINDA VASIL to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.  
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed Shawn Subasic Date 7/18/17  
Printed Name SHAWN SUBASIC

Signed \_\_\_\_\_ Date \_\_\_\_\_  
Printed Name \_\_\_\_\_





Hellmuth, Obata + Kassabaum, Inc.  
 Canal House, 3223 Grace Street, N.W.  
 Washington, DC 20007 USA  
 t+1 202 339 8700 f+1 202 339 8800

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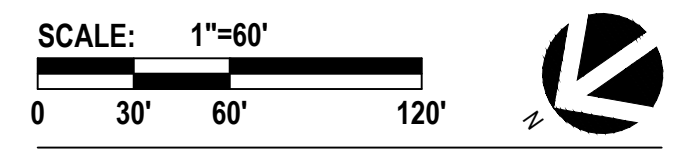
**ColeJenest & Stone**  
 119 East Hargett Street, Suite 300  
 Raleigh, North Carolina 27601  
 P: 919 719 1800

MEP Engineers



NC Lic. No. C-2982  
 1414 Raleigh Road, Suite 305  
 Chapel Hill, North Carolina 27517  
 P: 919 419 9802

Key Plan



Professional Seals



No.	Description	Date
1	ADMIN. SITE PLAN - 3RD SUBMITTAL	10/10/17

**NEW INPATIENT TOWER AND SURGERY EXPANSION**

Date of First Issue: 2017-07-21

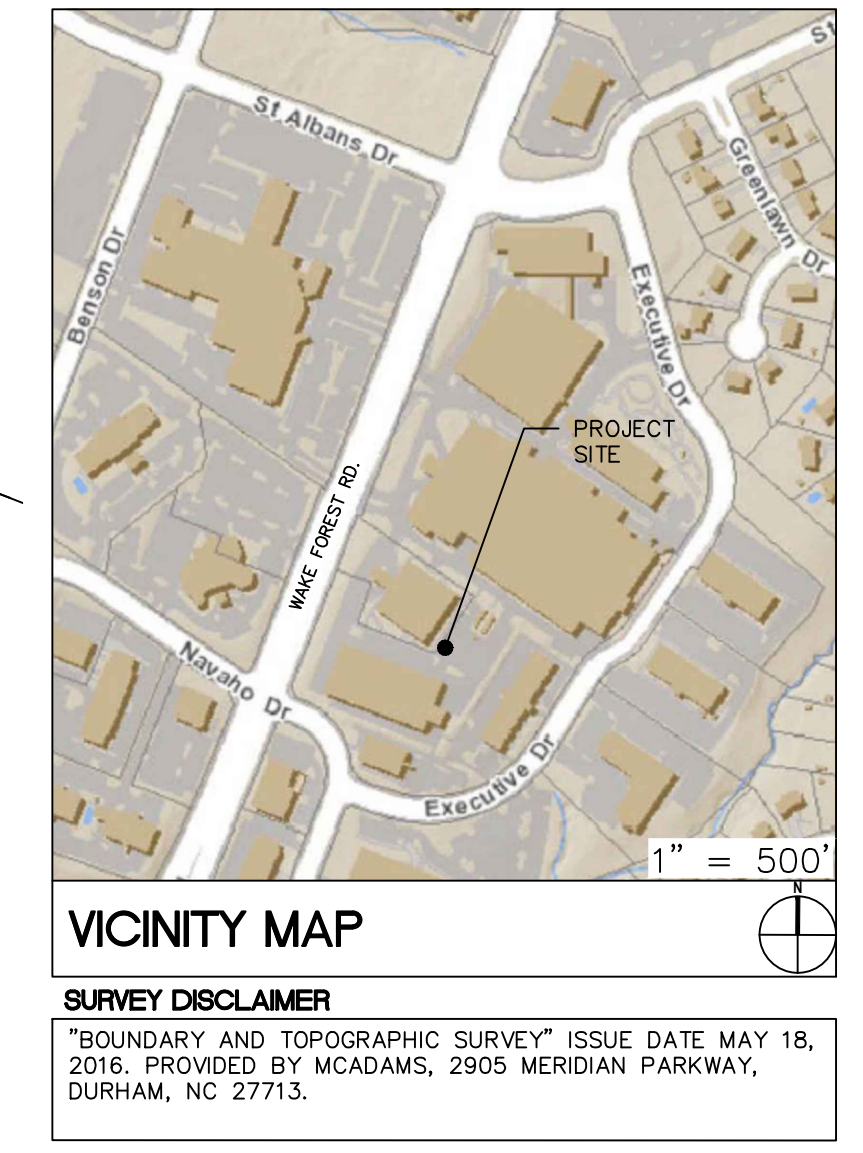
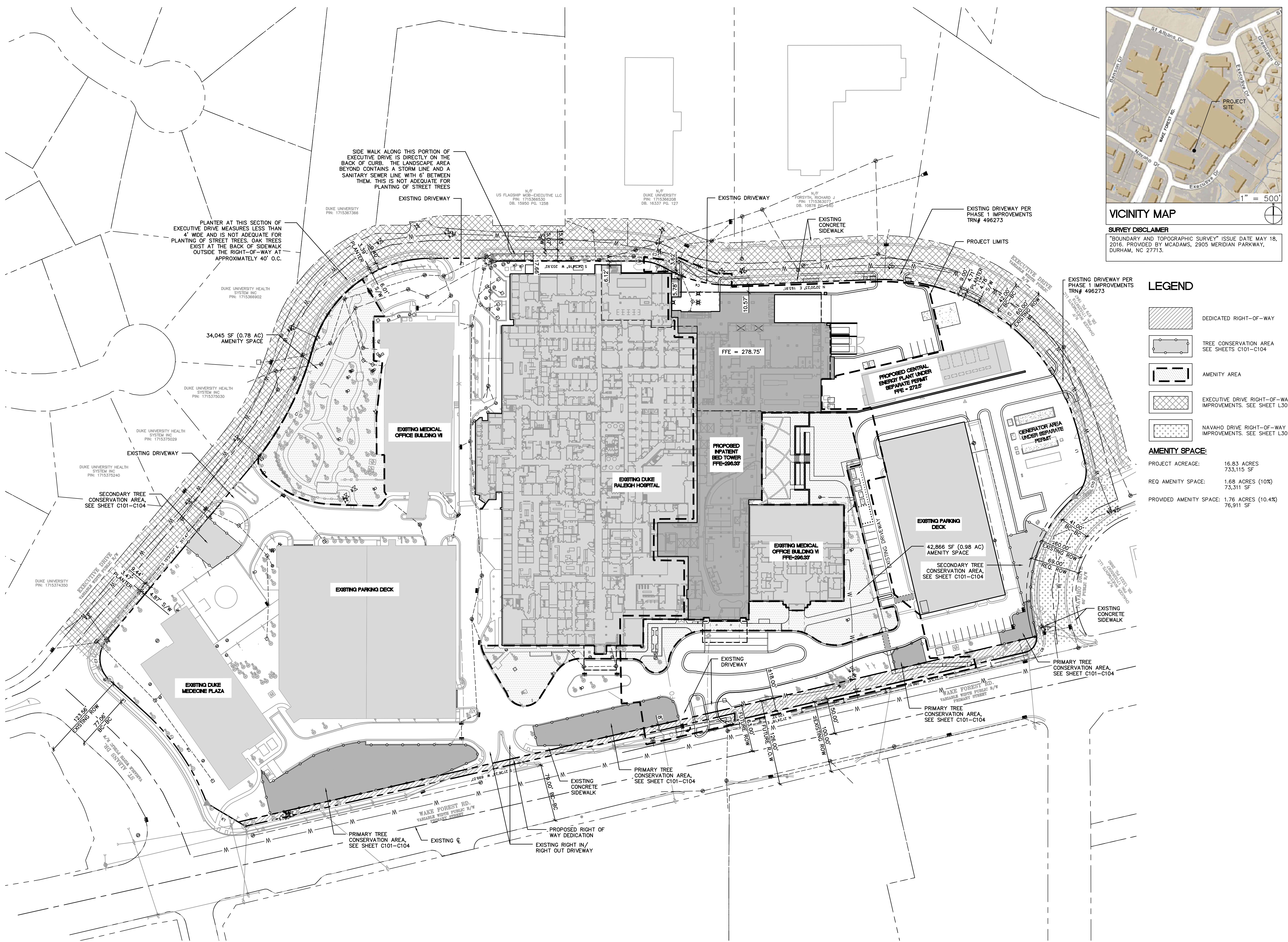
Project No.: 50425.00

Sheet Title

**OVERALL  
 CAMPUS PLAN**

Original drawing is 24 x 36. Do not scale contents of this drawing.  
 Sheet Number

**C100**



**LEGEND**

- DEDICATED RIGHT-OF-WAY
- TREE CONSERVATION AREA SEE SHEETS C101-C104
- AMENITY AREA
- EXECUTIVE DRIVE RIGHT-OF-WAY IMPROVEMENTS. SEE SHEET L301
- NAVAHO DRIVE RIGHT-OF-WAY IMPROVEMENTS. SEE SHEET L301

