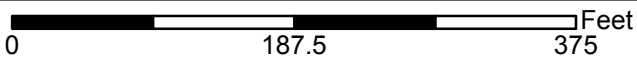
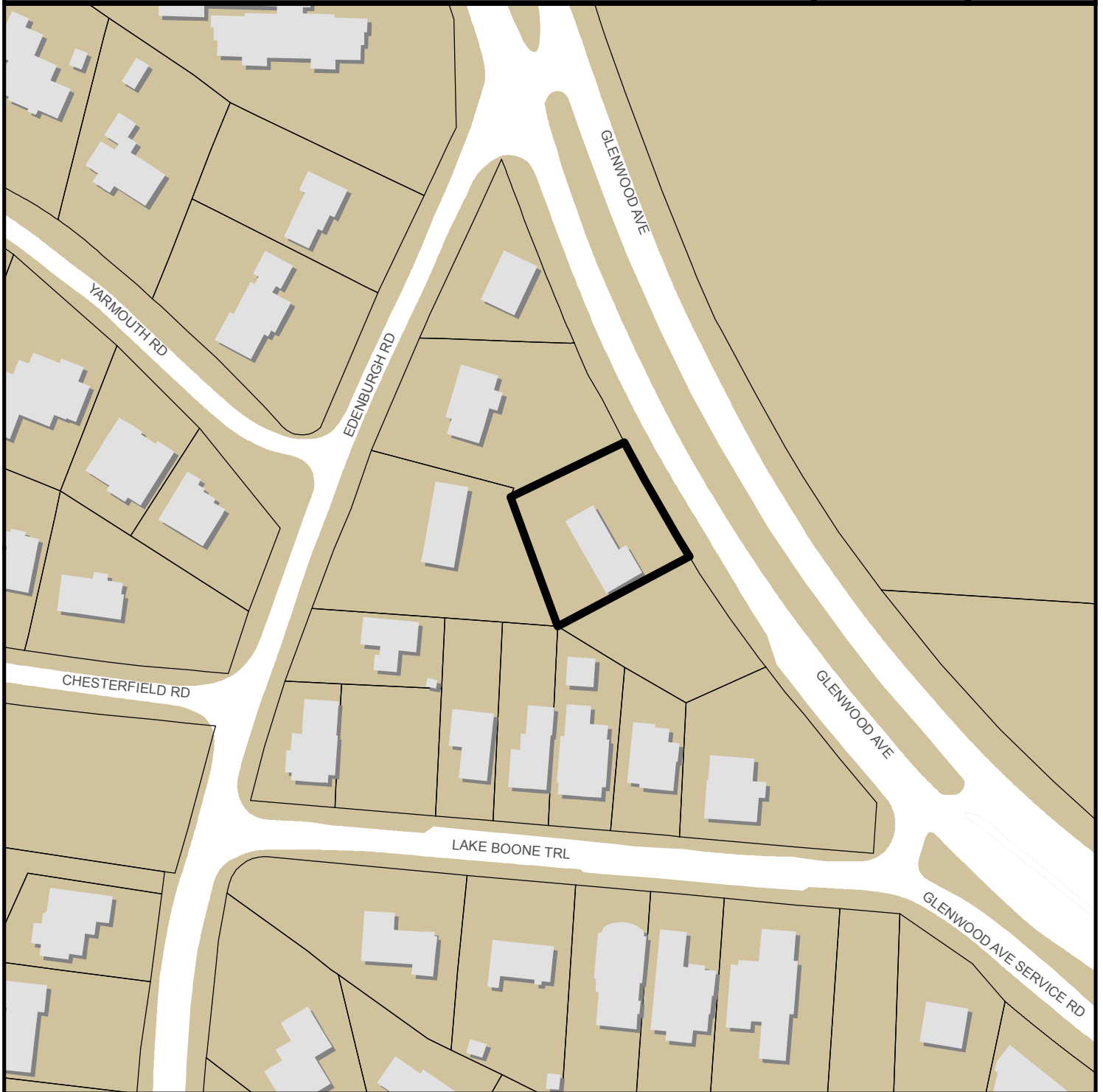


# 2717 GLENWOOD AVENUE SR-62-2017



Zoning: **OX-3-PL-CU**

CAC: **Glenwood**

Drainage Basin: **Beaverdam Creek**

Acreage: **0.62**

Sq. Ft.: **10,353**

Planner: **Michael Walters**

Phone: **(919) 996-2636**

Applicant: **Emory Campbell**

**LLC**





# Administrative Approval Action

AA #3688 / SR-62-17, 2717 Glenwood Avenue  
Transaction# 521603

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the west side of Glenwood Avenue, north of the intersection of Glenwood Avenue and Oberlin Road at 2717 Glenwood Avenue.

**REQUEST:** Development of a .58 acre tract zoned OX-3-PL CU (zoning case Z-34-16) into a two story 10,105 sq. ft office building.

## DESIGN

### ADJUSTMENT(S)/

**ALTERNATES, ETC:** One Design Adjustment has been approved for this project, noted below:

Allowing an alternative street cross section with the installation of the required street trees behind the sidewalk but within the right of way and also the elimination of the 5' general utility placement easement.

An alternative design has been approved by the City Solid Waste Director for this project, noted below:

Solid waste pickup to be provided by a contracted cleaning vendor.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by John A. Edwards & Company.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

### **PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:**

#### **ENGINEERING**

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

#### **STORMWATER**

3. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
4. That prior to Site Permitting, a nitrogen offset payment must be made to a qualifying mitigation bank.
5. Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.



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## URBAN FORESTRY

6. Obtain required stub and tree impact permits from the City of Raleigh. *(used with new streets and infrastructure)*

## PRIOR TO ISSUANCE OF BUILDING PERMITS:

### GENERAL

1. Comply with all zoning conditions of Z-34-16.
2. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing lot into a single tract.
3. A demolition permit shall be obtained for the existing structures on site.
4. Provide fire flow analysis.
5. That final building construction plans show the proposed mezzanine is part of the building and meets the definition of "mezzanine as per section 505, Mezzanine of the 2012 NCSBC;

### ENGINEERING

6. Next Step: Concurrent Review Plans for public infrastructure and site grading shall be approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable
7. The ½-126' required right of way for Glenwood Avenue, an Avenue, 6-Lane Divided facility, and 10' x 10' slope easements on the north property line to tie to future sidewalk construction is to be dedicated to the City of Raleigh and shown on the map approved for recordation.
8. In accordance with Part 10A Section 8.1.3, a public infrastructure surety for incomplete public improvements is provided to the City of Raleigh Development Services – Development Engineering program.
9. A 10 X 15' transit easement located on Glenwood Avenue shall be approved by the Transit Planner in the Transportation Department, and shall be shown on all maps for recording, and a transit easement deed approved by the City of Raleigh shall be recorded with the local County Register of Deeds. The recorded copy of this transit easement shall be provided to the Development Services Department prior to building permit approval.

### STORMWATER

10. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.



# Administrative Approval Action

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Transaction# 521603

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Raleigh, NC 27602  
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DS.heip@raleighnc.gov  
www.raleighnc.gov

11. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

## URBAN FORESTRY

12. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

### Prior to issuance of building occupancy permit:

1. Next Step: All street lights and street signs required as part of the development approval are installed.
2. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
3. Next Step: Final inspection of all required Tree Conservation and right of way tree protection areas by Urban Forestry Staff.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

#### **3-Year Expiration Date: 12-13-2020**

Obtain a valid building permit for the total area of the project, or a phase of the project.

