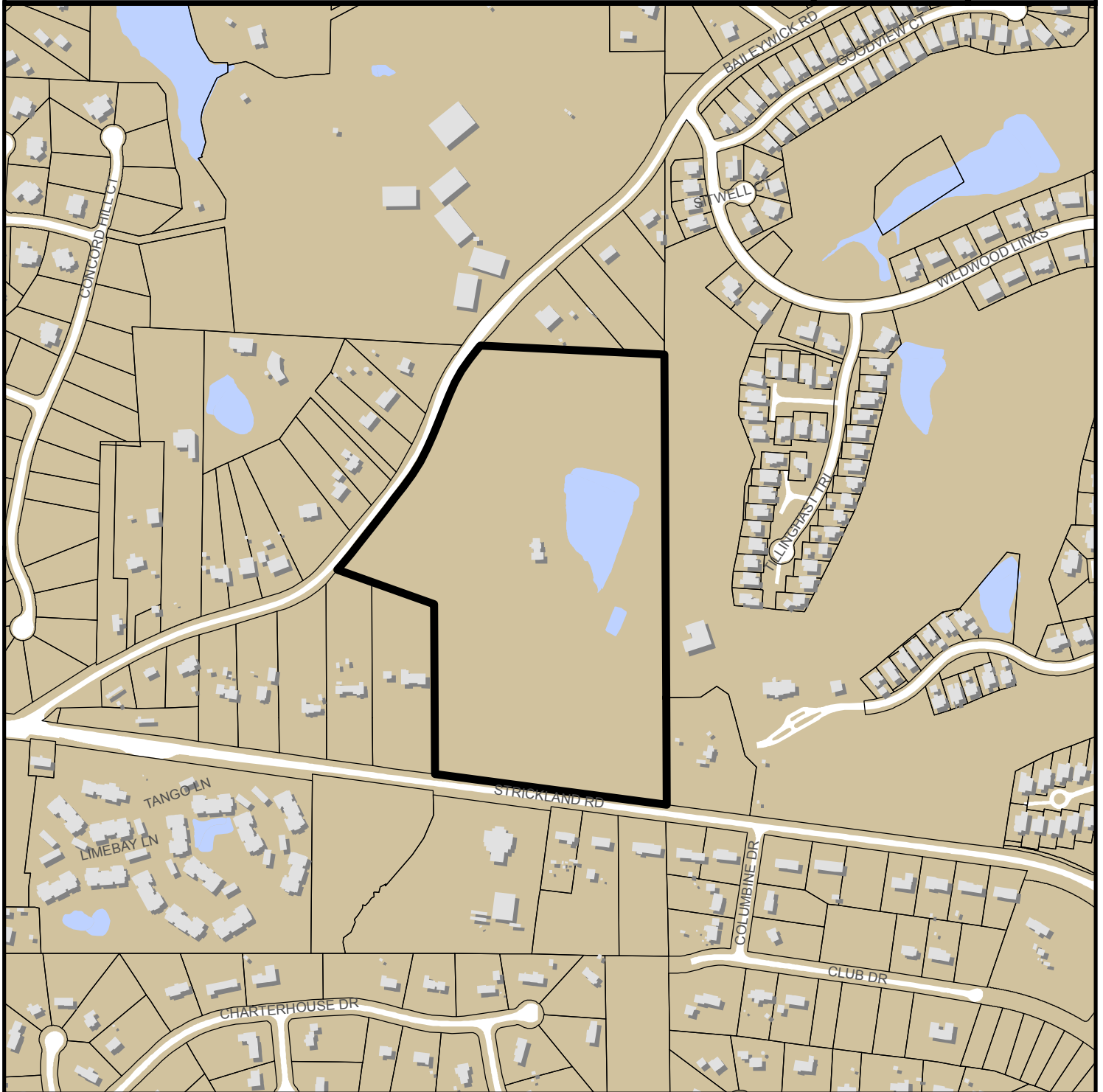


BARTON POND ELEMENTARY SR-60-2017



0 300 600 1,200 Feet

Zoning: **R-1-CU, FWPOD**
CAC: **Northwest**
Drainage Basin: **Hare Snipe Creek**
Acreage: **30.83**
Sq. Ft.: **108,530**

Planner: **Matha Lobo**
Phone: **(919) 996-2664**
Applicant: **Wake County Board
of Education**
Phone: **(919) 508-9047**





Administrative Approval Action

SR-60-17, Barton Pond Elementary
Transaction # 520600, AA # 3789

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the north side of Strickland Road, east side of Baileywick Road. The site is addressed at 12004 Strickland Rd, which is inside City limits.

REQUEST: Development of a vacant 30.83 acre tract zoned R-1/R-1-CU with FWPOD overlay into a 108,500 sq ft civic building for a new public elementary school.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Keith Downing of CLH Design, p.a., dated 3/23/18.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

PUBLIC UTILITIES

3. A Deed shall be recorded prior to concurrent approval for all necessary offsite City of Raleigh Sanitary Sewer Easements to accommodate future sewer line construction.

STORMWATER

4. That a nitrogen and phosphorous offset payment must be made to a qualifying mitigation bank;
5. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.
6. Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.



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URBAN FORESTRY

7. Obtain required tree impact permit from the City of Raleigh.
8. Tree Conservation Plan to provide .95 Acres Tree Conservation Thoroughfare along Strickland Rd. along with amended Tree Cover Report that reflects any changes.
9. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
10. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

11. Comply with all conditions of Z-5-2007.
12. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombinations, Right of Way and/or Easement Dedications, and Tree Conservation Areas.
13. Provide fire flow analysis.

ENGINEERING

14. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and be shown on a plat approved for recordation.
15. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
16. A 20' Public Access easement along the path of the pedestrian passage and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
17. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
18. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.



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19. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

PUBLIC UTILITIES

20. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions / Recombinations, Right-of-Way, Utility / Stormwater Easement Dedications and/or Tree Save Areas

STORMWATER

21. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
22. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

Prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
5. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department.



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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 4-24-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Ryan Boivin* Date: 4/24/2018

Staff Coordinator: Ryan Boivin

E-24: BARTON POND ELEMENTARY SCHOOL SITE PLAN SUBMITTAL #5 TO CITY OF RALEIGH

12004 STRICKLAND ROAD
RALEIGH, NC 27613

WAKE COUNTY BOARD OF EDUCATION
CITY OF RALEIGH CASE # SR-60-17
(TRANSACTION # 520600)

MOSELEYARCHITECTS
3000 RDU CENTER DRIVE, SUITE 017, MORRISVILLE, NORTH CAROLINA 27560
PHONE: (919) 840-0091 FAX: (919) 840-0095
MOSELEYARCHITECTS.COM

Administrative Site Review Application (for UDO Districts only)



DEVELOPMENT
SERVICES
DEPARTMENT

Development Services Customer Service Center | 1 Exchange Plaza, Suite 401 Raleigh, NC 27601 | 919-996-2495 | ext 919-996-1831
Litchford Satellite Office | 8320 - 139 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	Transaction Number Assigned Project Coordinator Assigned Team Leader
<input type="checkbox"/> General (CIVIC) <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 520600

GENERAL INFORMATION	
Development Name	Barton Pond Elementary (E-24)
Zoning District	R1 & R1-CU Overlay District (if applicable) FWPOD Inside City Limits? <input type="checkbox"/> Yes <input type="checkbox"/> No
Proposed Use	Public Elementary School
Property Address(es)	12004 Strickland Road Major Street Locator:
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:	
P.I.N.	0798050512
What is your project type?	<input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office <input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building <input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court <input type="checkbox"/> Other: If other, please describe:

WORK SCOPE
Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
New construction of a public elementary school with associated drives, parking, educational program elements and required utility infrastructure.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act.
Unknown at this time.