**AMENITY SPACE:**

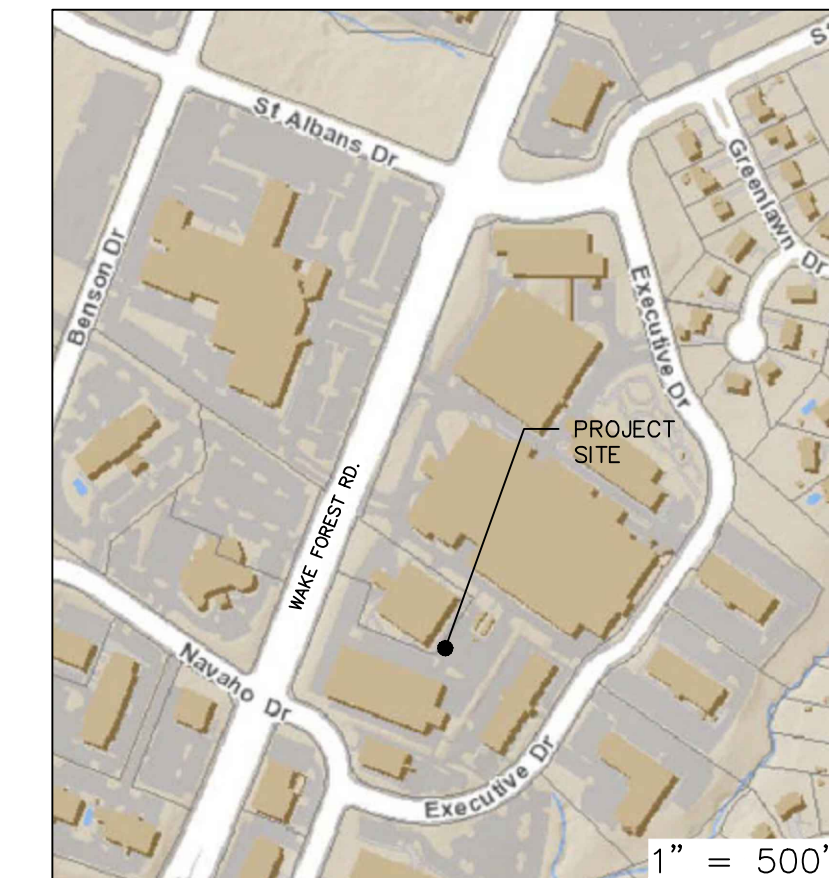
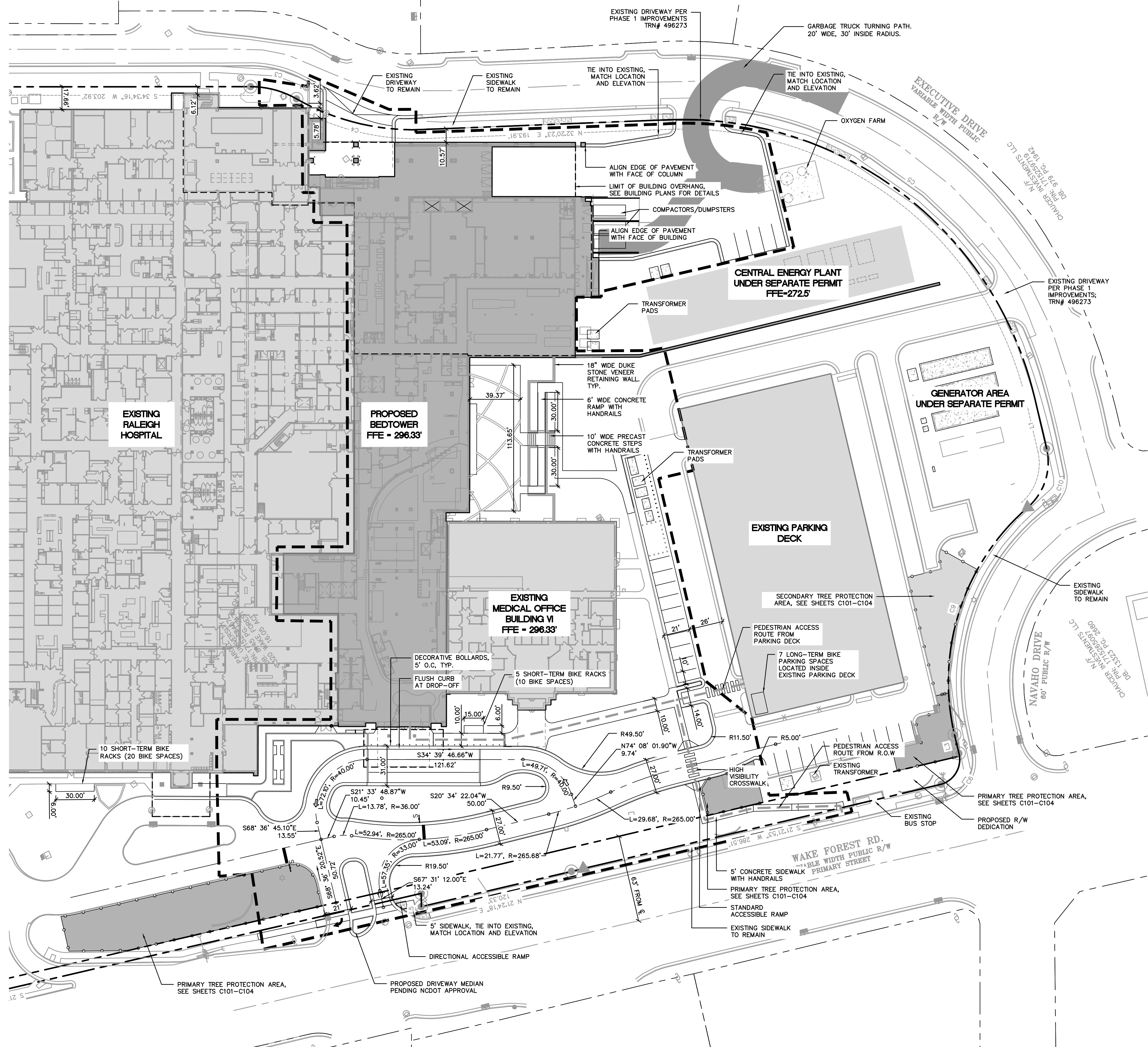
PROJECT ACREAGE:	16.83 ACRES 733,115 SF
REQ AMENITY SPACE:	1.68 ACRES (10%) 73,311 SF
PROVIDED AMENITY SPACE:	1.76 ACRES (10.4%) 76,911 SF



N/F  
FLAGSHIP MOB-EXECUTIVE LLC  
PIN: 1715366530  
DB: 15950 PG. 1258

N/F  
DUKE UNIVERSITY  
PIN: 1715366208  
DB: 16337 PG. 127

N/F  
FORSYTH, RICHARD J  
PIN: 1715363077  
DB: 10878 PG. 940



**VICINITY MAP**

**SURVEY DISCLAIMER**  
"BOUNDARY AND TOPOGRAPHIC SURVEY" ISSUE DATE MAY 18, 2016. PROVIDED BY MCADAMS, 2905 MERIDIAN PARKWAY, DURHAM, NC 27713.

**LEGEND**

SYMBOL	DETAIL
	PROPERTY LINE
	PROJECT LIMITS
	PEDESTRIAN ACCESS ROUTE
	PROPOSED 2'-6" CURB & GUTTER
	PROPOSED STOP SIGN
	PRIMARY TREE CONSERVATION AREA (TCA)
	SECONDARY TREE CONSERVATION AREA (TCA)

**\*SEE SHEET L200 FOR SITE MATERIALS**



Project  
**NEW INPATIENT TOWER AND SURGERY EXPANSION**  
3400 Wake Forest Road  
Raleigh, North Carolina 27609

Prepared For  
**Duke Raleigh Hospital**  
Duke University Medical Center & Health System  
2200 West Main Street, Suite 650  
Durham, North Carolina 27705



Contract No.



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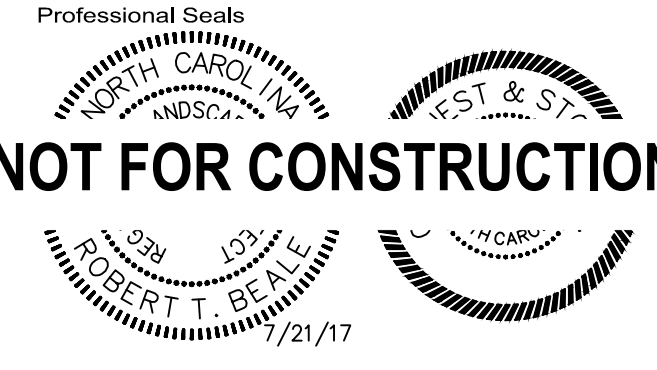
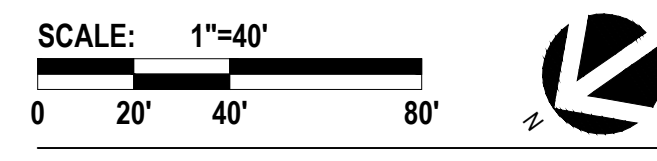
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Key Plan



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Sheet Title

**SITE PLAN**



- CONTRACTOR IS FULLY RESPONSIBLE FOR CONTACTING APPROPRIATE PARTIES AND ENSURING THAT ALL EXISTING UTILITIES ARE LOCATED PRIOR TO CONSTRUCTION.
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- ALL PAVEMENT CUTS, CONCRETE OR ASPHALT, ARE TO BE REPLACED ACCORDING TO THE STANDARDS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION, OR LOCAL JURISDICTION, WHICHEVER IS MORE STRINGENT.
- SHORING SHALL BE IN ACCORDANCE WITH OSHA TRENCHING STANDARDS, 29 CFR, PART 1926, SUBPART P, OR AS AMENDED.