#### **4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir.) Angie Billy Date: 12/13/2017

Staff Coordinator: Michael Walters



# JACKSON LAW

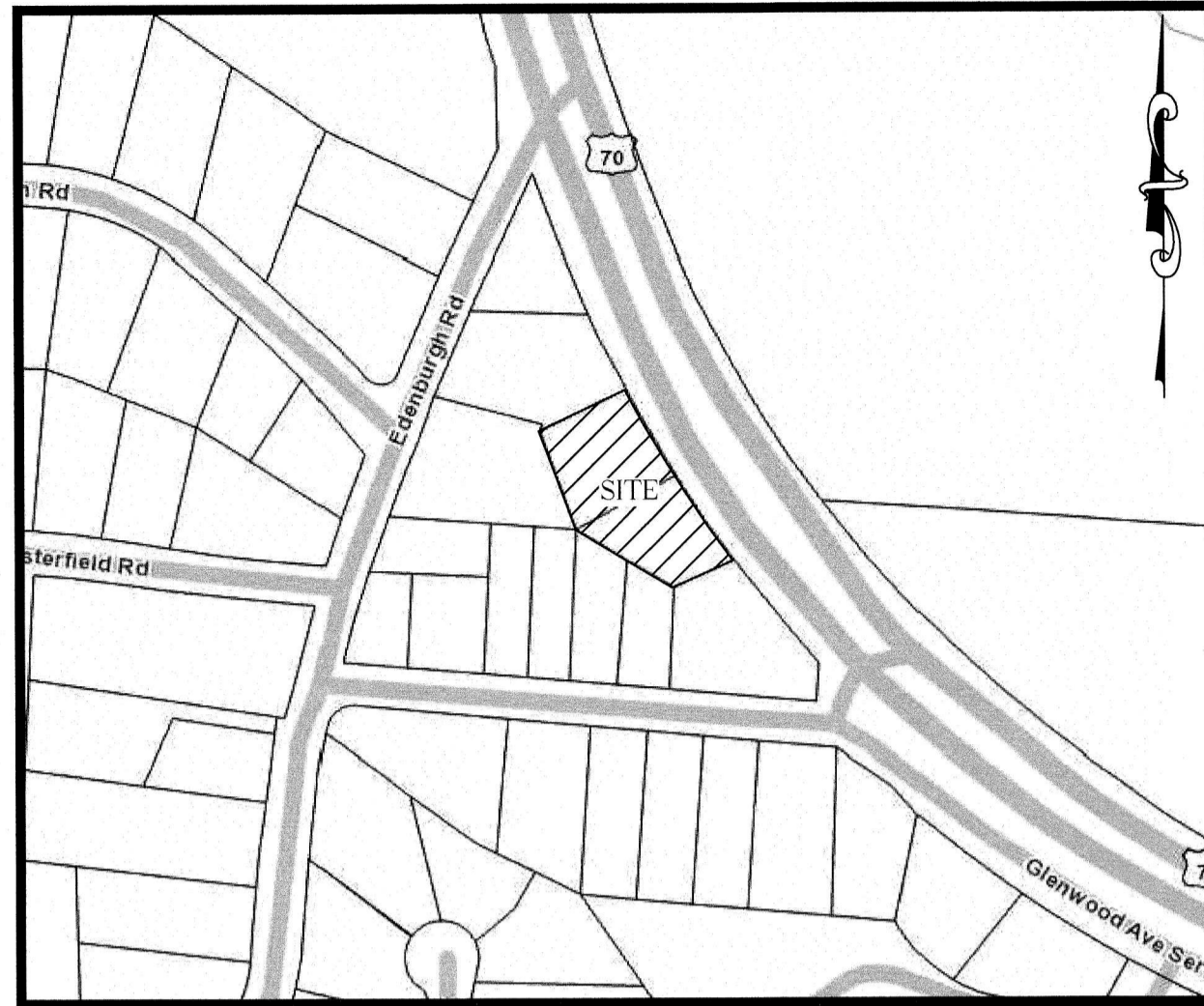
## ADMINISTRATIVE SITE REVIEW

### SR-62-17

### TRANS. #521603

### 2717 GLENWOOD AVE

### RALEIGH, NC 27608



VICINITY MAP  
NOT TO SCALE

#### SITE DATA

	LOT 5	LOT 6
SITE ADDRESS:	2709 GLENWOOD AVE.	2717 GLENWOOD AVE.
WAKE COUNTY PIN#:	0795. 16-92-8870	0795. 16-92-8809
OWNER:	EMORY CAMPBELL, LLC	EMORY CAMPBELL, LLC
ZONING:	OX-3-PL-CU	OX-3-PL-CU
REFERENCES:	DB 16543, PG 554 BM 1941, PG 33	DB 16543, PG 554 BM 1941, PG 33
AREA:	11,638 SF (0.2672 AC)	13,887 SF (0.3188 AC)
EXISTING ACREAGE:	25,525 SF (0.5860 AC)	
AREA TO BE DEDICATED:	- 761 SF (0.0175 AC)	
PROPOSED TOTAL ACREAGE:	<b>24,764 SF (0.5685 AC)</b>	
REQUIRED AMENITY AREA:	2,477 SF (0.06 AC) (10%)	
PROVIDED AMENITY AREA:	2,740 SF (0.06 AC) (11.1%)	
EXISTING USE:	RESIDENTIAL	
PROPOSED USE:	OFFICE	
BUILDING AREA:	GROUND FLOOR: 4,841 SF SECOND FLOOR: 4,446 SF MEZZANINE: 818 SF <b>TOTAL: 10,105 SF</b>	
REQUIRED PARKING:	10,105 SF OFFICE = 26 SPACES	
OFFICE = 1 SPACE/400 SF		
PROVIDED PARKING:	26 SPACES (INCLUDING 1 ADA SPACE AND 1 VAN ACCESSIBLE ADA SPACE)	
REQUIRED BICYCLE PARKING:	4 SHORT-TERM 4 LONG-TERM	
EXISTING IMPERVIOUS:	4,336 SF (0.10 AC)	
PROPOSED IMPERVIOUS:	19,048 SF (0.44 AC)	
BUILDING SETBACKS:	STREET SETBACK: 5' SIDE/REAR SETBACK: NEIGHBORHOOD TRANSITION	
PRIMARY STREET BUILD-TO: (50% AT 0' - 100')	FRONTAGE LENGTH = 234.33' LENGTH OF BUILDING W/IN BUILD-TO = 117.42' (50.1%)	
PARKING SETBACKS:	STREET SETBACK: 10' SIDE/REAR SETBACK: NEIGHBORHOOD TRANSITION	
NEIGHBORHOOD TRANSITION:	ZONE A (PROTECTIVE YARD): 10' SERVICE AREA: 25' ZONE B (USE RESTRICTED): 50' ZONE C (HEIGHT AND FORM): 100'	

#### INDEX

CE-1	RECOMBINATION PLAT
CE-2	EXISTING CONDITIONS
CE-2.1	APPROVED MASS GRADING PLAN (FOR REFERENCE ONLY)
CE-3	SITE PLAN
CE-4	GRADING PLAN
CE-5	STORMWATER MANAGEMENT PLAN
CE-6	UTILITY PLAN
CE-7	SITE DETAILS
CE-8	UTILITY DETAILS
LA-1	PLANTING PLAN
A201	EXTERIOR ELEVATIONS
A202	EXTERIOR ELEVATIONS

FIRE APPARATUS EXHIBIT  
HYDRANT COVERAGE EXHIBIT  
BLOCK PERIMETER EXHIBIT  
SIGHT DISTANCE EXHIBIT  
TRUCK TURN EXHIBIT

Ordinance (2017) 668 ZC 740  
Effective: 02/07/17

**Z-34-16** – Glenwood Avenue, west side, approximately 280' south of Edensboro Road, being Wake County PINs 0795928870 and 0795928809. Approximately .62 acres are requested by Emory Campbell, LLC to be rezoned from Residential-6 (R-6) to Office Mixed Use-Three Stories-Parking Limited-Conditional Use (OX-3-PL-CU).