CLIENT/DEVELOPER/OWNER	Company Wake County Board of Education Name (s) c/o Brian Conklin, Sr. Director Address FD&C, 1551 Rock Quarry Road Raleigh, NC 27610 Phone 919-588-3564 Email bconklin@wcpss.net Fax n/a
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CONSULTANT (Contact Person for Plans)	Company CLH Design, pa Name (s) Keith Downing Address 400 Regency Forest Drive, Suite 102, Cary, NC 27518 Phone 919-319-6716 Email kdowning@clhdesignpa.com Fax 919-319-7516
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PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning Information	Building Information
Zoning District(s) R-1 (28.68 ACRES) AND R-1-CU (2.15 ACRES)	Proposed building use(s) Education (Elementary School)
If more than one district, provide the acreage of each: N/A	Existing Building(s) sq. ft. gross n/a
Overlay District FWPOD	Proposed Building(s) sq. ft. gross 108,530
Total Site Acres Inside City Limits <input type="checkbox"/> Yes <input type="checkbox"/> No 30.83 - ROW = 30.19	Total sq. ft. gross (existing & proposed) 108,530
Off street parking: Required 87 Provided 117	Proposed height of building(s) 44 as per house 34' on top of second floor
COA (Certificate of Appropriateness) case # N/A	# of stories 2
BOA (Board of Adjustment) case # A-N/A	Ceiling height of 1 st floor 14'-11"
CUD (Conditional Use District) case # Z-	Z-5-2007
Stormwater Information	
Existing Impervious Surface 430 SF acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 6.13 acres/square feet	If Yes, please provide:
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Alluvial Soils FEMA Map Panel #
Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Flood Study
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 2,2,7
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-6 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate Keith Downing, CLH Design, pa to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed	Date 6/28/17
Printed Name	M.J. Desormeaux, Jr. Asst. Superintendent for Facilities, WCPSS, for and on behalf of the Wake County Board of Education, pursuant to duly delegated authority.
Signed	
Printed Name	

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

R-1 CU ZONING CONDITIONS

Ordinance 196ZC601
Effective 4-3-07

Z-5-07 - Baileywick Road, on the east side of Baileywick Road, north of its intersection with Strickland Road, being Wake County PIN 0788955611. Approximately 2.16 acres to Rural Residential Conditional Use w/ Watershed Protection Overlay District.

Conditions: 03/26/07

- No lot shall have direct driveway access to Baileywick Road.
- There shall be no more than three residential lots or portions of three residential lots.
- All residential institutional uses shall be prohibited on the subject property.

SITE PLAN SUBMITTAL #5

INDEX OF DRAWINGS

- CIVIL:**
- C00.00 COVER SHEET
 - C00.01 OVERALL PLAN
 - C00.02 TCA AND FWPOD AREAS
 - C01.01 EXISTING CONDITIONS/DEMO PLAN - AREA 1
 - C01.02 EXISTING CONDITIONS/DEMO PLAN - AREA 2
 - C01.03 EXISTING CONDITIONS/DEMO PLAN - AREA 3
 - C01.04 EXISTING CONDITIONS/DEMO PLAN - AREA 4
 - C02.01 STAKING PLAN - AREA 1
 - C02.02 STAKING PLAN - AREA 2
 - C02.03 STAKING PLAN - AREA 3
 - C02.04 STAKING PLAN - AREA 4
 - C02.05 PAVEMENT MARKING AND SIGNAGE PLAN - AREA 1
 - C03.01 GRADING PLAN - AREA 1
 - C03.02 GRADING PLAN - AREA 2
 - C03.03 GRADING PLAN - AREA 3
 - C03.04 GRADING PLAN - AREA 4
 - C03.05 STORMWATER MGMT PLAN - PRE DEVELOPMENT
 - C03.06 STORMWATER MGMT PLAN - POST DEVELOPMENT
 - C04.01 EROSION CONTROL - INITIAL - AREA 1
 - C04.02 EROSION CONTROL - INITIAL - AREA 2
 - C04.03 EROSION CONTROL - INITIAL - AREA 3
 - C04.04 EROSION CONTROL - INITIAL - AREA 4
 - C04.05 EROSION CONTROL - AREA 1
 - C04.06 EROSION CONTROL - AREA 2
 - C04.07 EROSION CONTROL - AREA 3
 - C04.08 EROSION CONTROL - AREA 4
 - C04.09 OVERALL GROUND COVER EROSION CONTROL
 - C05.00 UTILITY PLAN - OVERALL
 - C05.01 UTILITY PLAN - AREA 1
 - C05.02 UTILITY PLAN - AREA 2
 - C05.03 UTILITY PLAN - AREA 3
 - C05.04 UTILITY PLAN - AREA 4
 - C05.05 SANITARY SEWER PLAN PROFILE 1
 - C05.06 SANITARY SEWER PLAN PROFILE 2
 - C05.07 SANITARY SEWER PLAN PROFILE 3
 - C06.01 LANDSCAPE PLAN - AREA 1
 - C06.02 LANDSCAPE PLAN - AREA 2
 - C06.03 LANDSCAPE PLAN - AREA 3
 - C06.04 LANDSCAPE PLAN - AREA 4
 - C07.01-07 SITE DETAILS
 - C08.01 TYPICAL SECTIONS
 - C08.02 ROAD PP
 - C08.03 ROAD PP
 - C08.04 ROAD PP
 - C08.05 ROAD PP
 - C08.06 ROAD SECTIONS
 - C08.07 ROAD SECTIONS
 - C08.08 ROAD SECTIONS
 - C08.09 ROAD SECTIONS
 - C08.10 ROAD SECTIONS
 - C08.11 ROAD SECTIONS
 - C08.12 ROAD SECTIONS
 - C08.13 ROAD SECTIONS
 - C08.14 ROAD SECTIONS

ARCHITECTURAL:

- A01.01 DETAILS
- A01.02 DETAILS
- A02.01 OVERALL FIRST FLOOR
- A02.02 OVERALL SECOND FLOOR
- A04.00 FIRST FLOOR PLAN - PART B
- A04.00 ELEVATIONS - OVERALL
- A04.01 ELEVATIONS
- A04.02 ELEVATIONS
- A04.03 ELEVATIONS
- A04.04 ELEVATIONS
- A10.01 BUILDING HEIGHTS
- A10.01 ROOF PLAN