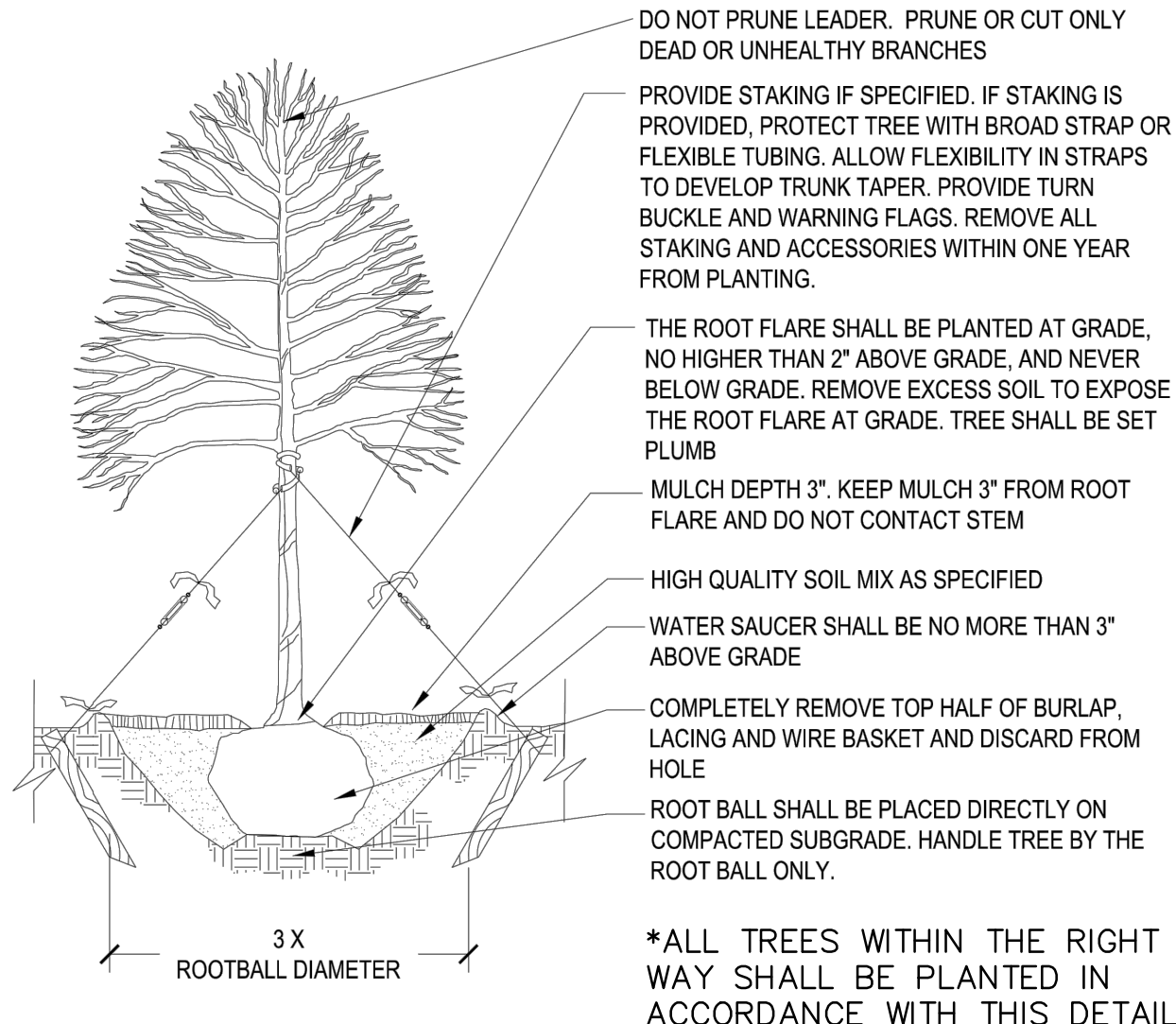
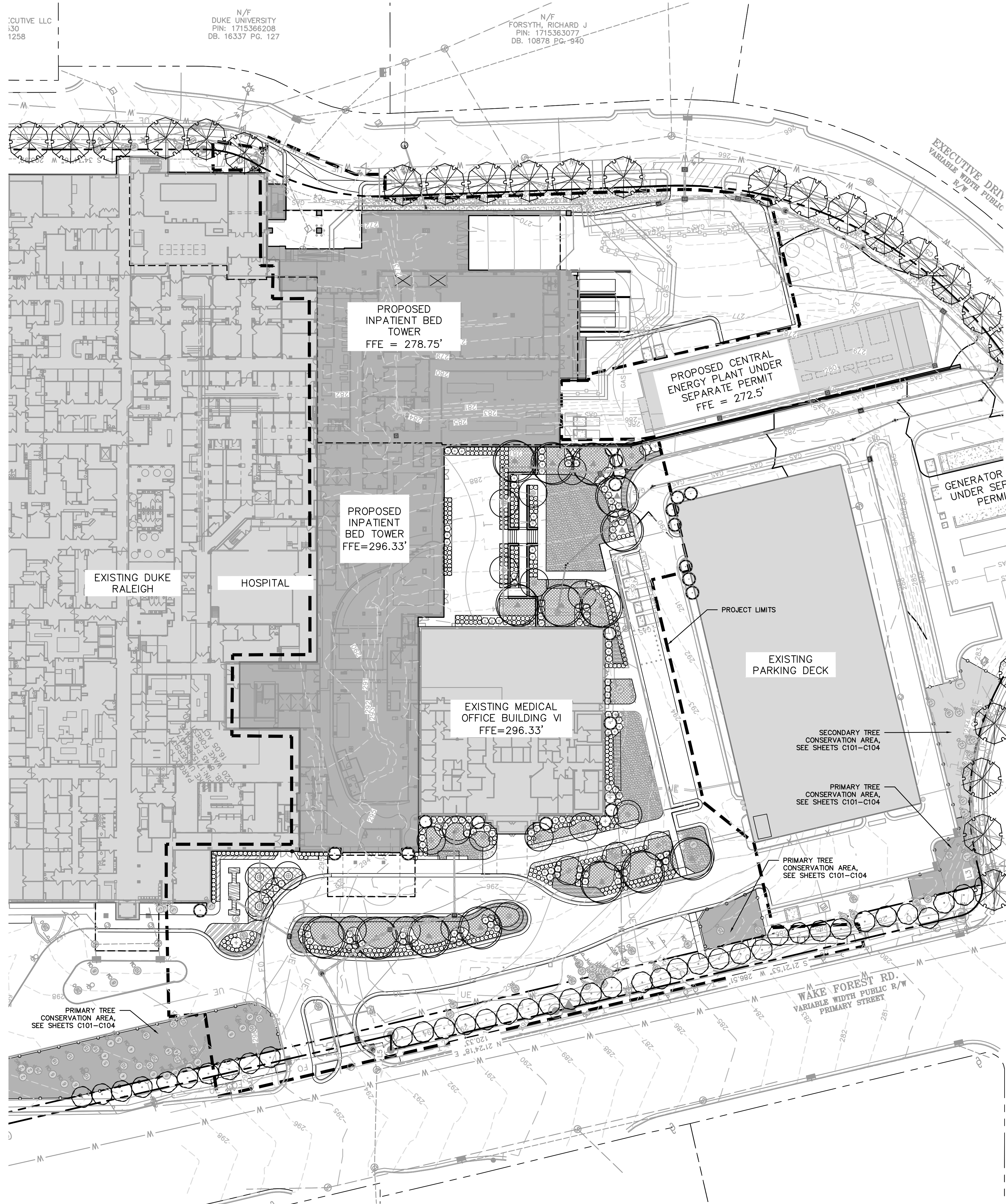
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Sheet Number

**C200**







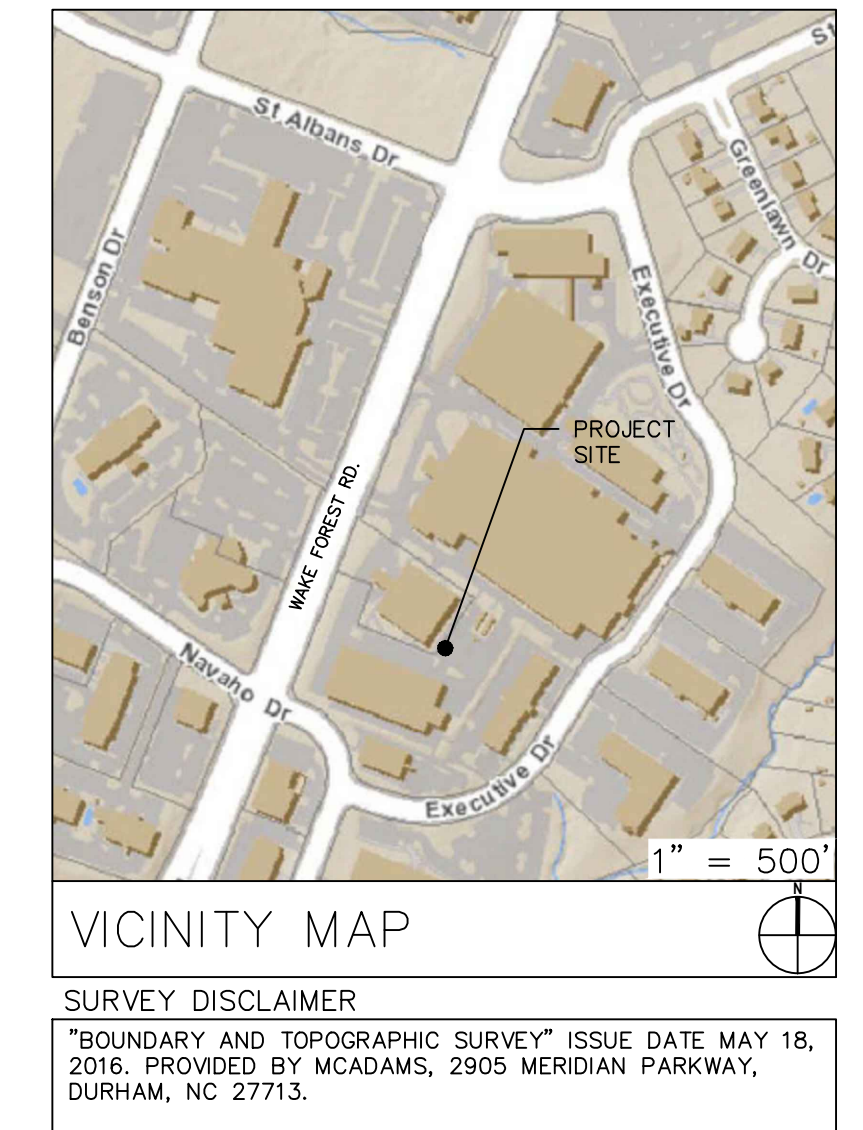


- NOTES:
- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSITIVE DRAINAGE AWAY FROM PIT)
  - ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
  - STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 5' MINIMUM FIRST BRANCH HEIGHT.
  - PLANTING SEASON OCTOBER - APRIL.
  - A TREE IMPACT PERMIT IS REQUIRED.
  - ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED IN THE PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

CONTACT INFORMATION:  
CITY OF RALEIGH PARKS, RECREATION AND CULTURAL RESOURCES DEPARTMENT URBAN FORESTER:  
TREES@RALEIGHNC.GOV  
WWW.RALEIGHNC.GOV