Conditions dated: January 3, 2017

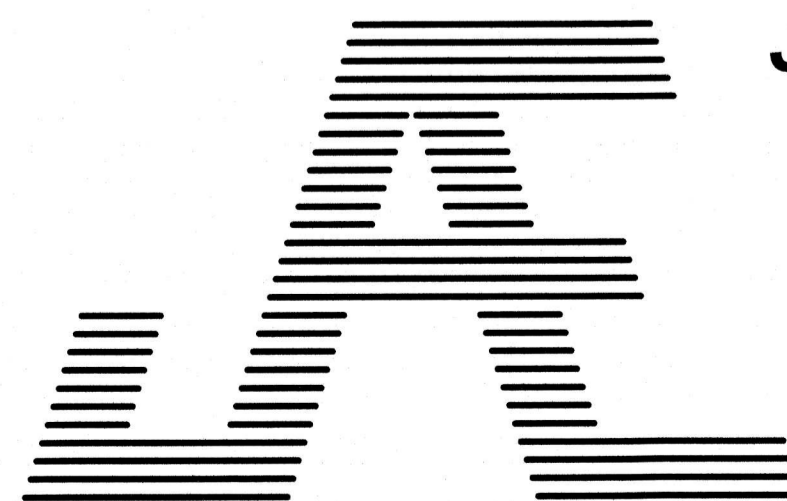
- No building shall be taller than two (2) stories and thirty-five feet (35').
- The following uses are prohibited on the subject property: Dormitory, fraternity, sorority; Emergency shelter type A; Emergency shelter type B; Cemetery; College, community college, university; School, public or private (K-12); Telecommunication tower (<250 ft); Telecommunication tower (>250 ft); Sports academy; Outdoor sports or entertainment facility (< 250 seats); Outdoor sports or entertainment facility (> 250 seats); Helipad, serving hospitals; Helipad, all others; Retail Sales; Eating establishment; and Detention center, jail, prison.
- Any site plan submitted for new development on the subject property shall include a wall to be constructed of masonry materials, of a height no less than six and one-half feet (6.5') and no more than nine feet (9'), and located no more than ten feet (10') from the property line abutting those parcels conveyed in the Wake County Register of Deeds Book 5345, Page 347; Book 13281, Page 1676; Book 14020, Page 1043; and Book 15039, Page 1946; except if a more stringent transitional protective yard is required.
- Any site plan submitted for new development on the subject property shall incorporate full cutoff lighting for all exterior and outdoor lighting and lighting fixtures.
- Prior to the issuance of a building permit for new development or recording of a subdivision plat, whichever occurs first, a transit easement shall be deeded to the City and recorded in the Wake County Registry. Prior to recording of the transit easement, the dimensions (not to exceed 15 feet in depth and 20 feet in width) and location of the easement along Glenwood Avenue shall be approved by the Transportation Department and the easement deed approved by the City Attorney's Office.
- No drive-through facility shall be permitted on the subject property.
- No site plan for new development on the subject property shall be approved with parking between the public right-of-way and any building facade.

#### DESIGN ADJUSTMENTS

THE APPLICANT IS REQUESTING A DESIGN ADJUSTMENT FROM UDO SECTION 8.4.6.C TO PROVIDE AN ALTERNATIVE STREET SECTION. THE PROPERTY IS SUBJECT TO THE PARKING LIMITED FRONTAGE, WHICH REQUIRES A 50% BUILD-TO ALONG GLENWOOD AVE. WHICH, COMBINED WITH THE REQUIRED NEIGHBORHOOD TRANSITION YARDS, PUSHES THE BUILDING TO THE RIGHT-OF-WAY SETBACK. TYPICALLY, THE STREET TREES ARE MOVED TO A 15' AVERAGE WIDTH "C2" YARD ALONG NCDOT STREETS. HOWEVER, WE ARE REQUESTING AN ALTERNATE STREET SECTION TO ALLOW THE STREET TREES IN THE RIGHT-OF-WAY. PER COORDINATION WITH NCDOT, STREET TREES WILL BE ALLOWED TO BE LOCATED BEHIND THE SIDEWALK. AS SUCH, AN ALTERNATIVE STREET SECTION WITH A 2.5' GRASS STRIP, 6' SIDEWALK, AND 5.5' PLANTING STRIP BETWEEN THE SIDEWALK AND PROPOSED RIGHT-OF-WAY IS PROPOSED. ADDITIONALLY, THE ALTERNATE SECTION BETTER ALIGNS WITH THE EXISTING SECTION AND SIDEWALK TO THE SOUTH OF THE SITE. FINALLY, THE ALTERNATE SECTION WOULD AVOID A POTENTIALLY EXPENSIVE AND TIME CONSUMING CONFLICT WITH AN EXISTING POWER POLE.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

HORIZONTAL DATUM: NAD83  
VERTICAL DATUM: NAVD88



JULY 12, 2017  
SEPTEMBER 13, 2017  
OCTOBER 12, 2017

**OWNER/DEVELOPER:**  
**JACKSON LAW, P.C.**

8601 SIX FORKS ROAD  
SUITE 400  
RALEIGH, NC 27615  
Phone: (919) 438-2005

E-mail: jeremiah@jacksonlawnc.com

**ARCHITECT:**  
**NEW CITY DESIGN GROUP**

1304 HILLSBOROUGH STREET  
RALEIGH, NC 27605  
Phone: (919) 831-1308

E-mail: Ted@newcitydesign.com

**LANDSCAPE ARCHITECT:**  
**COALY DESIGN, PC**

537 E. MARTIN STREET  
RALEIGH, NC 27601  
Phone: (919) 539-0012

E-mail: kimberly@coalydesign.com

**CIVIL ENGINEER:**  
**JOHN A. EDWARDS & COMPANY**

Consulting Engineers  
NC License F-0289  
333 Wade Ave., Raleigh, N.C. 27605  
Phone: (919) 828-4428  
Fax: (919) 828-4711  
E-mail: info@jaeco.com

Administrative Site Review Application  
(for UDO Districts only)



Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot
Transaction Number _____ Assigned Project Coordinator _____ Assigned Team Leader _____	
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # _____	
<b>GENERAL INFORMATION</b>	
Development Name: 2717 Glenwood Avenue	
Zoning District: OX-3-PL-CU	Overlay District (if applicable): _____
Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Proposed Use: Office	
Property Address(es): 2709 & 2717 Glenwood Ave.; Raleigh, NC 27608   Major Street Locator: Glenwood Ave.	
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:	
P.I.N. 0795. 16-92-8870	P.I.N. 0795. 16-92-8809
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input type="checkbox"/> Other: If other, please describe: _____	
WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. Remove existing residential building and associated site improvements, and construction of proposed 10,105 SF office building with associated site improvements.	
DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE	
CLIENT/DEVELOPER/OWNER: Company Jackson Law, P.C. Name (s) Jeremiah Jackson Address 8601 Six Forks Road; Suite 400; Raleigh, NC 27615 Phone (919) 438-2005 Email jeremiah@jacksonlawnc.com Fax _____	
CONSULTANT (Contact Person for Plans): Company John A. Edwards & Company Name (s) Jon R. Callahan Address 333 Wade Avenue; Raleigh, NC 27605 Phone (919) 828-4428 Email info@jaeco.com Fax (919) 828-4711	