STRUCTURAL:

- S03.01 SITE RETAINING WALL DETAIL
- S03.02 DETAILS

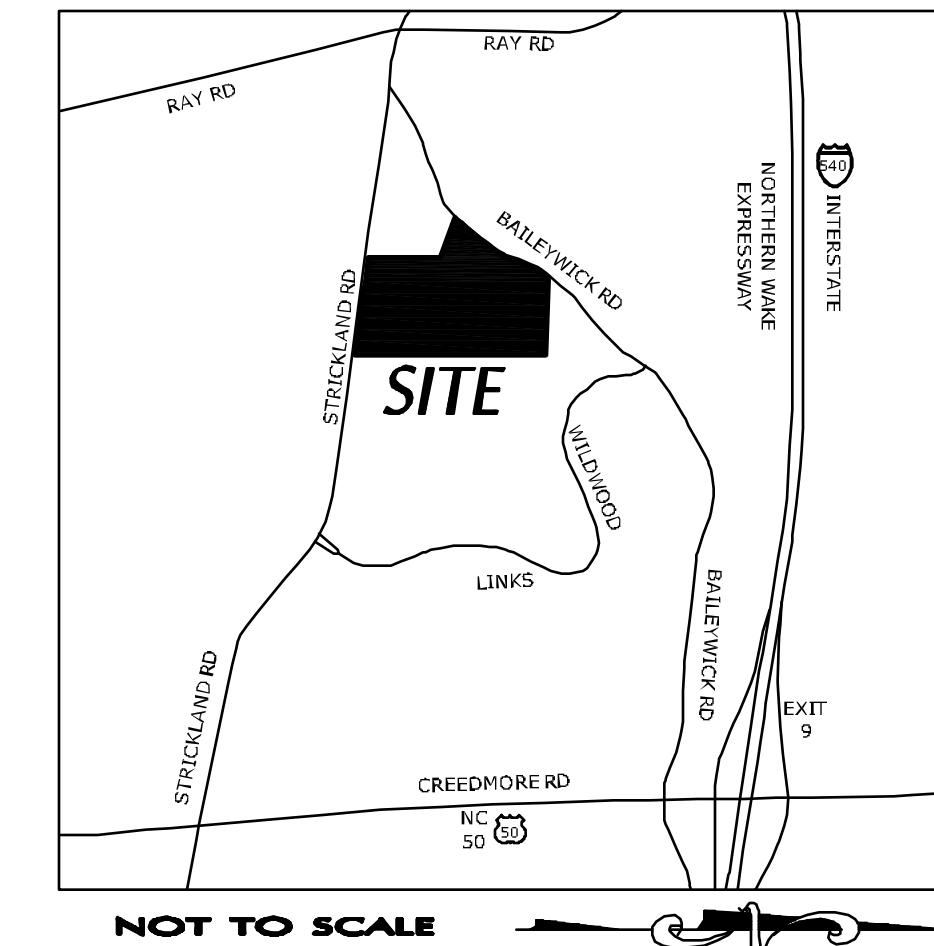
ELECTRICAL:

SITE LIGHTING PLAN

OFF-SITE:

- D10.01 DIAGRAM 1
- D10.02 DIAGRAM 2
- D10.03 DIAGRAM 3
- D10.04 DIAGRAM 4

VICINITY MAP



CITY OF RALEIGH PUBLIC AND INSTITUTIONAL USES:
STUDENT ENROLLMENT IS LIMITED TO ONE ENROLLED STUDENT PER 500 SQUARE FEET OF TOTAL LOT AREA.
ELEMENTARY SCHOOL TRACT AREA REQUIRED: 10.33 AC. 450,000 SF (900 STUDENTS X 500 SF).
ELEMENTARY SCHOOL TRACT AREA PROVIDED: 30.83 AC.

PROJECT DATUM

CLASS OF SURVEY: A
POSITIONAL ACCURACY: 0.09 FEET
TYPE OF GPS: OPUS (RAPID STATIC)
DATE OF SURVEY: NOVEMBER 14, 2016
DATUM/PERIOD: NAD 83 (2011)
PUBLISHED FIXED CONTROL: NC CORS BASE STATION NETWORK
GEOID MODEL: GEOID 12B
COMBINED FACTOR: 0.99992054
UNITS: US SURVEY FEET;

CITY OF RALEIGH SOLID WASTE SERVICES REQUIRED NOTES:

- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.
- DESIGNER HAS REVIEWED AND IS COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLIDS WASTE DESIGN MANUAL.
- THE PROPOSED DEVELOPMENT PLANS TO USE A PRIVATE CONTRACTOR TO HANDLE THEIR TRASH NEEDS. CONTACT JOE ACOSTA AT RALEIGH SOLID WASTE SERVICES WITH QUESTIONS AT 919.996.6874 OR JOSEPH.ACOSTA@RALEIGHNC.GOV.
- SEE SHEET C02.01 - STAKING PLAN FOR LOCATION OF DUMPSTERS WITHIN THE PROPOSED SCREENED SERVICE COURT.

NOTE:

SUBJECT AREA IS NOT LOCATED WITHIN SPECIAL FLOOD HAZARD ZONE AS SCALED FROM FIRM MAPS #3720078800J PANEL 0786J EFFECTIVE DATE: MAY 2, 2006 AND #3720078800J PANEL 0786J EFFECTIVE DATE: MAY 2, 2006.

OWNER & DESIGNER INFORMATION

LAND OWNER: WAKE COUNTY BOARD OF EDUCATION
OWNER CONTACT: STEVE ZETTS
1429 ROCK QUARRY ROAD SUITE 116
RALEIGH, NC 27610
919-588-3609
SZETTS@WCPSS.NET

DESIGNER: CLH DESIGN, PA
DESIGNER CONTACT: KEITH DOWNING
REGENCY PARK
400 REGENCY FOREST DR., SUITE 120
CARY, NC 27518
PHONE: 919-319-6716
FAX: 919-319-7516
KDOWNING@CLHDESIGNPA.COM

ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of sewer, water, and/or gas, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2499 and the Public Utilities Department at (919) 996-2450 at least 10 business days prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of a stop-work order, and require reinstallation of any water or sewer facilities not impacted as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other violation of City of Raleigh Standards will result in a Fine and Possible Exclosure from future work in the City of Raleigh.