CONCEPT PLANT SCHEDULE	QUANTITY
SHADE TREES (R&B, 3"-3.5" CAL.) ACER BARBATUM / SOUTHERN SUGAR MAPLE GLEDITSIA TRIACANTHOS INERMIS / THORNLESS COMMON HONEYLOCUST QUERCUS ALBA / WHITE OAK QUERCUS FALCATA / SOUTHERN RED OAK	15
UNDERSTORY TREES (R&B, 1.5"-2" CAL.) AMELANCHIER CANADENSIS 'DIP COUNTY' / SHADBLOW SERVICEBERRY MULTITRUNK CORNUS FLORIDA 'CHEROKEE CHIEF' / CHEROKEE CHIEF DOGWOOD CORNUS X 'HYPERION' / 'HYPERION' DOGWOOD CORNUS X 'RUTGAN' / STELLAR PINK DOGWOOD	23
EVERGREEN TREES (R&B, 8'-10" HT.) CEDRUS DEODARA / DEODAR CEDAR JUNIPERUS SCOPULORUM 'SKYROCKET' / SKYROCKET JUNIPER LIQUIDAMBAR STYRACIFLUA 'SLENDER SILHOUETTE' / COLUMNAR SWEET GUM	20
LARGE SHRUB (24"-30" HT/SPR) AESCULUS PARVIFLORA / BOTTLEBRUSH BUCKEYE HYDRANGEA PANICULATA 'FIRE LIGHT' / PANICLED HYDRANGEA VIBURNUM PULCATUM 'TOMENTOSUM 'MARISSII' / MARISSII DOUBLE FILE VIBURNUM	9
MEDIUM SHRUB (24"-30" HT/SPR) CLETHRA ALNIFOLIA 'HUMMINGBIRD' / SUMMERSWEET HYDRANGEA ARBORESCENS 'HAAS' HALO' / WILD HYDRANGEA	147
SMALL SHRUB 1 (18"-24" HT/SPR) CAMELLIA HIEMALIS 'SHISHI GASHIRA' / CAMELLIA ILEX CORNUTA 'CARISSA' / CARISSA HOLLY VIBURNUM OBOVATUM 'RAULSTON'S HARDY' / RAULSTON'S HARDY VIBURNUM	448
ORNAMENTAL GRASS (4" HT) BOUTELLOUA GRACILIS 'BLONDE AMBITION' / BLUE GRAMA PANICUM VIRGATUM 'DALLAS BLUES' TM / DALLAS BLUES SWITCH GRASS	976 SF
GROUNDCOVER SHADE (4" HT) CAREX APPALACHICA / APPALACHIAN SEDGE CHASMANTHUS LATIFOLIUM / WOOD OATS	4,341 SF
GROUNDCOVER EVERGREEN (4" HT) LIGUSTRUM SINENSE 'SUNSHINE' / SUNSHINE LIGUSTRUM	183 SF
ACCENT GROUNDCOVER (4" HT) DIANTHUS X 'CORAL REEF' / CORAL REEF PINKS DIANTHUS X 'FIRST LOVE' / FIRST LOVE DIANTHUS PHLOX SUBULATA / MOSS PHLOX	174 SF
TURF GRASS	8,179 SF
ANNUALS / EPHEMERALS (COLOR)	588 SF

\*SEE SHEET C001 FOR PLANTING/LANDSCAPE NOTES  
\*SEE SHEET L301 FOR STREET TREE PLANTING



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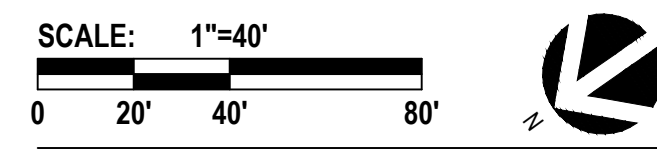
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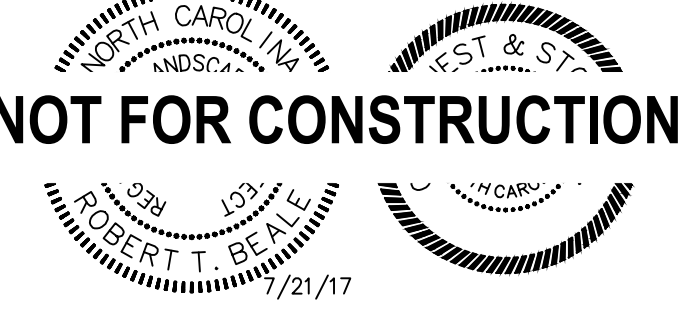


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Key Plan



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No.	Description	Date
1	ADMIN. SITE PLAN - 3RD SUBMITTAL	10/10/17

**NEW INPATIENT TOWER AND SURGERY EXPANSION**

Date of First Issue: 2017-07-21

Project No: 50425.00

Sheet Title

**OVERALL PLANTING PLAN**

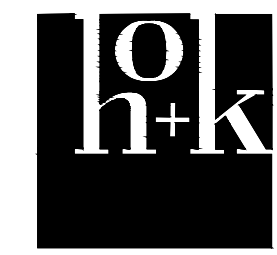


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**L300**





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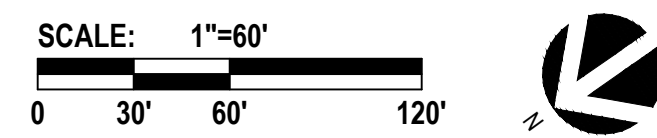
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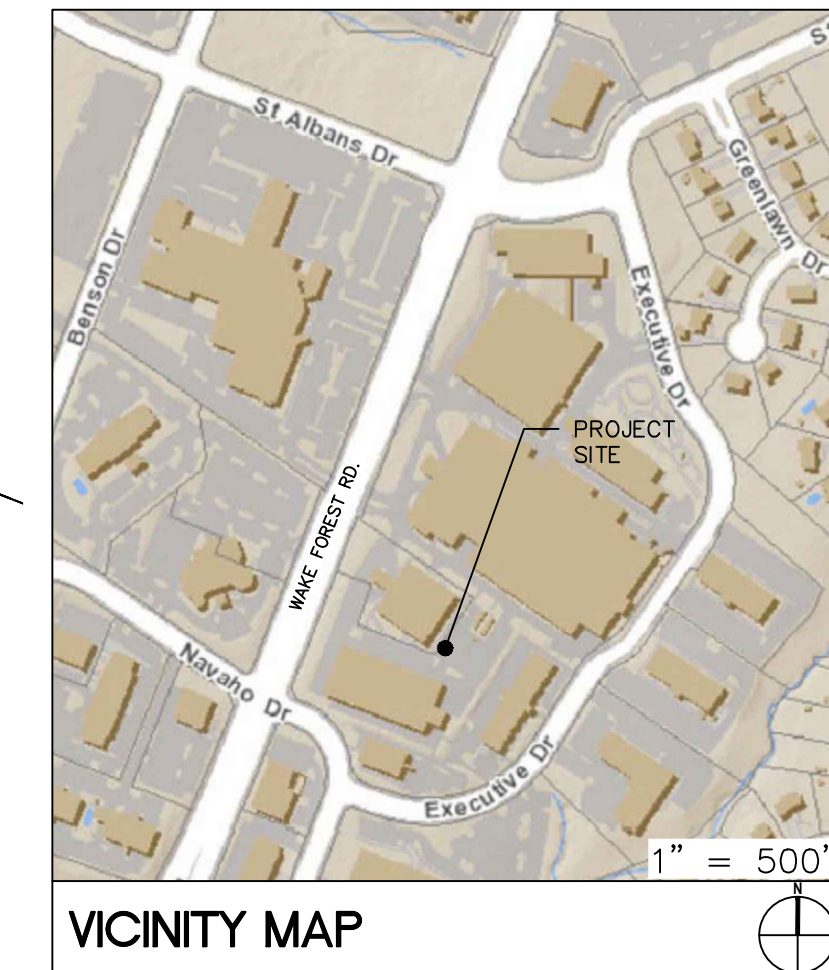
Sheet Title