PAGE 1 OF 3

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REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)			
Zoning Information		Building Information	
Zoning District(s) OX-3-PL-CU		Proposed building use(s) Office	
If more than one district, provide the acreage of each: -		Existing Building(s) sq. ft. gross 1,819	
Overlay District -		Proposed Building(s) sq. ft. gross 10,105 SF	
Total Site Acres	Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 0.5860	Total sq. ft. gross (existing & proposed) 10,105 SF	
Off street parking: Required 26	Provided 26	Proposed height of building(s) 35'	
CDA (Certificate of Appropriateness) case # -		# of stories 2	
BOA (Board of Adjustment) case # A -		Ceiling height of 1 <sup>st</sup> Floor 10'	
CUD (Conditional Use District) case # Z -			
Stormwater Information			
Existing Impervious Surface	0.10/4,336 acres/square feet	Flood Hazard Area	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface	0.44/19106 acres/square feet	If Yes, please provide:	
Neuse River Buffer	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils	Flood Study
	Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FEMA Map Panel #	

FOR RESIDENTIAL DEVELOPMENTS			
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br	2br	3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2.2.7		
3. Total Number of Hotel Units	7. Open Space (only) or Amenity		
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input type="checkbox"/> No		

**SIGNATURE BLOCK (Applicable to all developments)**

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Jon R. Callahan, P.E. to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed \_\_\_\_\_ Date 7/10/2017

Printed Name Jeremiah Jackson

Signed \_\_\_\_\_ Date \_\_\_\_\_

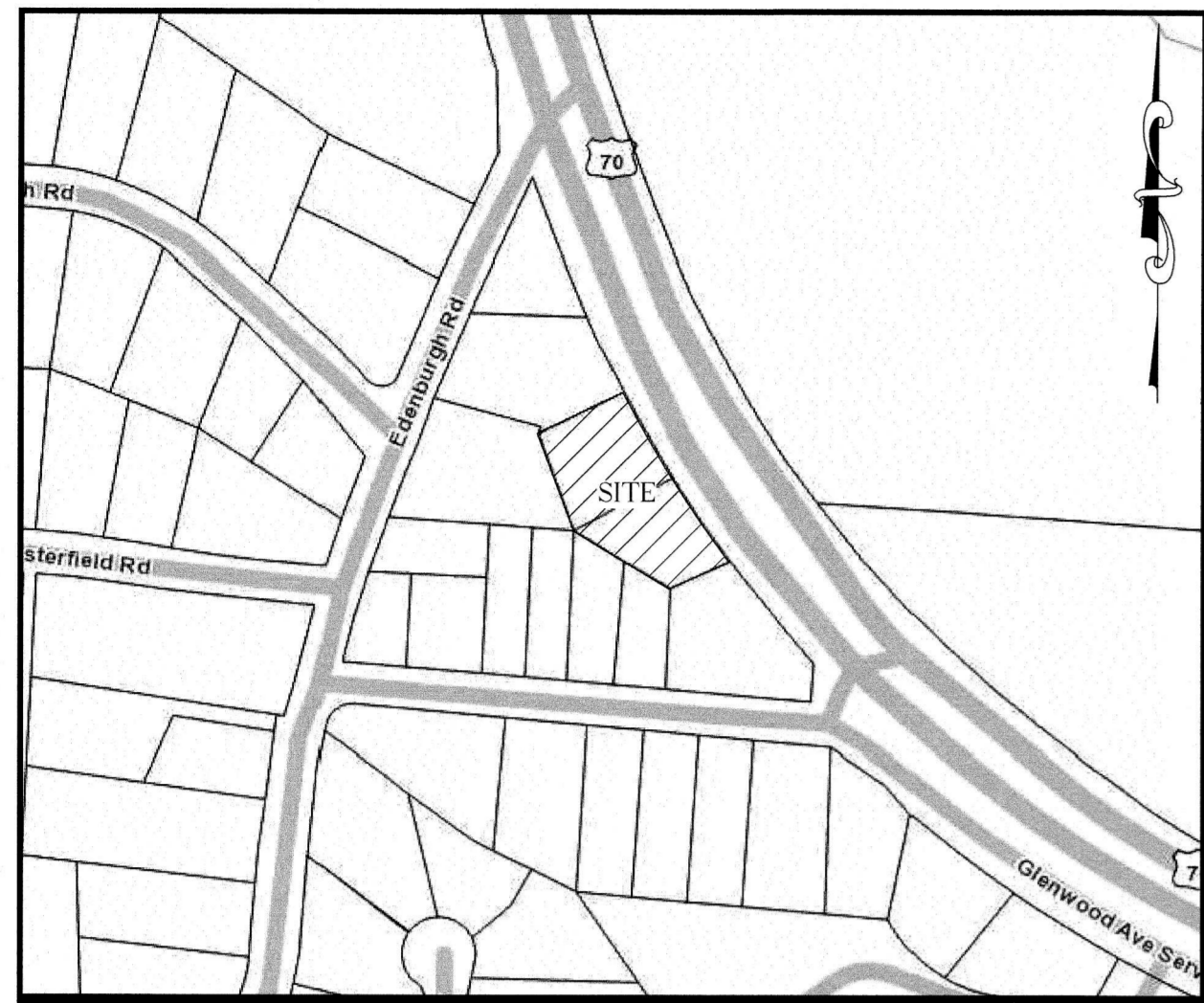
Printed Name \_\_\_\_\_

PAGE 2 OF 3

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REVISION 05.13.16





VICINITY MAP  
NOT TO SCALE

**NOTES:**

1. ALL DISTANCES ARE HORIZONTAL GROUND.
2. ALL DIMENSIONS ARE IN FEET.
3. AREA COMPUTED USING COORDINATE METHOD FROM MEASURED FIELD DATA.
4. BASIS OF BEARINGS IS NORTH CAROLINA GRID NORTH, NAD83(2011). THE SITE WAS LOCALIZED UTILIZING REAL-TIME KINEMATIC (RTK) GLOBAL POSITIONING SYSTEM (GPS) SOLUTIONS REFERENCING THE CONTINUOUSLY OPERATING REFERENCE STATION (CORS) NETWORK BASE STATION NCRD, RALEIGH, NC.
5. THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND MAY BE SUBJECT TO ANY MATTERS THAT A FULL TITLE SEARCH WOULD DISCLOSE.
6. ALL REFERENCE ARE MADE TO THE WAKE COUNTY REGISTRY.
7. HORIZONTAL DATUM IS NAD 83(2011) AND VERTICAL DATUM NAVD 88.



**JOHN A. EDWARDS & COMPANY**  
Consulting Engineers  
and Land Surveyors

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Project  
**JACKSON LAW, P.C.**  
2717 GLENWOOD AVE.  
RALEIGH, NC 27608

Client  
**JACKSON LAW, P.C.**  
8601 SIX FORKS ROAD  
SUITE 400  
RALEIGH, NC 27615

**LEGEND**

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EIP	EXISTING IRON PIPE
EMAG	EXISTING MAG NAIL
ECM	EXISTING CONCRETE MONUMENT
IPS	IRON PIPE SET
MAGS	MAG NAIL SET
CP	COMPUTED POINT
SS	SANITARY SEWER
CO	SANITARY SEWER CLEAN OUT
MH	MANHOLE
TMH	TELEPHONE MANHOLE
TF	ELECTRICAL TRANSFORMER
CB	STORM CATCH BASIN
WV	WATER VALVE
RCP	REINFORCED CONCRETE STORM PIPE
CONC	CONCRETE
SSMH	SANITARY SEWER
WM	WATER METER
LP	LIGHT POLE
MW	MONITORING WELL
CATV	CABLE PEDESTAL
FH	FIRE HYDRANT
[Brick Pattern]	DENOTES BRICK
[Concrete Pattern]	DENOTES CONCRETE
[XXX]	DENOTES ADDRESS
[Solid Line]	PROPERTY LINE
[Dashed Line]	RIGHT OF WAY LINE
[Dotted Line]	PROP. LINE NOT SURVEYED
[Thick Solid Line]	STORM PIPE
[Thin Solid Line]	SEWER LINE
[Line with 'OHP']	OVERHEAD POWER
[Line with 'SVP']	GAS LINE
[Line with 'E']	EASEMENT LINE
[Line with 'W']	WATER LINE
[Symbol]	CB
[Symbol]	FH
[Symbol]	LP
[Symbol]	MW
[Symbol]	PP
[Symbol]	TP
[Symbol]	GV