PUBLIC IMPROVEMENT QUANTITIES

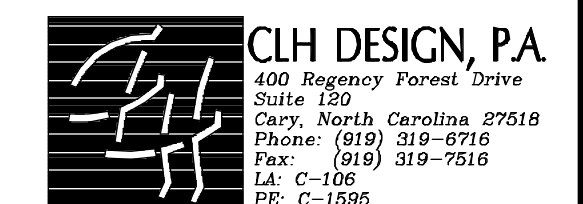
PHASE NUMBER(S)	1
NUMBER OF LOTS	1
LOT NUMBERS BY PHASE	1
NUMBER OF UNITS	N/A
LIVABLE BUILDINGS	N/A
OPEN SPACE	N/A
NUMBER OF OPEN SPACE LOTS	0
PUBLIC WATER (LF)	790 LF
PUBLIC SEWER (LF)	1,543 LF
PUBLIC STREET (LF)	N/A LF
PUBLIC RIGHT OF WAY (SF)	N/A SF
PUBLIC SIDEWALK (LF)	2,265 LF

E-24 ELEMENTARY PROTOTYPE
Wake County Public School System
RALEIGH, NC

PROJECT NO:	DATE:
581050	16 FEBRUARY 2018
REVISIONS	
DATE	DESCRIPTION
03-23-2018	CON SP SUBMITTAL #5

COVER SHEET

C00.00



CLH DESIGN, PA
400 Regency Forest Drive
Suite 120
Cary, North Carolina, 27518
Phone: (919) 319-6716
Fax: (919) 319-7516
Lic: C-1189
PE: C-1895



LEGEND-STRUCTURES/UTILITIES TO REMAIN

OVERHEAD ELECTRICAL	---	E	LIGHT POLE	☆	LP
UNDERGROUND ELECTRICAL	---	UE	UTILITY POLE	○	PP
FIRE PROTECTION	---	FP	MANHOLE	○	MH
GAS	---	G	CLEAN OUT	○	CO
SANITARY SEWER	---	SS	DROP INLET, CATCH BASIN	□	DL, CB
TELEPHONE	---	T	FIRE HYDRANT	○	FH
UNDERGROUND TELEPHONE	---	UT	WATER VALVE	○	WV
FIBER OPTIC	---	FO	INDIVIDUAL TREE TO REMAIN	○	W
WATER	---	W	WELL	○	W
FORCE MAIN	---	FM	SIGN	→	SIGN
STORM DRAIN	---	SD	MAIL BOX	○	MB
WOODLINE	---	W			

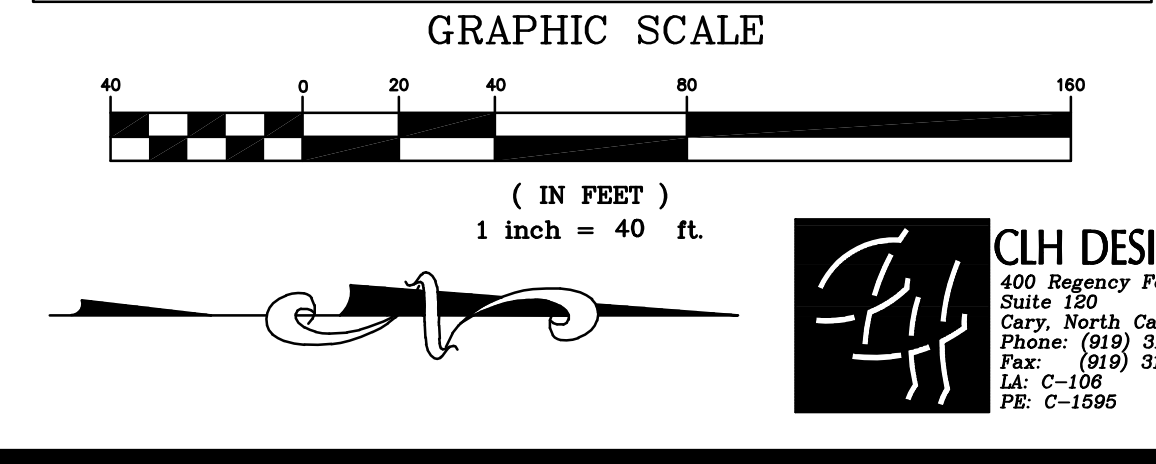
LEGEND-STRUCTURES/UTILITIES TO BE REMOVED

OVERHEAD ELECTRICAL	---	E	LIGHT POLE	☆	LP
UNDERGROUND ELECTRICAL	---	UE	UTILITY POLE	○	PP
FIRE PROTECTION	---	FP	MANHOLE	○	MH
GAS	---	G	CLEAN OUT	○	CO
SANITARY SEWER	---	SS	DROP INLET, CATCH BASIN	□	DL, CB
TELEPHONE	---	T	FIRE HYDRANT	○	FH
UNDERGROUND TELEPHONE	---	UT	WATER VALVE	○	WV
FIBER OPTIC	---	FO	INDIVIDUAL TREE TO REMAIN	○	W
WATER	---	W	PAVEMENT, S/W, STRUCTURES, C&G TO BE REMOVED	▨	
FORCE MAIN	---	FM	INDIVIDUAL TREE TO BE REMOVED	⊗	
STORM DRAIN	---	SD	SIGN	→	SIGN
CONSTR./CLEARING LIMITS	---	CL	MAIL BOX	○	MB
TREE PROTECTION/SILT FENCE	---	TP			
WOODLINE DEMO	---	WD			

- ### GENERAL DEMOLITION NOTES
1. ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
 2. ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS. CONTRACTOR SHALL SALVAGE ALL SIGNAGE, METERS, ETC. TO OWNER. COORDINATE WITH OWNER PRIOR TO DEMOLITION.
 3. INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB AS NEEDED WITHIN CONSTRUCTION LIMITS PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS) FOLLOWING APPROVAL OF ARCHITECT. BY SUBMITTING A BID, CONTRACTOR ACKNOWLEDGES THAT THE SITE HAS BEEN INVESTIGATED TO DETERMINE TYPE, SIZE AND QUANTITY OF CLEARING REQUIRED FOR CONSTRUCTION.
 4. SEE EROSION CONTROL PLANS FOR TEMPORARY STOCKPILE LOCATIONS.
 5. ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & OUTER ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE.
 6. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
 7. CONTRACTOR SHALL EMPLOY A QUALIFIED UTILITY LOCATOR SERVICE TO LOCATE ALL UNDERGROUND UTILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, TELEPHONE, GAS, CABLE, FIBER OPTIC) WITHIN THE LIMITS OF CONSTRUCTION.
 8. VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
 9. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
 10. EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERTY WITH THE PROPOSED FINISHED GRADES (WHETHER OR NOT INDICATED TO BE MODIFIED).
 11. CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. W/OWNER.
 12. EXISTING ON-SITE INFORMATION TAKEN FROM SURVEY BY SEP ENGINEERING & CONSTRUCTION DATED 11 JANUARY 2011 AND ADDITIONAL INFORMATION DATED 15 MARCH 2017. ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS TO REMAIN, WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 13. EXISTING VEGETATION AND NATURAL AREAS WILL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE. MINIMUM CLEARING OF THE LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT.
 14. CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND REPAVING ON-SITE OR OFF-SITE ROADWAYS DAMAGED DURING CONSTRUCTION. PHOTO DOCUMENT EXISTING ROAD CONDITIONS PRIOR TO CONSTRUCTION AND PROVIDE PHOTOS TO THE PROJECT.
 15. ANY EXISTING PAVEMENT, DRIVEWAYS, CURBS, DRAINAGE STRUCTURES, MAILBOXES, SIGNS, OR OTHER EXISTING STRUCTURES THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
 16. FEMA FIRM PANEL 0788L MAP #372007880J DATED MAY 2, 2006 AND PANEL 0798L MAP #372007980J DATED MAY 2, 2006 INDICATE THAT THE SITE IS OUTSIDE THE LIMITS OF SPECIAL FLOOD HAZARD ZONES.