**LANDSCAPE CODE COMPLIANCE PLAN**

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Sheet Number

**L301**

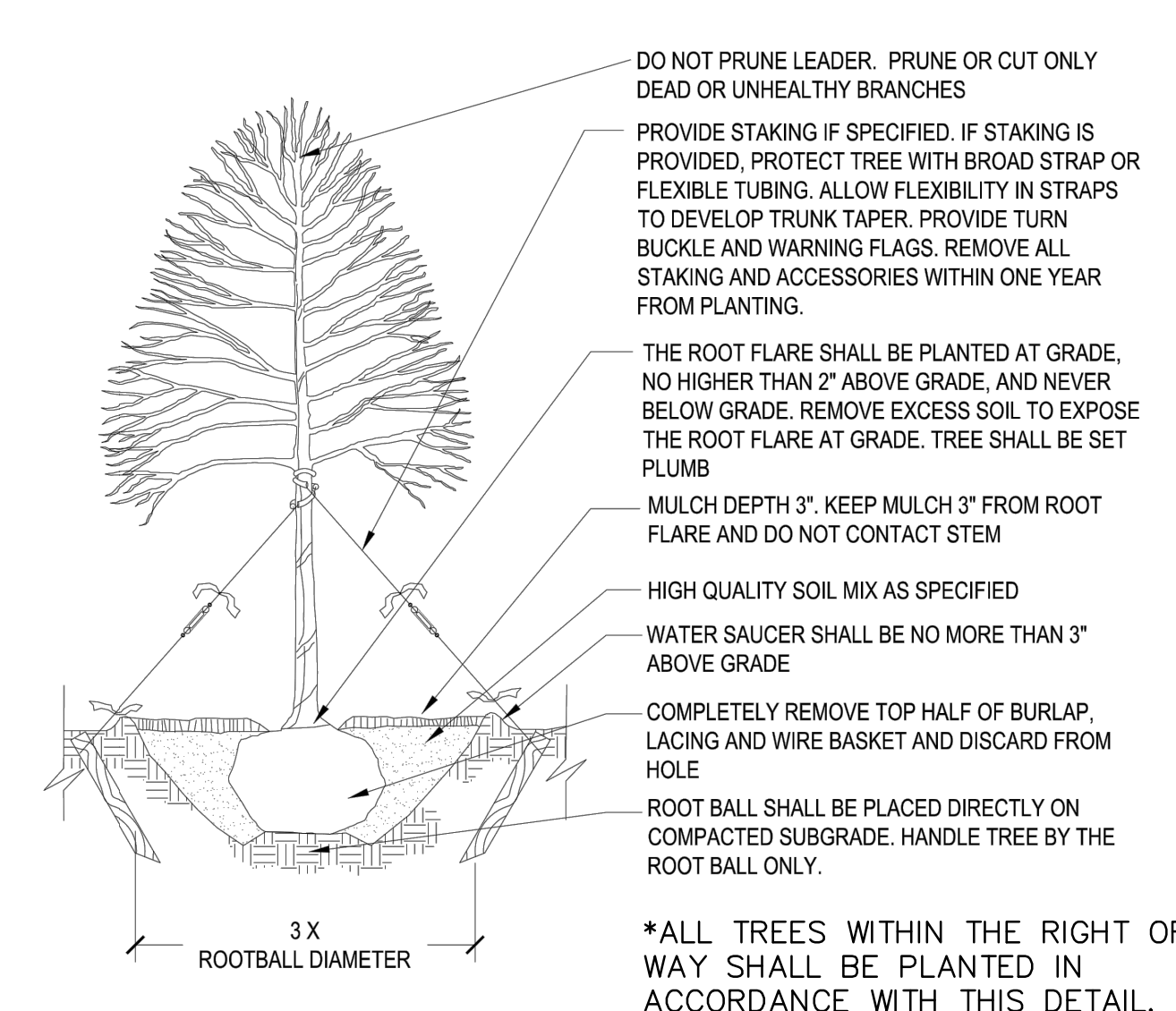


**VICINITY MAP**  
 SURVEY DISCLAIMER  
 "BOUNDARY AND TOPOGRAPHIC SURVEY" ISSUE DATE MAY 18, 2016. PROVIDED BY MCADAMS, 2905 MERIDIAN PARKWAY, DURHAM, NC 27713.

**LEGEND**

SYMBOL	DESCRIPTION
	RIGHT-OF-WAY
	EXISTING SIDEWALK

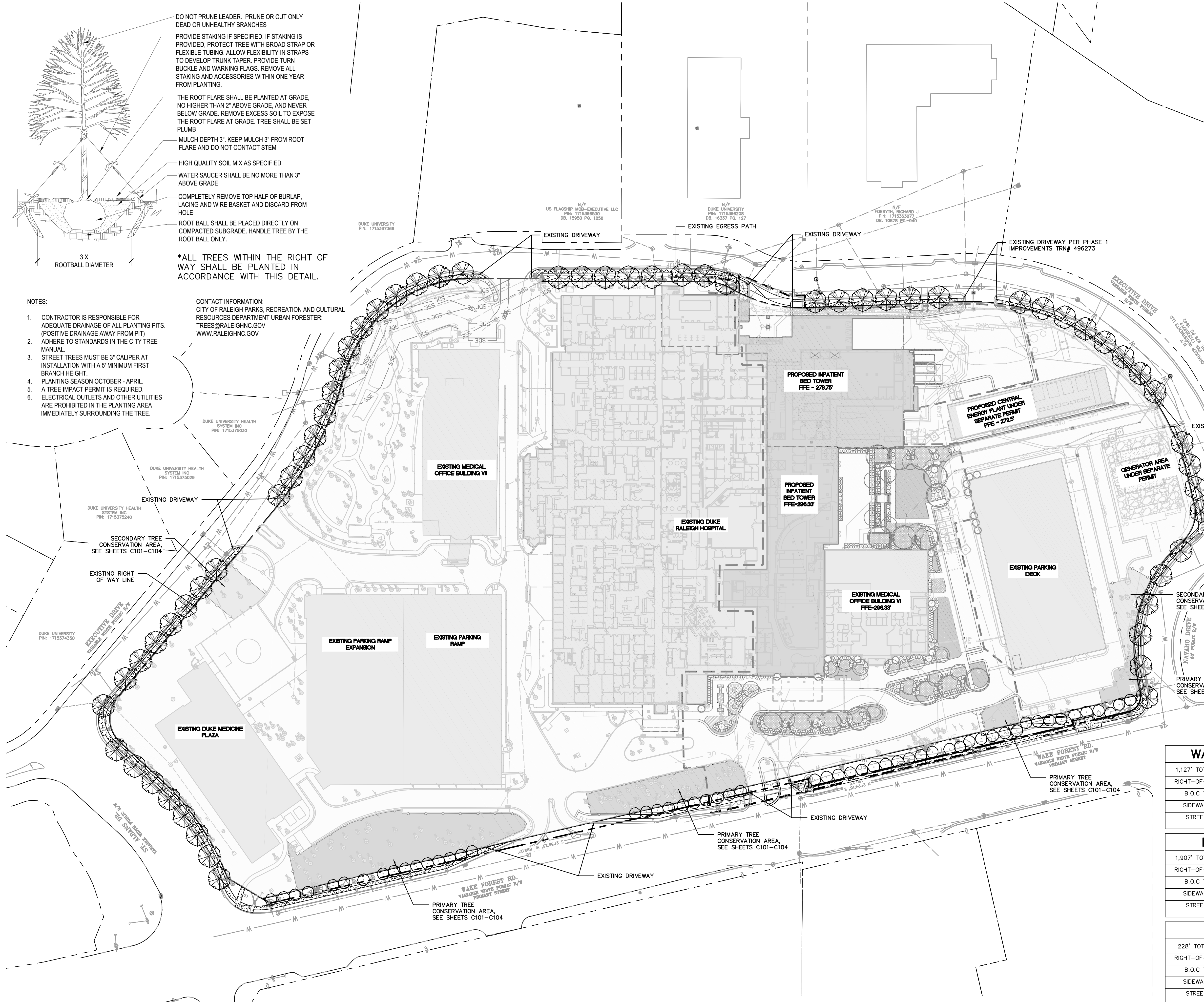
\*SEE SHEET C001 FOR PLANTING/LANDSCAPE NOTES



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 TREES@RALEIGHNC.GOV  
 WWW.RALEIGHNC.GOV



**STREETSCAPE PLANT SCHEDULE QUANTITY**

STREET	PLANT SCHEDULE	QUANTITY
WAKE FOREST ROAD	STREET TREE (8&B, 3"-3.5" CAL.) QUERCUS PHELLOS 'HIGHTOWER' / WILLOW OAK ULMUS PARVIFOLIA 'ALLEE' / ALLEE LACEBARK ELM	62
	UNDERSTORY TREES (8&B, 1.5"-2" CAL.) AMELANCHIER CANADENSIS 'TIFT COUNTY' / SHADBLOW SERVICEBERRY MULTITRUNK CORNUS FLORIDA 'CHEROKEE CHIEF' / CHEROKEE CHIEF DOGWOOD CORNUS X 'HYPERION' / 'HYPERION' DOGWOOD CORNUS X 'RUTGAN' / STELLAR PINK DOGWOOD	54

**WAKE FOREST ROAD STREETSCAPE**

	EXISTING	REQUIRED	PROVIDED
1,127' TOTAL LENGTH			
RIGHT-OF-WAY WIDTH	100'	126'-0"	SHOWN ON PLANS
B.O.C TO B.O.C	79'-0"	N/A	N/A
SIDEWALK WIDTH	5'-0"	6'-0"	FEE-IN-LIEU
STREET TREES	1 PER 20 LINEAR FEET	1,127 LF/20 = 56 TREES	56 UNDERSTORY TREES

**EXECUTIVE DRIVE STREETSCAPE**

	EXISTING	REQUIRED	PROVIDED
1,907' TOTAL LENGTH			
RIGHT-OF-WAY WIDTH	VARIABLE (60' MIN.)	64'-0"	DESIGN ADJUSTMENT
B.O.C TO B.O.C	42'-0"	36'-0"	42'-0"
SIDEWALK WIDTH	5'-0"	6'-0"	FEE-IN-LIEU
STREET TREES	1 PER 40 LINEAR FEET	1,907 LF/40 = 48 TREES	48 STREET TREES

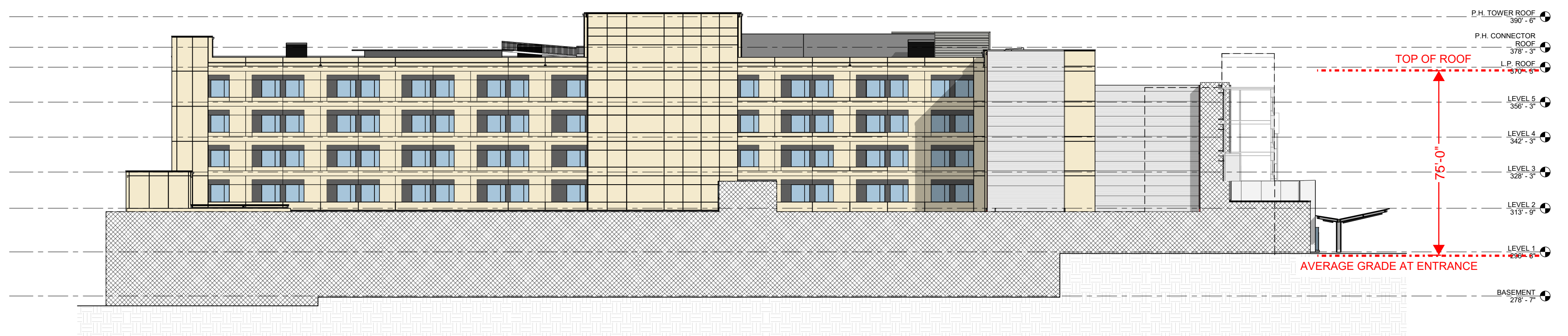
**NAVAHO DRIVE STREETSCAPE**

	EXISTING	REQUIRED	PROVIDED
228' TOTAL LENGTH			
RIGHT-OF-WAY WIDTH	VARIABLE (60' MIN.)	69'-0"	DESIGN ADJUSTMENT
B.O.C TO B.O.C	41'-0"	41'-0"	41'-0"
SIDEWALK WIDTH	5'-0"	6'-0"	FEE-IN-LIEU
STREET TREES	1 PER 40 LINEAR FEET	228 LF/40 = 6 TREES	6 STREET TREES