**EXISTING CONDITIONS**

Revisions

Number	Description	Date
1	PER CITY COMMENTS	09/13/17
2	PER CITY COMMENTS	10/12/17

Drawing Scale 1" = 20'

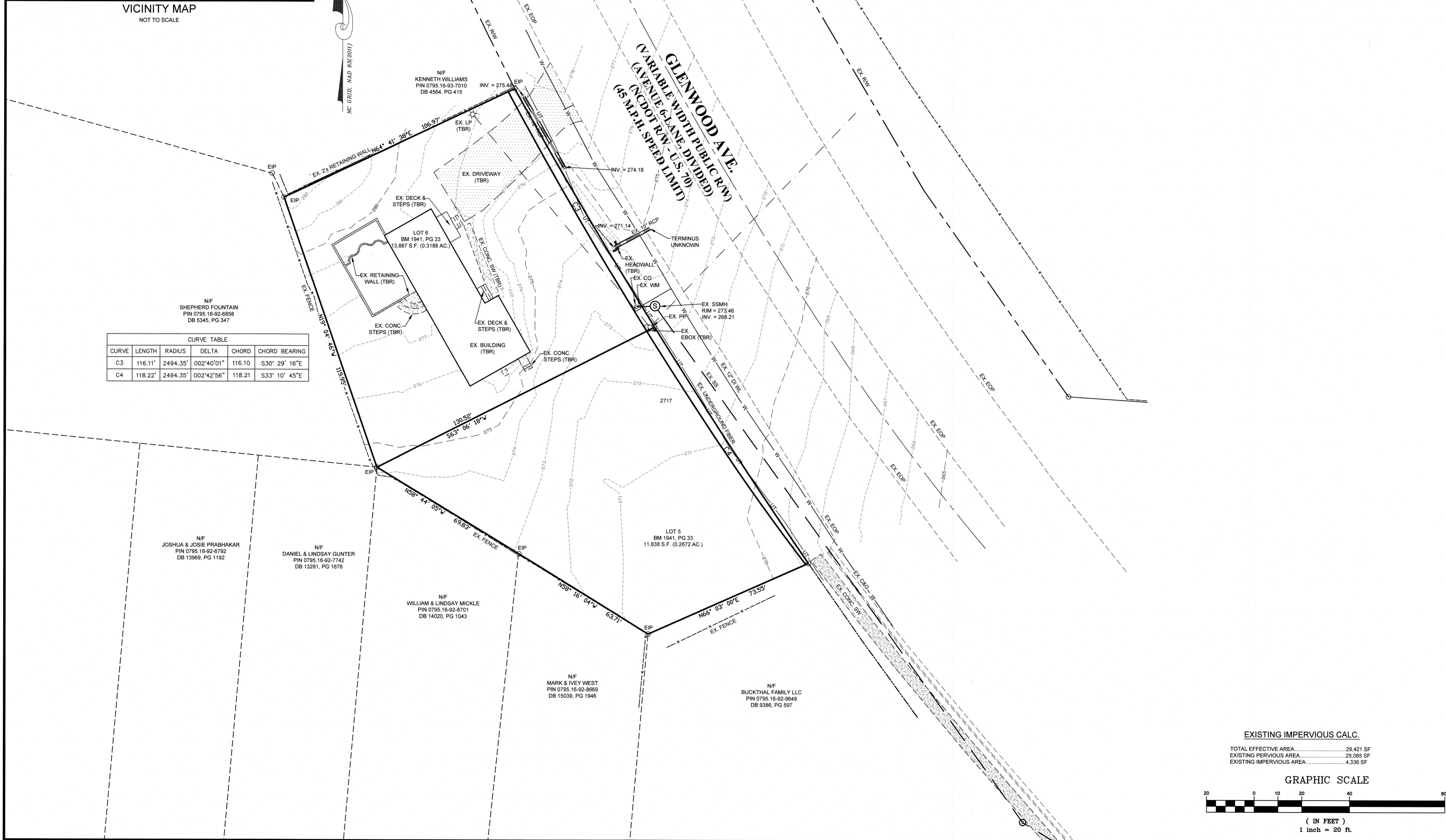
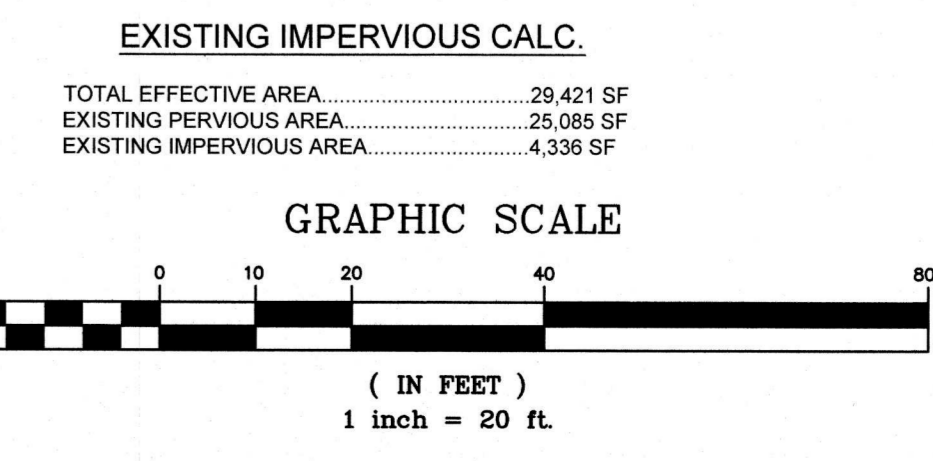
Drawn By TCT

Checked By JRC

Date Issued 07/12/17

**CE-2**

3 of 13



**CURVE TABLE**

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C3	116.11'	2494.35'	002°40'01"	116.10	S30° 29' 16"E
C4	118.22'	2494.35'	002°42'56"	118.21	S33° 10' 45"E





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8601 SIX FORKS ROAD  
SUITE 400  
RALEIGH, NC 27615

**LEGEND**

BM	BOOK OF MAPS
DB	DEED BOOK
PG	PAGE
N/F	NOW OR FORMERLY
R/W	RIGHT OF WAY
EIP	EXISTING IRON PIPE
EMAG	EXISTING MAG NAIL
ECM	EXISTING CONCRETE MONUMENT
MAGS	MAG NAIL SET
CP	COMPUTED POINT
SS	SANITARY SEWER
CO	SANITARY SEWER CLEAN OUT
MH	MANHOLE
TMH	TELEPHONE MANHOLE
TF	ELECTRICAL TRANSFORMER
CB	STORM CATCH BASIN
WV	WATER VALVE
RCP	REINFORCED CONCRETE STORM PIPE
CONC	CONCRETE
SSMH	SANITARY SEWER
WM	WATER METER
LP	LIGHT POLE
MW	MONITORING WELL
CVT	CABLE PEDESTAL
FH	FIRE HYDRANT
BRICK	DENOTES BRICK
CONC	DENOTES CONCRETE
XXX	DENOTES ADDRESS
---	PROPERTY LINE
- - -	RIGHT OF WAY LINE
---	PROP. LINE NOT SURVEYED
---	STORM PIPE
---	SEWER LINE
---	OVERHEAD POWER
---	GAS LINE
---	EASEMENT LINE
---	WATER LINE
CB	CONCRETE
FW	FIRE HYDRANT
LP	LIGHT POLE
SSMH	SANITARY SEWER
GW	GROUND WATER
MW	MONITORING WELL
PP	PEDESTAL
TP	TRANSFORMER
GV	GROUND VENT