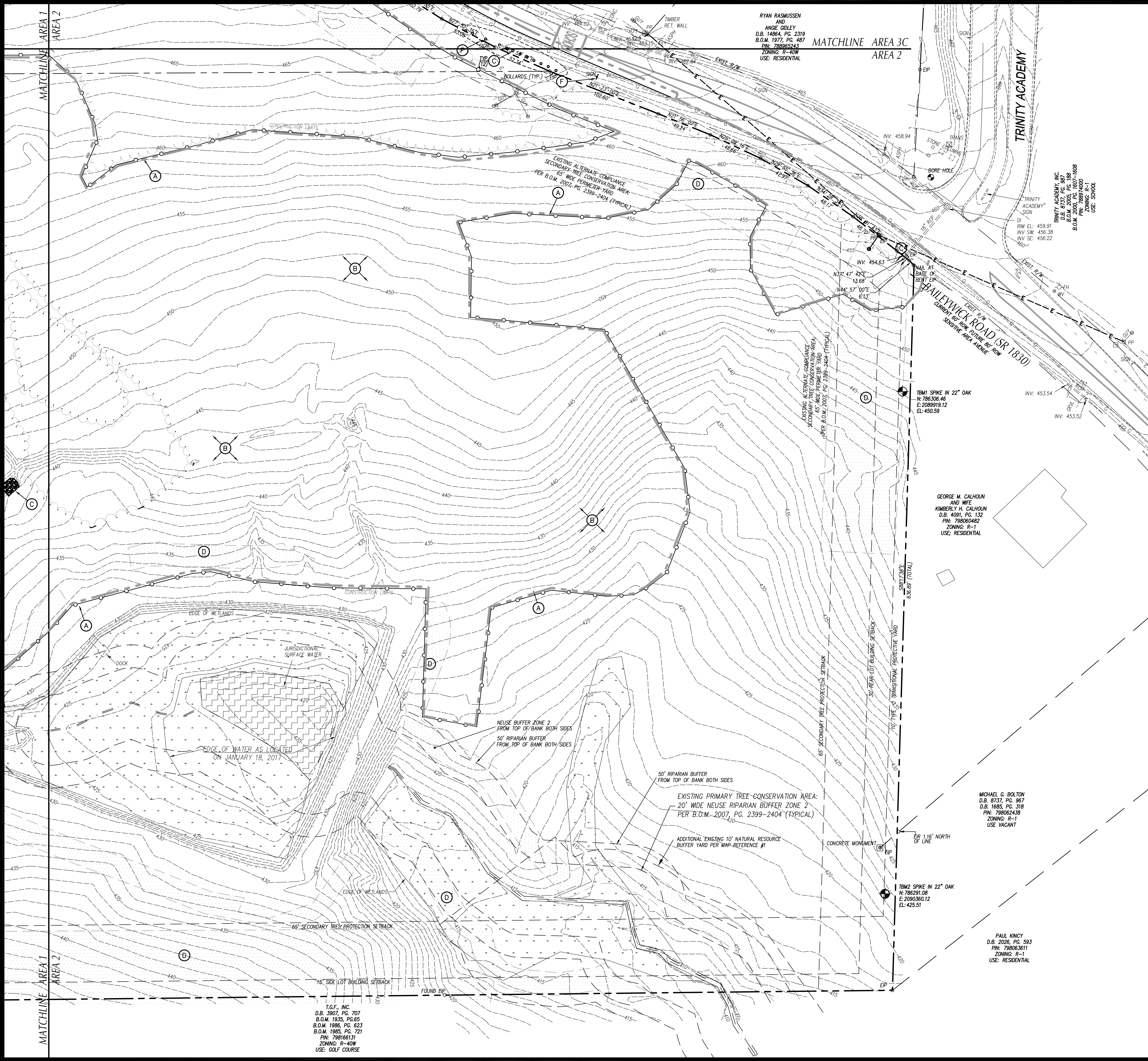
- ### KEYNOTES
- (A) TREE PROTECTION FENCE, SEE DETAIL SHEET C07.01
 - (B) REMOVE VEGETATION CLEAR AND GRUB WITHIN CONSTRUCTION LIMITS. SEE SPECIFICATIONS.
 - (C) REMOVE STRUCTURES/UTILITIES.
 - (D) EXISTING RECORDED TREE CONSERVATION AREA. REFER TO "REFERENCES" #3. A NEW TCA PLAN WILL BE RECORDED WITH THIS SITE PLAN APPROVAL.
 - (E) EXISTING UTILITY LINE/STRUCTURE TO BE REMOVED/RELOCATED BY LOCAL UTILITY COMPANY. LOCAL UTILITY COMPANY SHALL DETERMINE THE LIMITS AND EXTENT OF REMOVAL/RELOCATION OF UTILITIES REQUIRED FOR NEW CONSTRUCTION. COORDINATE SCHEDULE AND WORK WITH LOCAL UTILITY COMPANY AND ARCHITECT/OWNER.
 - (F) RELOCATE SIGN. SEE ROAD PLANS AND PROFILES.

- ### SURVEY REFERENCES
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 4. B.O.M. 2007, PG. 1375
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 6. B.O.M. 1988, PG. 1558
 7. B.O.M. 1986, PG. 623
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 9. B.O.M. 1985, PG. 720
 10. B.O.M. 1977, PG. 718
 11. B.O.M. 1935, PG. 65
 12. D.B. 14802, PG. 2468
 13. D.B. 12611, PG. 2291
 14. D.B. 12294, PG. 959



PROJECT NO: DATE: 16 FEBRUARY 2018

REVISIONS	DATE	DESCRIPTION
03/21/18	E&S	COMMENTS



RYAN RASMUSSEN
AND
ANGIE GIDLEY
D.B. 1484, PG. 2319
B.O.M. 1977, PG. 487
PIN: 78836243
ZONING: R-40W
USE: RESIDENTIAL

MATCHLINE AREA 3C
AREA 2

TRINITY ACADEMY, INC.
D.B. 8737, PG. 987
B.O.M. 2005, PG. 188
PIN: 78836243
ZONING: R-1
USE: SCHOOL

GEORGE M. CALHOUN
AND WIFE
KIMBERLY H. CALHOUN
D.B. 4091, PG. 152
PIN: 78836243
ZONING: R-1
USE: RESIDENTIAL

MICHAEL G. BOLTON
D.B. 8737, PG. 967
D.B. 1685, PG. 318
PIN: 78836243
ZONING: R-1
USE: VACANT

PAUL KINCY
D.B. 2026, PG. 593
PIN: 78836243
ZONING: R-1
USE: RESIDENTIAL

T.G.F., INC.
D.B. 3907, PG. 707
B.O.M. 1935, PG. 65
B.O.M. 1986, PG. 623
B.O.M. 1985, PG. 721
PIN: 788166131
ZONING: R-40W
USE: GOLF COURSE