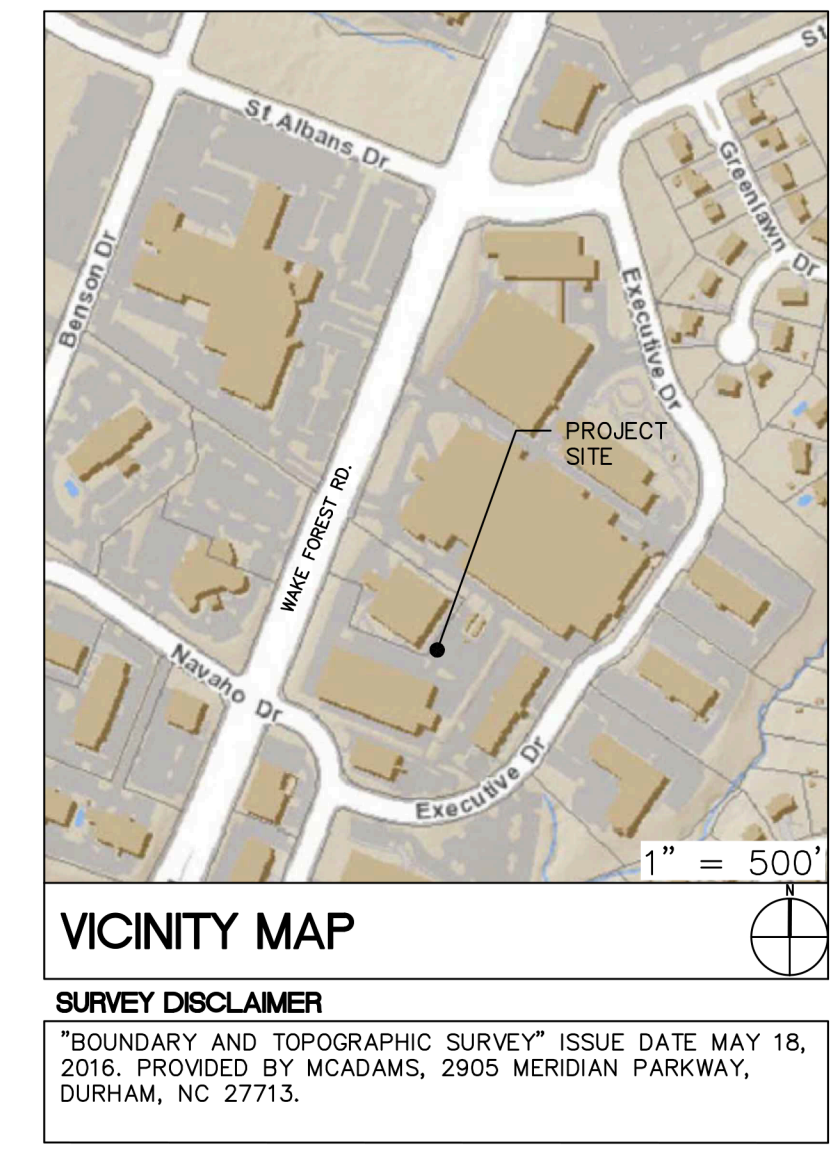
**ST. ALBANS DRIVE STREETSCAPE**

	EXISTING	REQUIRED	PROVIDED
293' TOTAL LENGTH			
RIGHT-OF-WAY WIDTH	VARIABLE (123' MIN.)	80'-0"	N/A
B.O.C TO B.O.C	77'-0"	41'-0"	77'-0"
SIDEWALK WIDTH	5'-0"	6'-0"	FEE-IN-LIEU
STREET TREES	1 PER 40 LINEAR FEET	293 LF/40 = 7 TREES	8 STREET TREES





3 NORTH ELEVATION



Project  
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Prepared For  
**Duke Raleigh Hospital**  
 Duke University Medical Center & Health System  
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**Duke Raleigh Hospital**  
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Key Plan

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No.	Description	Date
1	RESPONSE TO REVIEW COMMENTS	2017-08-18

**NEW INPATIENT TOWER AND  
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Date of First Issue: 2017-07-21

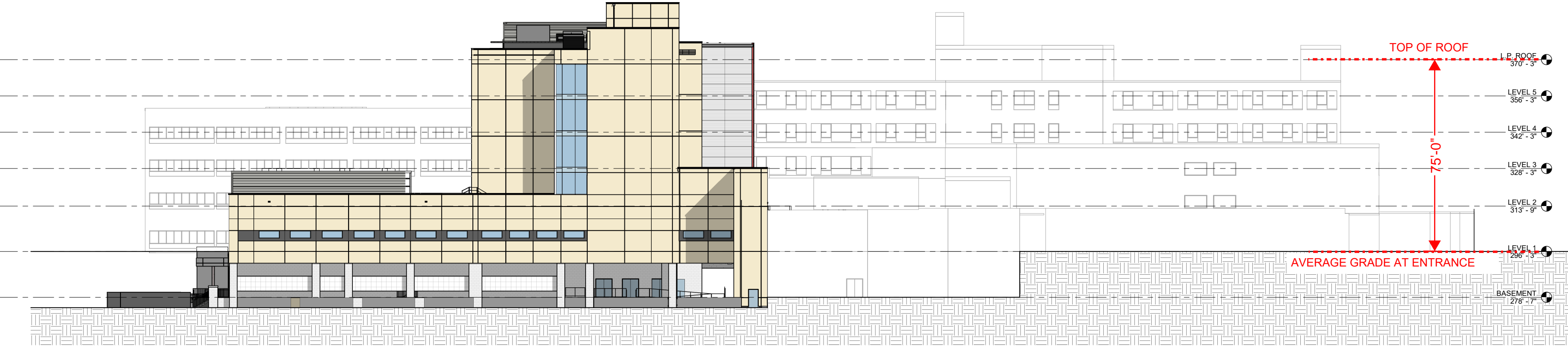
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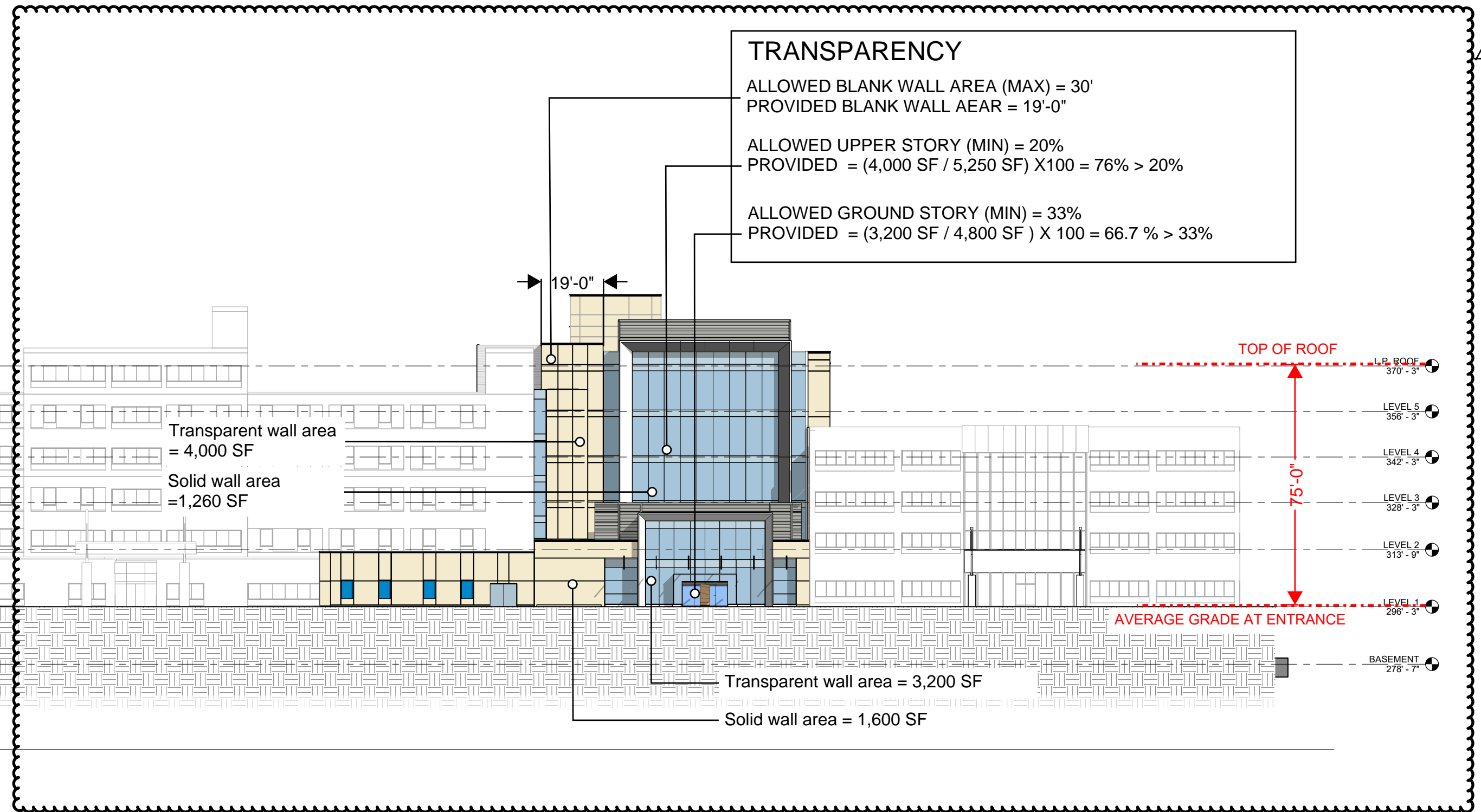
ELEVATIONS