**SITE PLAN**

Revisions

Number	Description	Date
1	PER CITY COMMENTS	09/13/17
2	PER CITY COMMENTS	10/12/17

Proposed Amenity Area (Including Bioretention Area Designed in Accordance with UDO Section 7.6.2.B.1)

REQUIRED AREA	2,477 SF (0.06 AC)
PROPOSED AREA	2,740 SF (0.06 AC)

Asphalt Widening Area

TOTAL EFFECTIVE AREA	29,570 SF
PROPOSED PERVIOUS AREA	10,464 SF
PROPOSED IMPERVIOUS AREA	19,106 SF

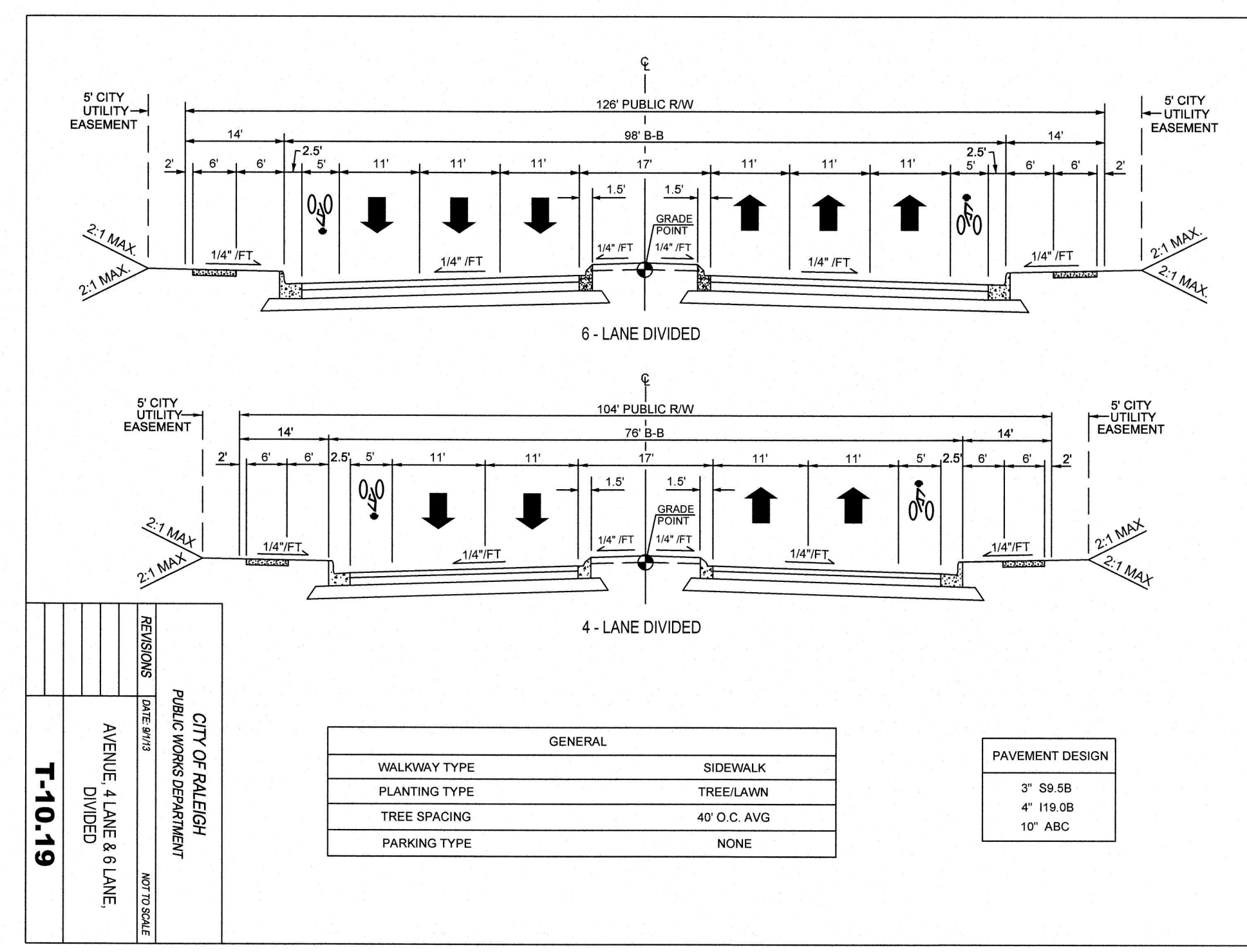
**GRAPHIC SCALE**

1" = 20'

0 10 20 40 80  
IN FEET  
1 inch = 20 ft.

**CE-3**

Drawing Scale 1" = 20'  
Drawn By TCT  
Checked By JRC  
Date Issued 07/12/17 5 of 13



**GENERAL NOTES:**

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.

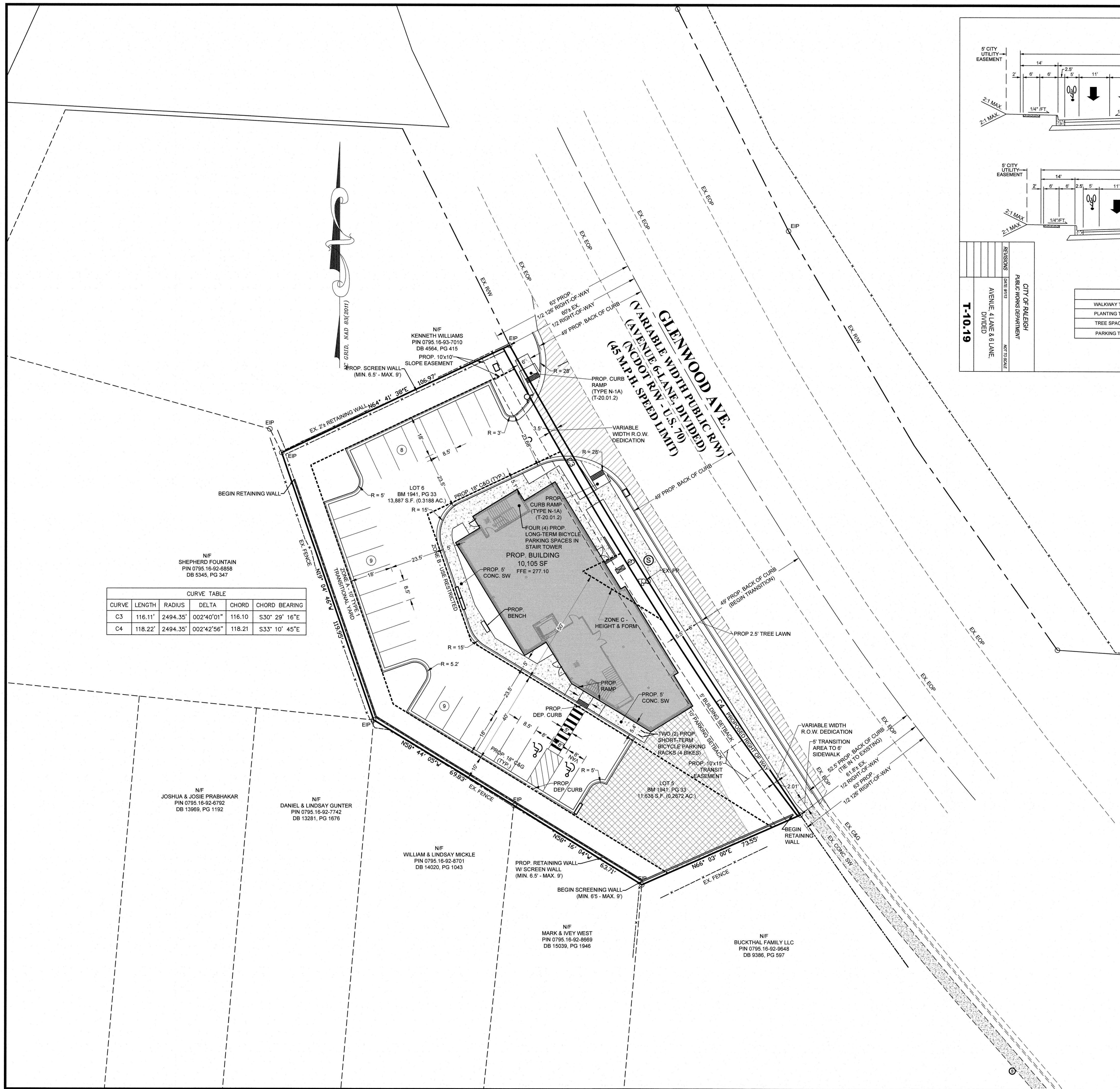
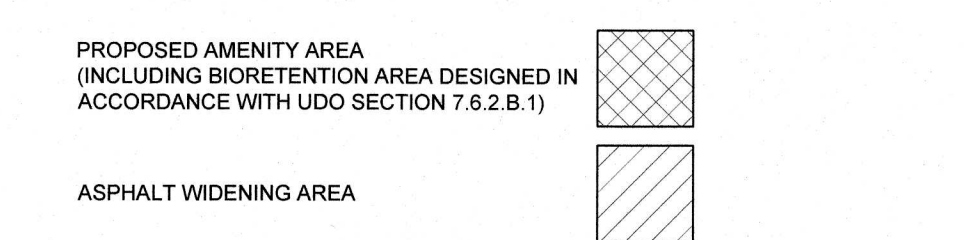
**CONSTRUCTION NOTES:**

- ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT (919) 996-2409 TO SET UP THE MEETING.
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

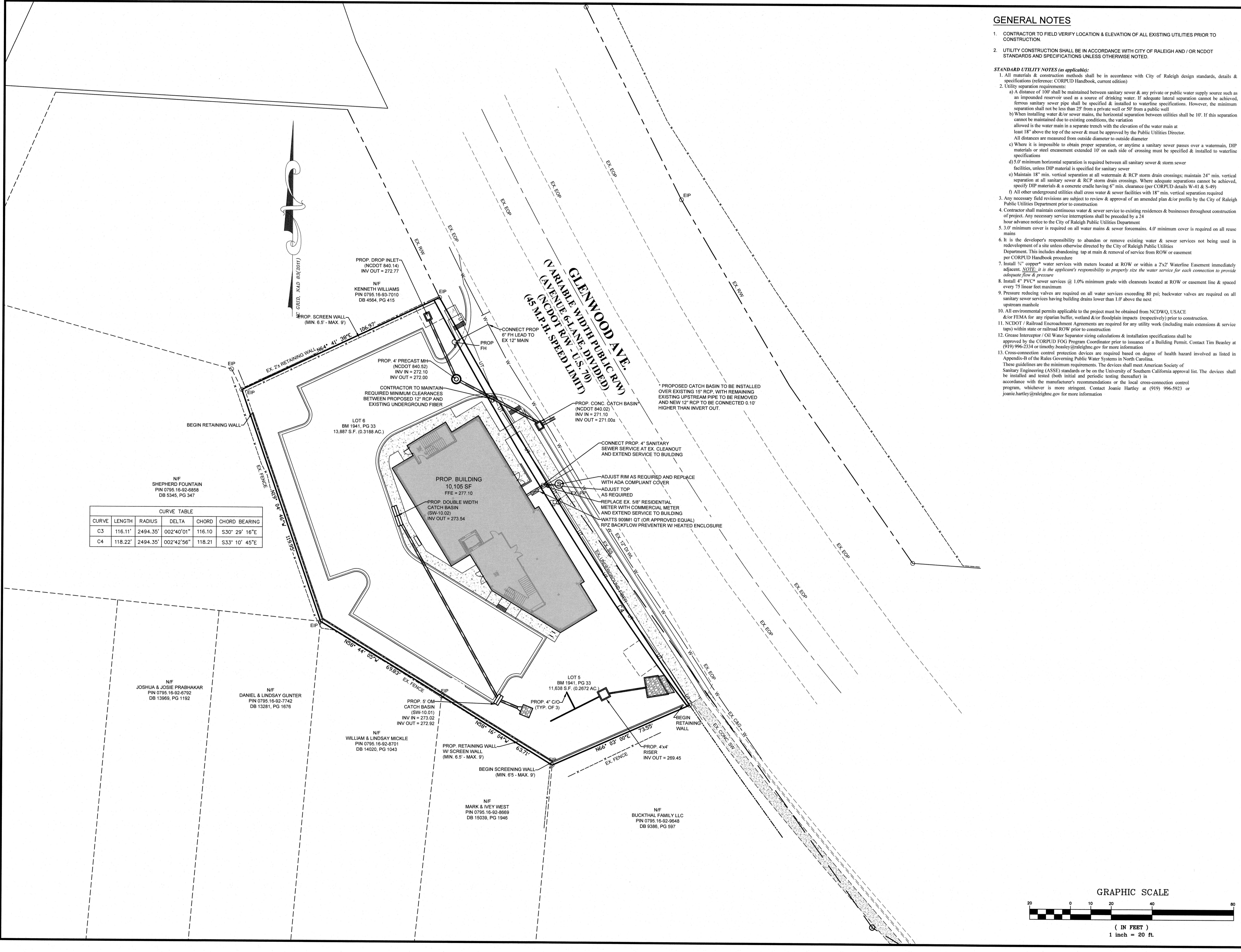
**TRANSPORTATION NOTES:**

- RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 50 FEET OF ALL RESIDENTIAL OR RESIDENTIAL COLLECTOR INTERSECTIONS. RIGHT-OF-WAY SHALL BE CLEARED AND GRUBBED WITHIN 100 FEET OF ALL OTHER STREET INTERSECTIONS.
- HANDICAPPED RAMPS TO BE CONSTRUCTED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH ENGINEERING STANDARD DETAIL 20.11.
- SIGHT TRIANGLES TO BE LOCATED AT ALL INTERSECTIONS IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS. AREAS WHERE SIGHT TRIANGLES ARE LOCATED OUTSIDE THE RIGHT-OF-WAY SHALL BE RECORDED AS SIGHT EASEMENTS. FINAL LAYOUT OF SIGHT TRIANGLES TO BE APPROVED WITH CONSTRUCTION DRAWINGS.
- NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERM, PARKED VEHICLES, SIGN OR OTHER OBJECTS BETWEEN THE HEIGHTS OF 2 FEET AND 8 FEET ABOVE THE CURB LINE ELEVATION, OR NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE.
- ALL STREET SECTIONS SHALL MEET OR EXCEED SPECIFICATIONS DETAILED IN CITY OF RALEIGH ENGINEERING STANDARD 20.31.
- ALL STREETS AND RIGHT-OF-WAYS WITHIN AND ADJACENT TO THE PROJECT ARE CONSISTENT WITH THE RALEIGH COMPREHENSIVE PLAN WITH REGARD TO PROPOSED ROADWAY LOCATIONS AND RIGHT-OF-WAY REQUIREMENTS.
- TURNOUT RADII TO BE MINIMUM OF 35' AT ALL PUBLIC STREET INTERSECTIONS. DRIVEWAY TURNOUTS TO BE A MINIMUM OF 25'.