LEGEND-STRUCTURES/UTILITIES TO REMAIN

OVERHEAD ELECTRICAL	---	E	LIGHT POLE	☆	LP
UNDERGROUND ELECTRICAL	---	UE	UTILITY POLE	○	PP
FIRE PROTECTION	---	FP	MANHOLE	○	MH
GAS	---	G	CLEAN OUT	○	CO
SANITARY SEWER	---	SS	DROP INLET, CATCH BASIN	□	DI, CB
TELEPHONE	---	T	FIRE HYDRANT	○	FH
UNDERGROUND TELEPHONE	---	UT	WATER VALVE	○	WV
FIBER OPTIC	---	FO	INDIVIDUAL TREE TO REMAIN	○	W
WATER	---	W	WELL	○	W
FORCE MAIN	---	FM	SIGN	→	SIGN
STORM DRAIN	---	SD	MAIL BOX	□	MB
WOODSLINE	---	---			

LEGEND-STRUCTURES/UTILITIES TO BE REMOVED

OVERHEAD ELECTRICAL	---	E	LIGHT POLE	☆	LP
UNDERGROUND ELECTRICAL	---	UE	UTILITY POLE	○	PP
FIRE PROTECTION	---	FP	MANHOLE	○	MH
GAS	---	G	CLEAN OUT	○	CO
SANITARY SEWER	---	SS	DROP INLET, CATCH BASIN	□	DI, CB
TELEPHONE	---	T	FIRE HYDRANT	○	FH
UNDERGROUND TELEPHONE	---	UT	WATER VALVE	○	WV
FIBER OPTIC	---	FO	INDIVIDUAL TREE TO BE REMOVED	○	W
WATER	---	W	PAVEMENT, S/W, STRUCTURES, C&G TO BE REMOVED	▨	
FORCE MAIN	---	FM	INDIVIDUAL TREE TO BE REMOVED	○	W
STORM DRAIN	---	SD	SIGN	→	SIGN
CONSTR./CLEARING LIMITS	---	---	MAIL BOX	□	MB
TREE PROTECTION/SILT FENCE	---	---			
WOODSLINE DEMO	---	---			

GENERAL DEMOLITION NOTES

1. ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
2. ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS. CONTRACTOR SHALL SALVAGE ALL SIGNAGE, METERS, ETC. TO OWNER. COORDINATE WITH OWNER PRIOR TO DEMOLITION.
3. INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB AS NEEDED WITHIN CONSTRUCTION LIMITS PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS) FOLLOWING APPROVAL OF ARCHITECT. BY SUBMITTING A BID, CONTRACTOR ACKNOWLEDGES THAT THE SITE HAS BEEN INVESTIGATED TO DETERMINE TYPE, SIZE AND QUANTITY OF CLEARING REQUIRED FOR CONSTRUCTION.
4. SEE EROSION CONTROL PLANS FOR TEMPORARY STOCKPILE LOCATIONS.
5. ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE.
6. PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
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8. VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
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KEYNOTES

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14. D.B. 12294, PG. 959



MOSELEY ARCHITECTS
3000 RDU CENTER DRIVE, SUITE 217, MORRISVILLE, NORTH CAROLINA 27560
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MOSELEYARCHITECTS.COM