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 Sheet Number

**A501**

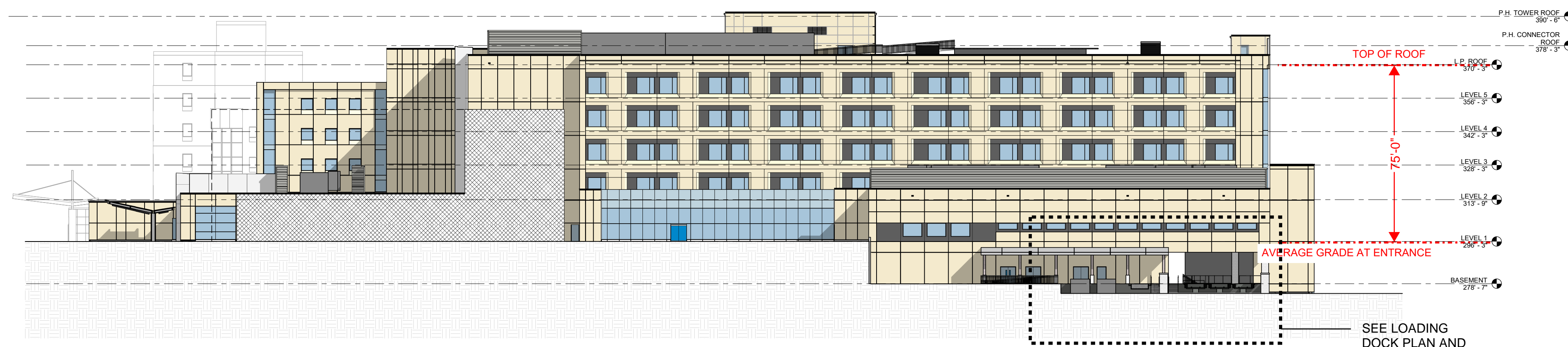


2 EAST-ELEVATION

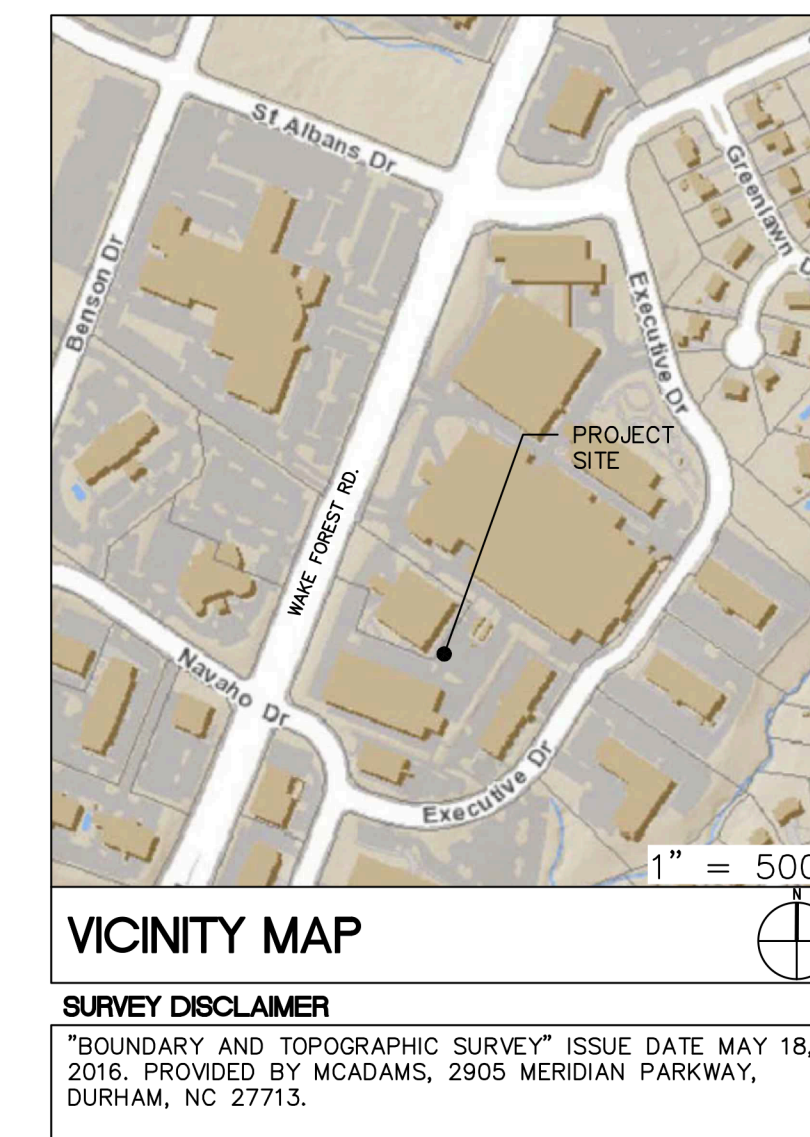


1 WEST-ELEVATION





- PRECAST CONCRETE
- GRAY PRECAST CONCRETE
- RATED WALL
- VISION GLASS
- SPANDREL GLASS
- METAL PANEL
- DEEP RIB GRAY METAL SCREEN



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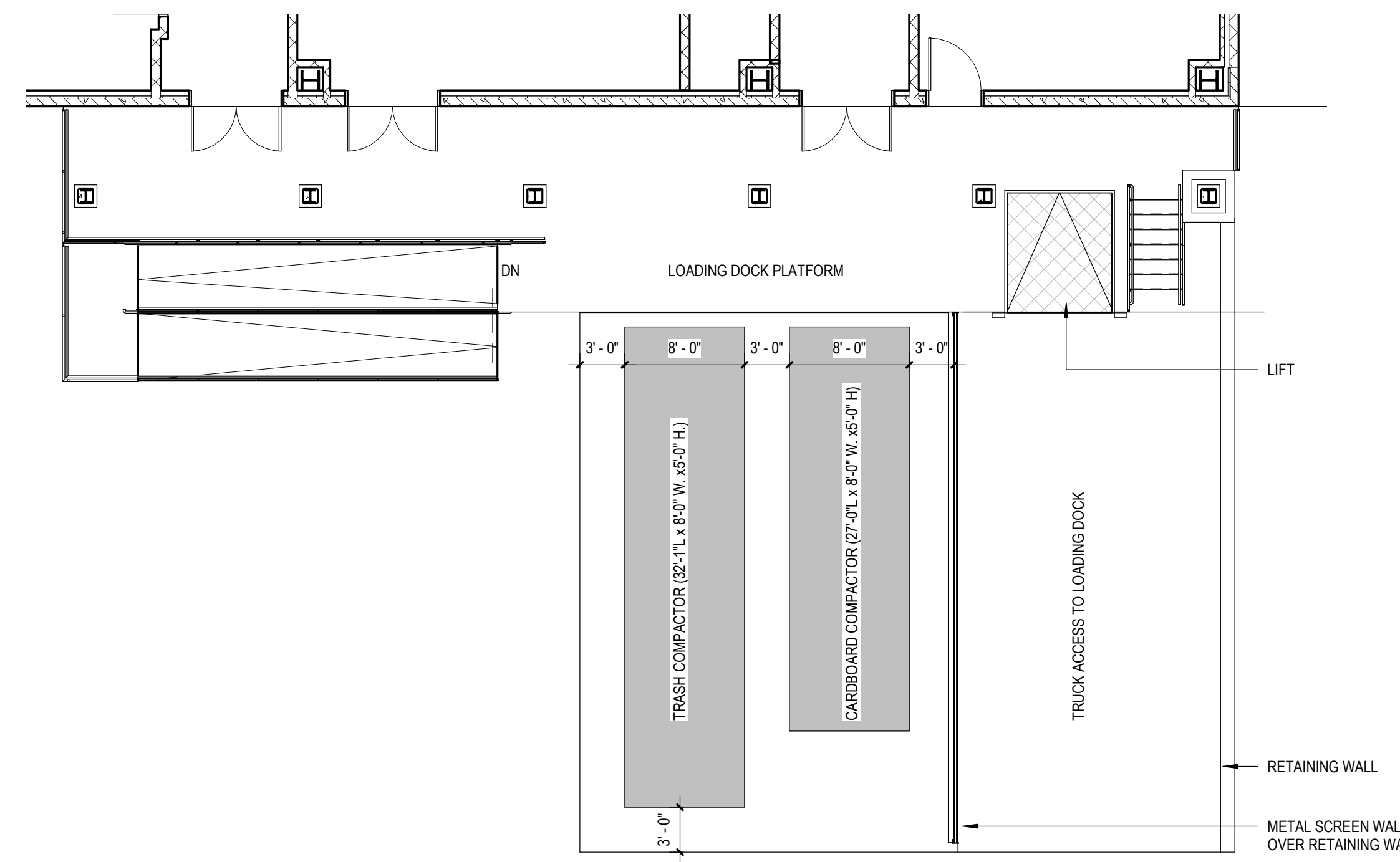
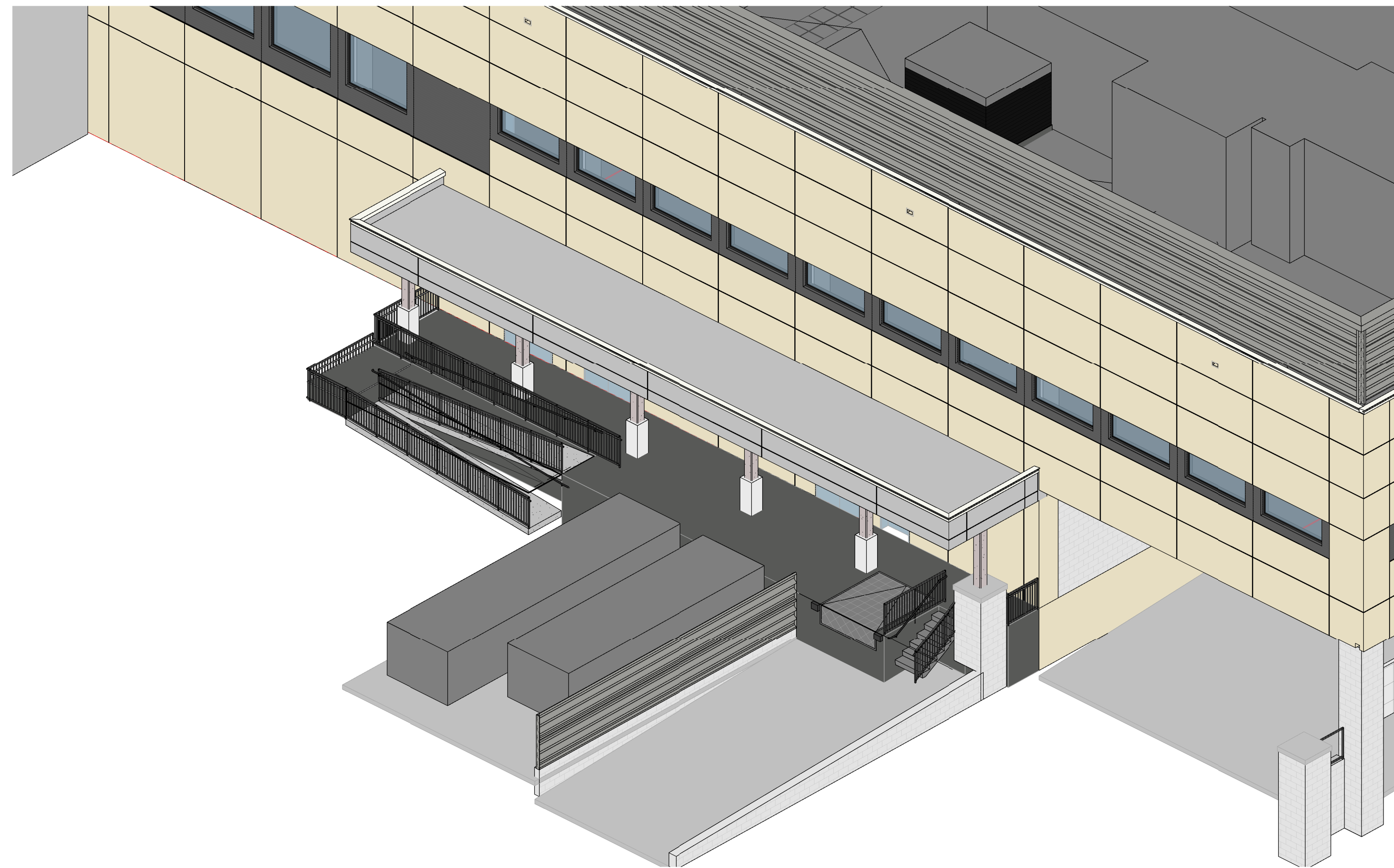
Project No: 50425.00