**HATCH LEGEND**







CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C3	116.11'	2494.35'	002°40'01"	116.10	S30° 29' 16"E
C4	118.22'	2494.35'	002°42'56"	118.21	S33° 10' 45"E

**GENERAL NOTES**

- CONTRACTOR TO FIELD VERIFY LOCATION & ELEVATION OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
  - UTILITY CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND / OR NCDOT STANDARDS AND SPECIFICATIONS UNLESS OTHERWISE NOTED.
- STANDARD UTILITY NOTES (as applicable):**
- All materials & construction methods shall be in accordance with City of Raleigh design standards, details & specifications (reference: CORPUD Handbook, current edition).
  - Utility separation requirements:
    - A distance of 10' shall be maintained between sanitary sewer & any private or public water supply source such as an impounded reservoir used as a source of drinking water. If adequate lateral separation cannot be achieved, ferrous sanitary sewer pipe shall be specified & installed to watertight specifications. However, the minimum separation shall not be less than 25' from a private well or 50' from a public well.
    - When installing water &/or sewer mains, the horizontal separation between utilities shall be 10'. If this separation cannot be maintained due to existing conditions, the variation allowed is the water main in a separate trench with the elevation of the water main at least 18" above the top of the sewer & must be approved by the Public Utilities Director.
    - All distances are measured from outside diameter to outside diameter.
    - Where it is impossible to obtain proper separation, or anytime a sanitary sewer passes over a watermain, DIP materials or steel encasement extended 10' on each side of crossing must be specified & installed to watertight specifications.
    - 15.0' minimum horizontal separation is required between all sanitary sewer & storm sewer facilities, unless DIP material is specified for sanitary sewer.
    - Maintain 18" min. vertical separation at all watermain & RCP storm drain crossings; maintain 24" min. vertical separation at all sanitary sewer & RCP storm drain crossings. Where adequate separations cannot be achieved, specify DIP materials & a concrete cradle having 6" min. clearance (per CORPUD details W-41 & S-49).
    - All other underground utilities shall cross water & sewer facilities with 18" min. vertical separation required.
  - Any necessary field revisions are subject to review & approval of an amended plan &/or profile by the City of Raleigh Public Utilities Department prior to construction.
  - Contractor shall maintain continuous water & sewer service to existing residences & businesses throughout construction of project. Any necessary service interruptions shall be preceded by a 24 hour advance notice to the City of Raleigh Public Utilities Department.
  - 3.0' minimum cover is required on all water mains & sewer forcemains. 4.0' minimum cover is required on all reuse mains.
  - It is the developer's responsibility to abandon or remove existing water & sewer services not being used in redevelopment of a site unless otherwise directed by the City of Raleigh Public Utilities Department. This includes abandoning tap at main & removal of service from ROW or easement per CORPUD Handbook procedure.
  - Install 3/4" copper\* water services with meters located at ROW or within a 2'x2' Waterline Easement immediately adjacent. *NOTE: it is the applicant's responsibility to properly size the water service for each connection to provide adequate flow & pressure.*
  - Install 4" PVC\* sewer services @ 1.0% minimum grade with cleanouts located at ROW or easement line & spaced every 75 linear feet maximum.
  - Pressure reducing valves are required on all water services exceeding 80 psi; backwater valves are required on all sanitary sewer services having building drains lower than 1.0' above the next upstream manhole.
  - All environmental permits applicable to the project must be obtained from NCDWQ, USACE &/or FEMA for any riparian buffer, wetland &/or floodplain impacts (respectively) prior to construction.
  - NCDOT / Railroad Encroachment Agreements are required for any utility work (including main extensions & service taps) within state or railroad ROW prior to construction.
  - Grease Interceptor / Oil Water Separator sizing calculations & installation specifications shall be approved by the CORPUD FOG Program Coordinator prior to issuance of a Building Permit. Contact Tim Beasley at (919) 996-2334 or timothy.beasley@raleighnc.gov for more information.
  - Cross-connection control protection devices are required based on degree of health hazard involved as listed in Appendix-B of the Rules Governing Public Water Systems in North Carolina. These guidelines are the minimum requirements. The devices shall meet American Society of Sanitary Engineering (ASSE) standards or be on the University of Southern California approval list. The devices shall be installed and tested (both initial and periodic testing thereafter) in accordance with the manufacturer's recommendations or the local cross-connection control program, whichever is more stringent. Contact Joanie Hartley at (919) 996-5923 or joanie.hartley@raleighnc.gov for more information.

**JOHN A. EDWARDS & COMPANY**  
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 and Land Surveyors

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 RALEIGH, NC 27608

**JACKSON LAW, P.C.**  
 8601 SIX FORKS ROAD  
 SUITE 400  
 RALEIGH, NC 27615

**LEGEND**

BOOK OF MAPS	DB	DEED BOOK
PG	PAGE	
N/O/F	NEW OR FORMERLY	
R/W	RIGHT OF WAY	
EIP	EXISTING IRON PIPE	
EMAG	EXISTING MAG NAIL	
ECM	EXISTING CONCRETE MONUMENT	
IPS	IRON PIPE SET	
MAGS	MAG NAIL SET	
CP	COMPUTED POINT	
SS	SANITARY SEWER	
CO	SANITARY SEWER CLEAN OUT	
MH	MANHOLE	
TMH	TELEPHONE MANHOLE	
TF	ELECTRICAL TRANSFORMER	
CB	STORM CATCH BASIN	
WV	WATER VALVE	
RCP	REINFORCED CONCRETE STORM PIPE	
CONC	CONCRETE	
SSMH	SANITARY SEWER WATER METER	
WM	WATER METER	
LP	LIGHT POLE	
MW	MONITORING WELL	
CATV	CABLE PEDESTAL	
FH	FIRE HYDRANT	
[Brick symbol]	DENOTES BRICK	
[Concrete symbol]	DENOTES CONCRETE	
[XXX symbol]	DENOTES ADDRESS	
[Solid line]	PROPERTY LINE	
[Dashed line]	RIGHT OF WAY LINE	
[Dotted line]	PROP. LINE NOT SURVEYED	
[Thick solid line]	STORM PIPE	
[Thin solid line]	SEWER PIPE	
[Line with 'OHP']	OVERHEAD POWER	
[Line with 'GWP']	GAS LINE	
[Line with 'EAS']	EASEMENT LINE	
[Line with 'WTL']	WATER LINE	
[Symbol]	SSMH	
[Symbol]	GW	
[Symbol]	MW	
[Symbol]	PP	
[Symbol]	TP	
[Symbol]	GV	

**UTILITY PLAN**

Revisions

Number	Description	Date
1	PER CITY COMMENTS	09/13/17
2	PER CITY COMMENTS	10/12/17

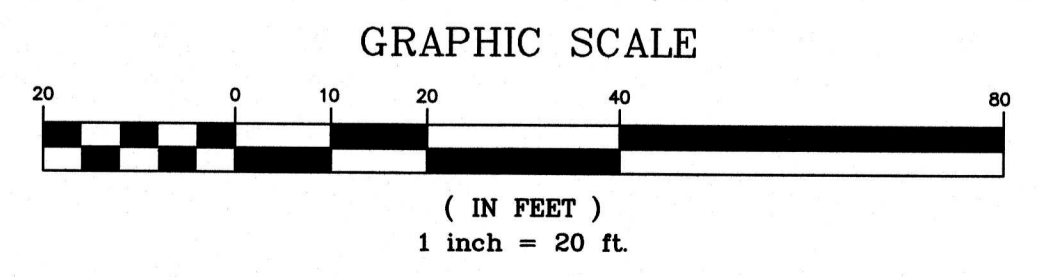
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**CE-6**