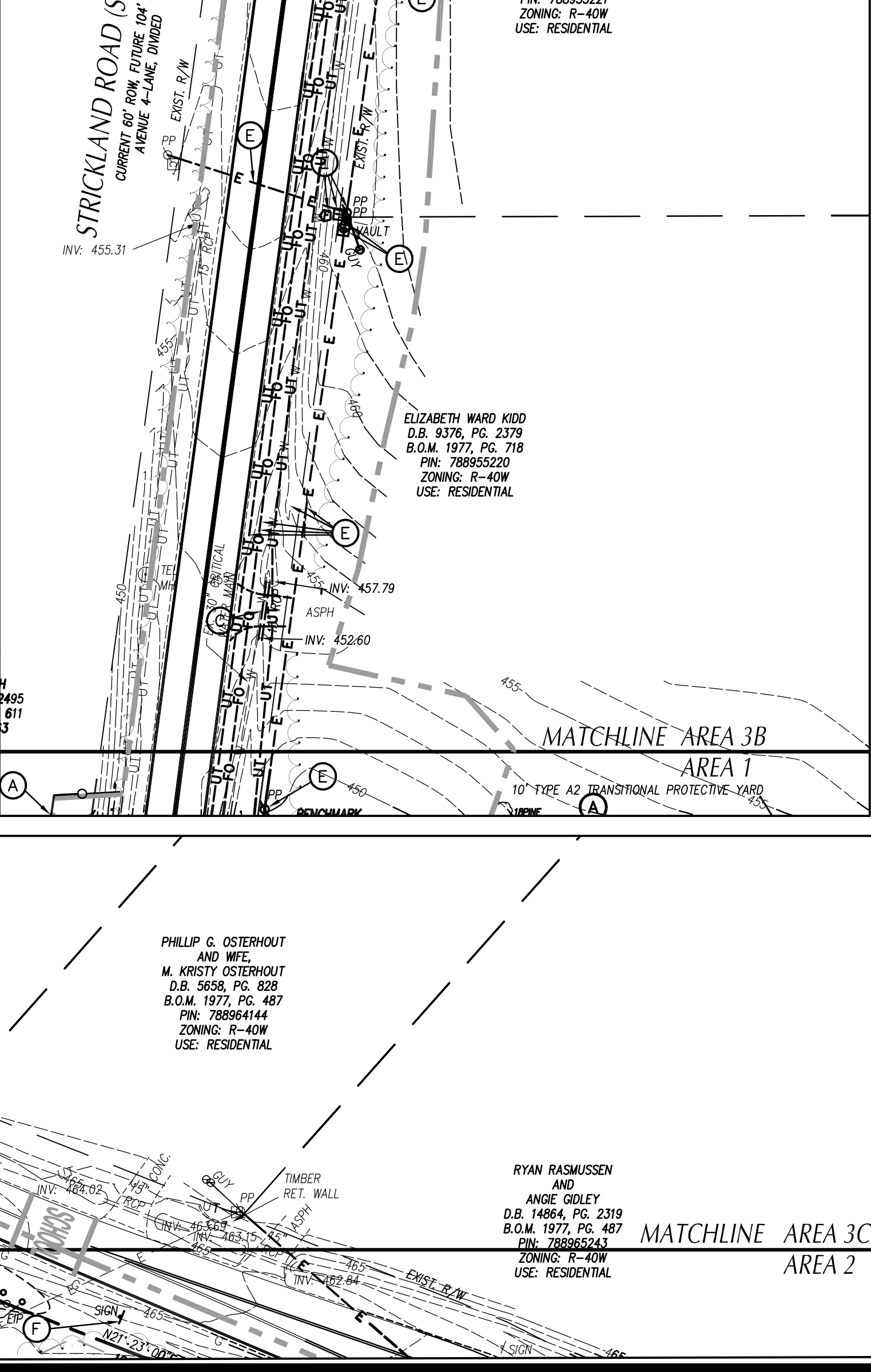
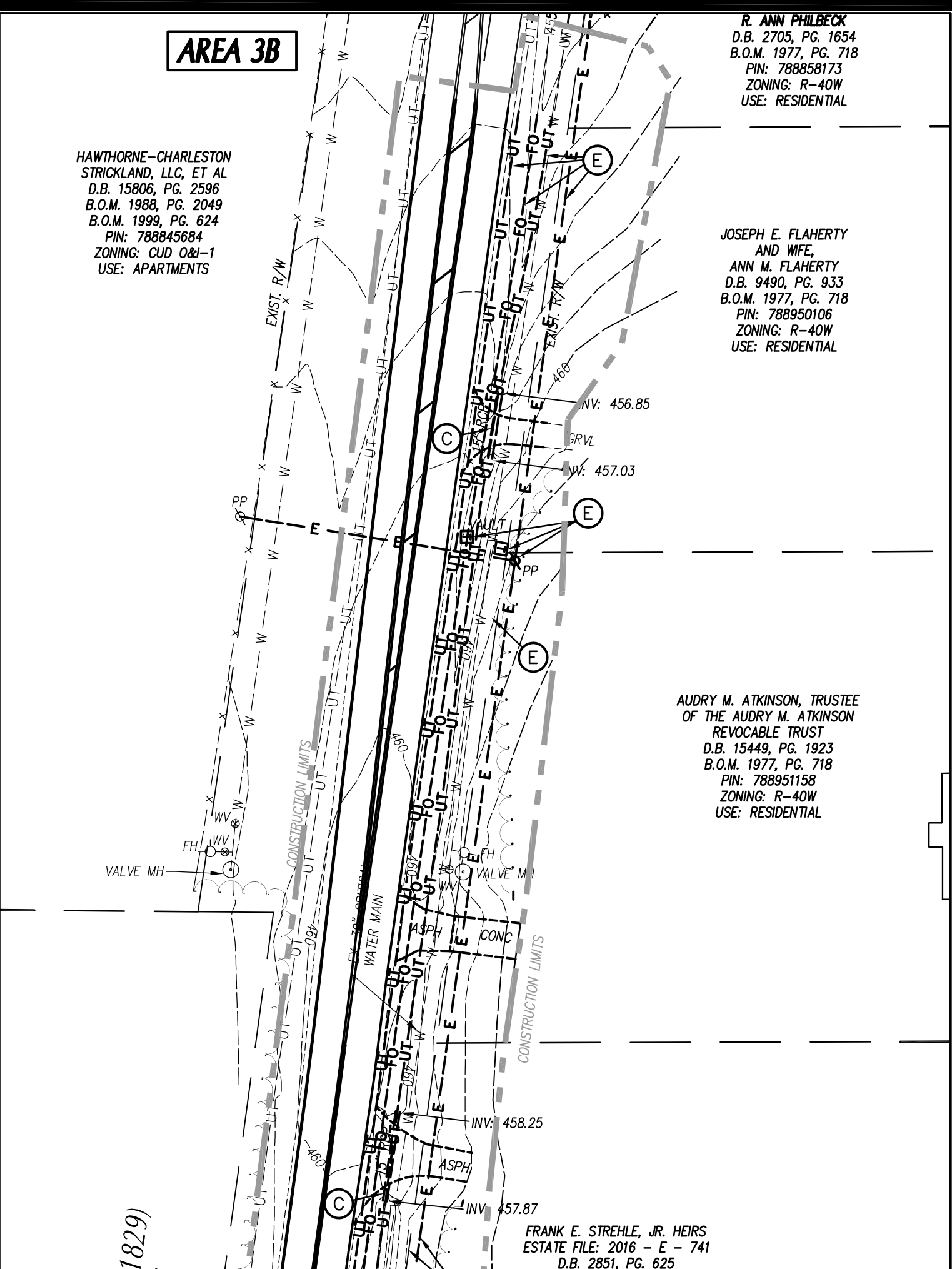
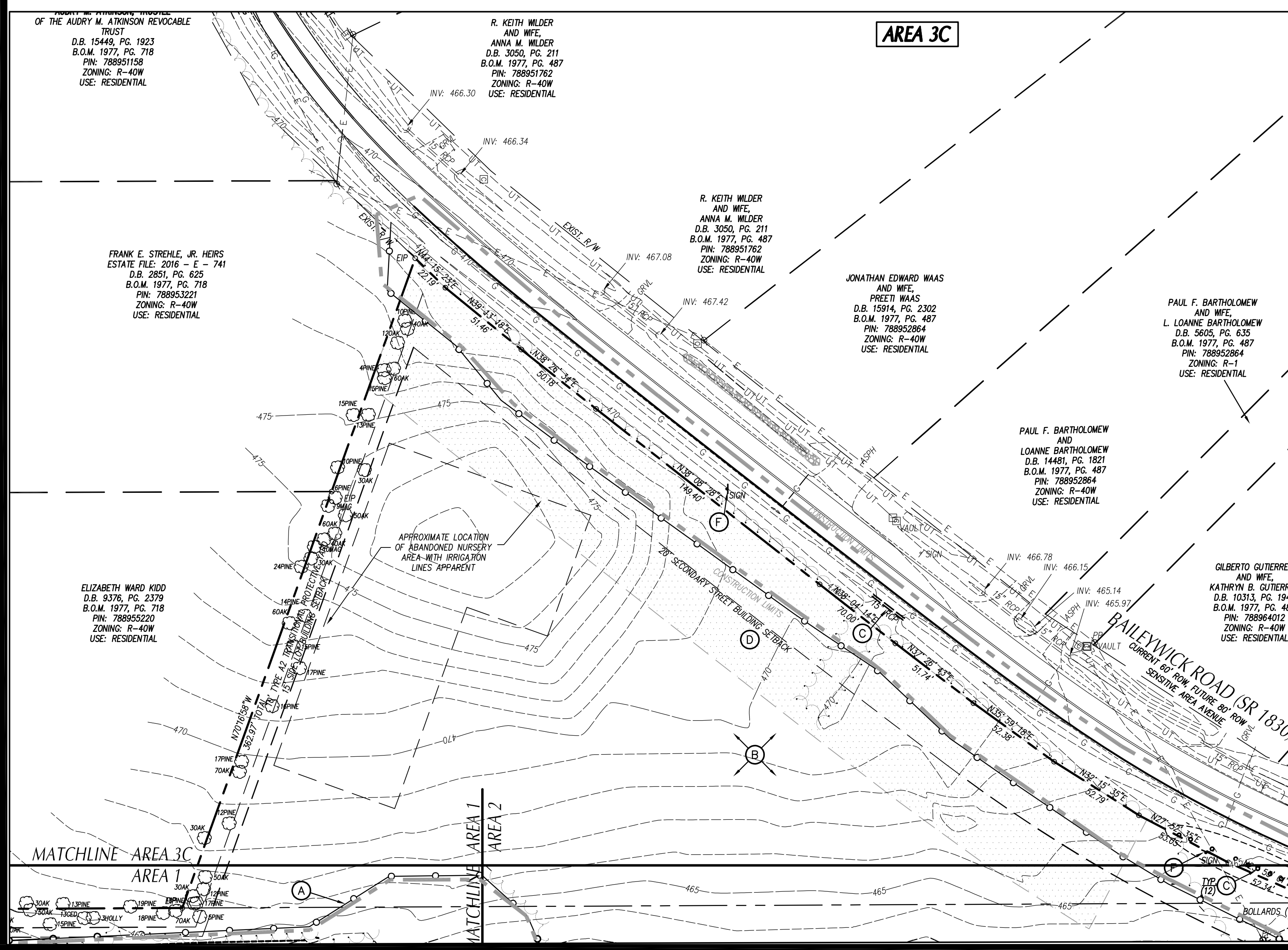
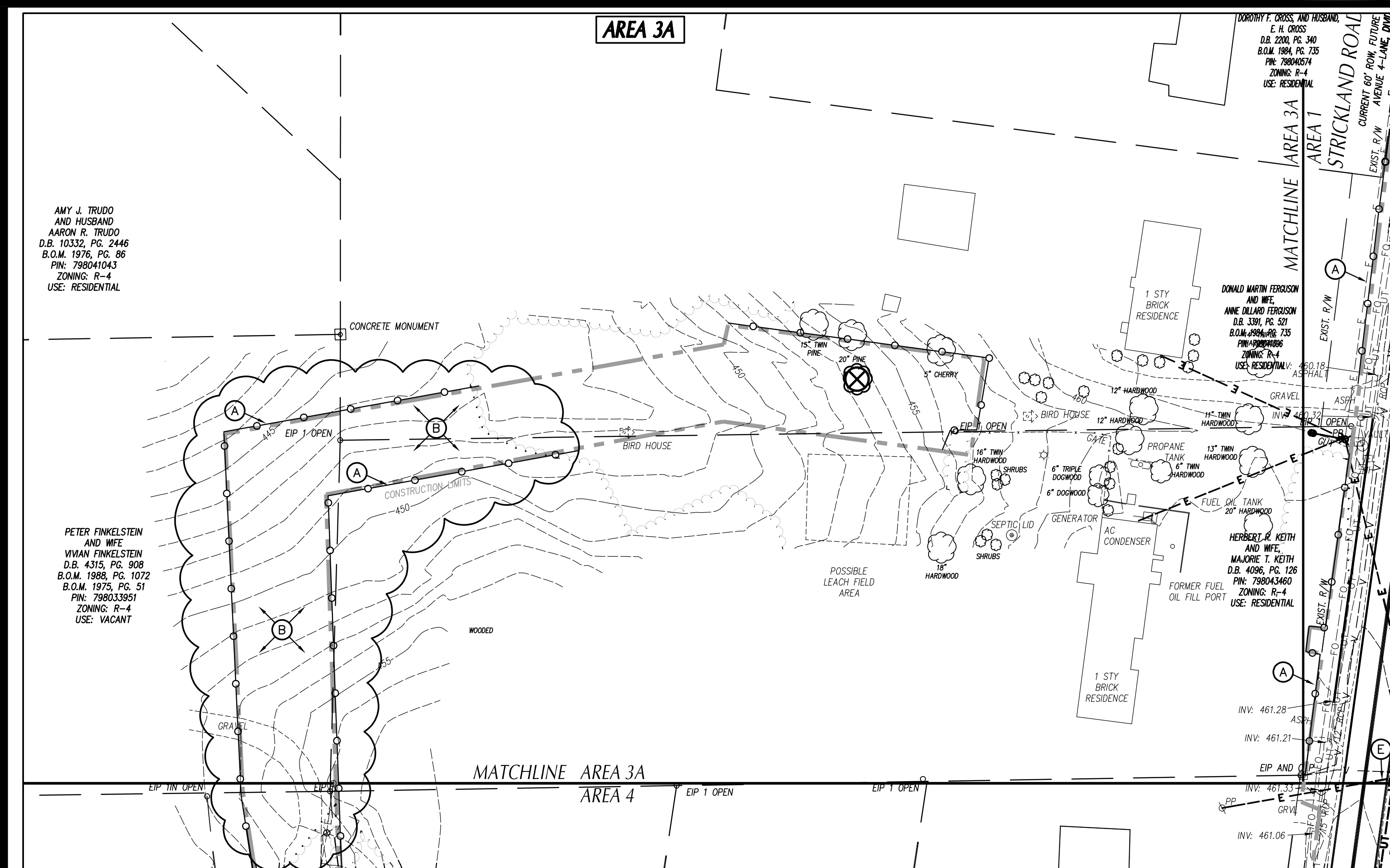
PERMIT / BID