Sheet Title

**ELEVATION AND  
 LOADING DOCK PLAN**

Original drawing is 24 x 36. Do not scale contents of this drawing.  
 Sheet Number

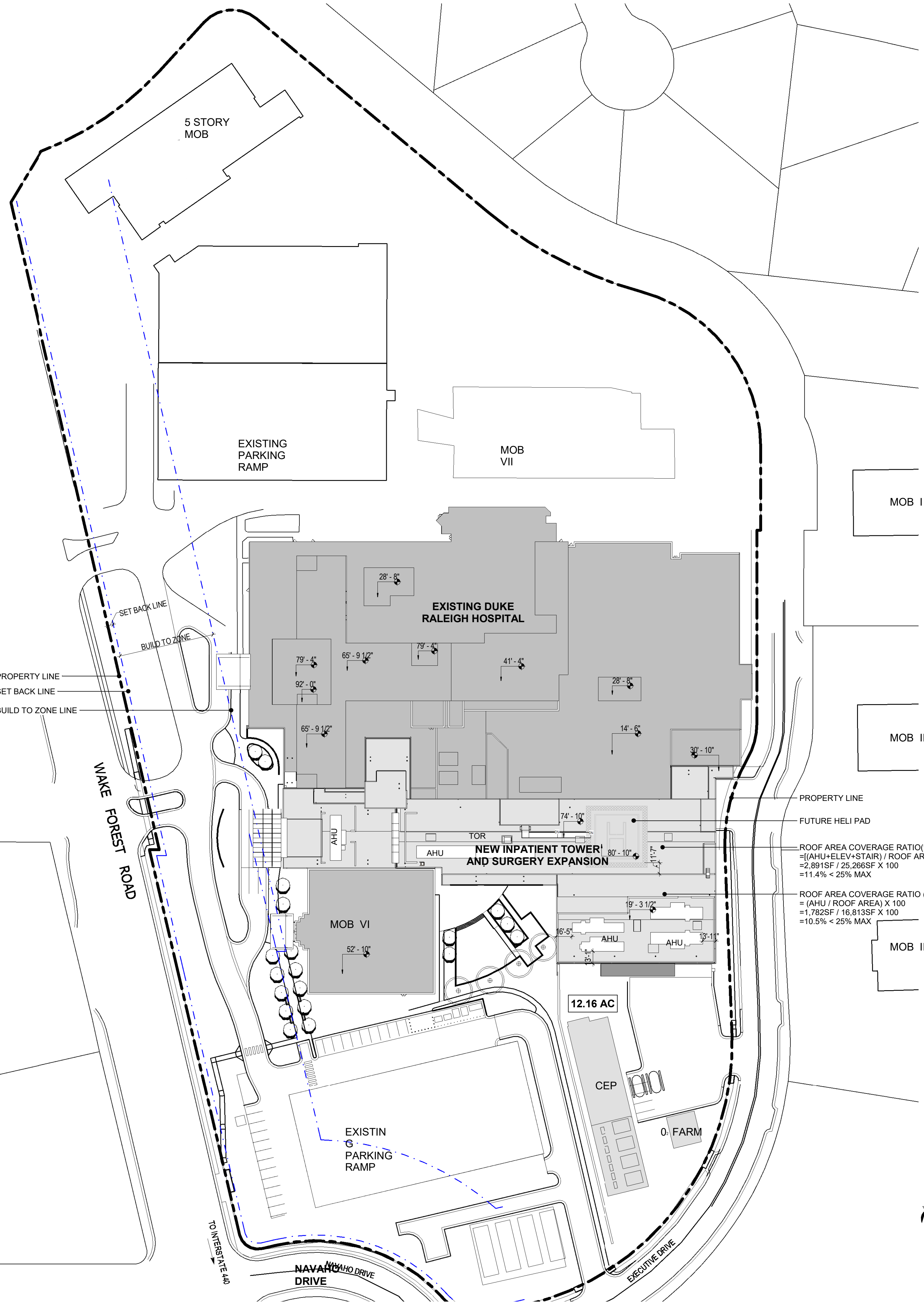
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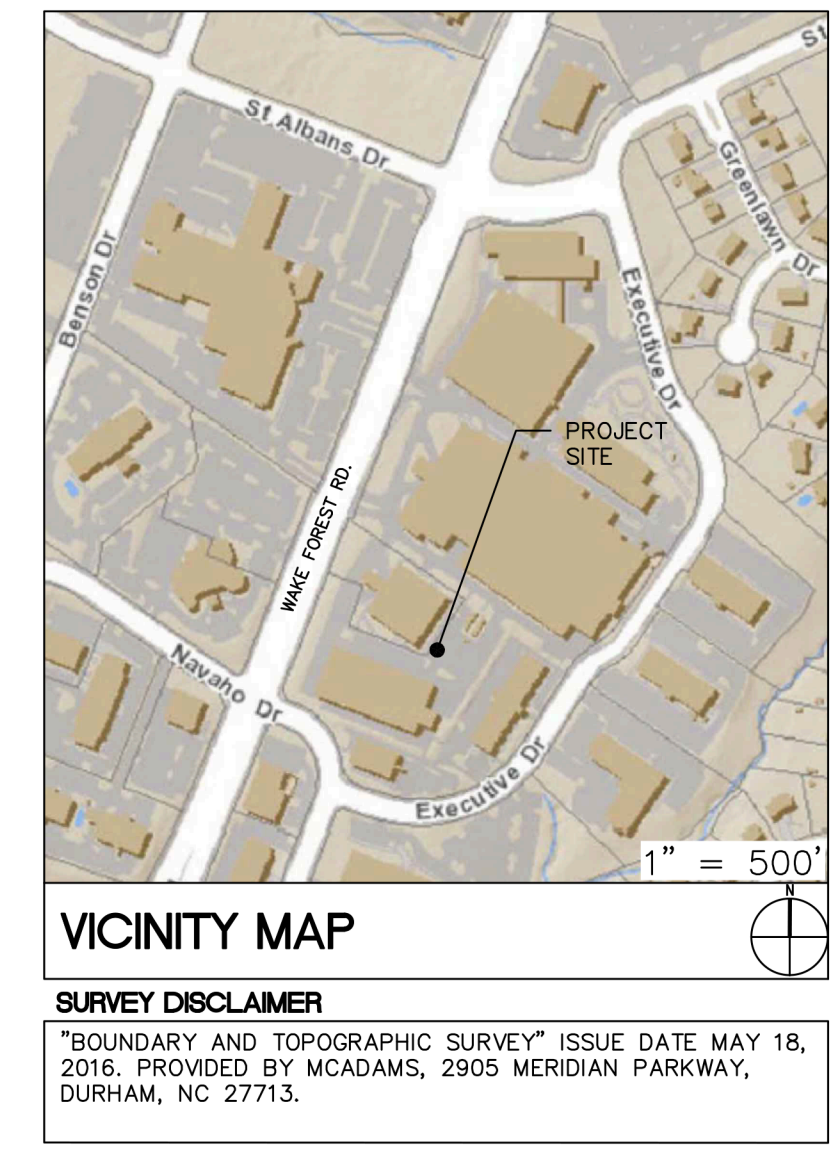
2 AXON AT LOADING DOCK COMPACTORS

1 LOADING DOCK SCREEN WALL PLAN AT COMPACTORS





- PRECAST CONCRETE
- GRAY PRECAST CONCRETE
- RATED WALL
- VISION GLASS
- SPANDREL GLASS
- METAL PANEL
- DEEP RIB GRAY METAL SCREEN

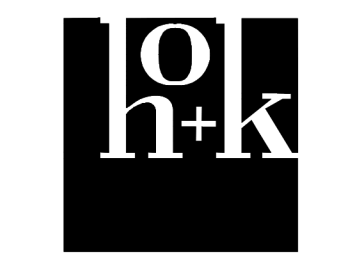


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 Project No: 50425.00  
 Sheet Title

**ROOF AND  
 BASEMENT PLAN**

Original drawing is 24 x 36. Do not scale contents of this drawing.  
 Sheet Number

**A503**

Linear feet of basement perimeter more than 6 feet below grade level = 700' x 100 = 63% > 50%, Lowest level of building is a basement  
 Total basement perimeter = 1109 feet