E-24 ELEMENTARY PROTOTYPE
Wake County Public School System
RALEIGH, NC

PROJECT NO.	DATE:
	16 FEBRUARY 2018
REVISIONS	
DATE	DESCRIPTION

EXISTING CONDITIONS AND DEMO PLAN AREA 2
C01.02

CLH DESIGN, P.A.
400 Regency Forest Drive
Suite 150
Cary, North Carolina 27519
Phone: (919) 319-9716
Fax: (919) 319-7616
PE: C-1595



LEGEND-STRUCTURES/UTILITIES TO REMAIN

OVERHEAD ELECTRICAL	---	E	LIGHT POLE	☆	LP
UNDERGROUND ELECTRICAL	---	UE	UTILITY POLE	○	UP
FIRE PROTECTION	---	FP	MANHOLE	○	MH
GAS	---	G	CLEAN OUT	○	CO
SANITARY SEWER	---	SS	DROP INLET/CATCH BASIN	□	DI, CB
TELEPHONE	---	T	FIRE HYDRANT	○	FH
UNDERGROUND TELEPHONE	---	UT	WATER VALVE	○	WV
FIBER OPTIC	---	FO	INDIVIDUAL TREE TO REMAIN	○	IT
WATER	---	W	WELL	○	W
FORCE MAIN	---	FM	SIGN	+	SIGN
STORM DRAIN	---	SD	MAIL BOX	○	MB
WOODS LINE	---	---			

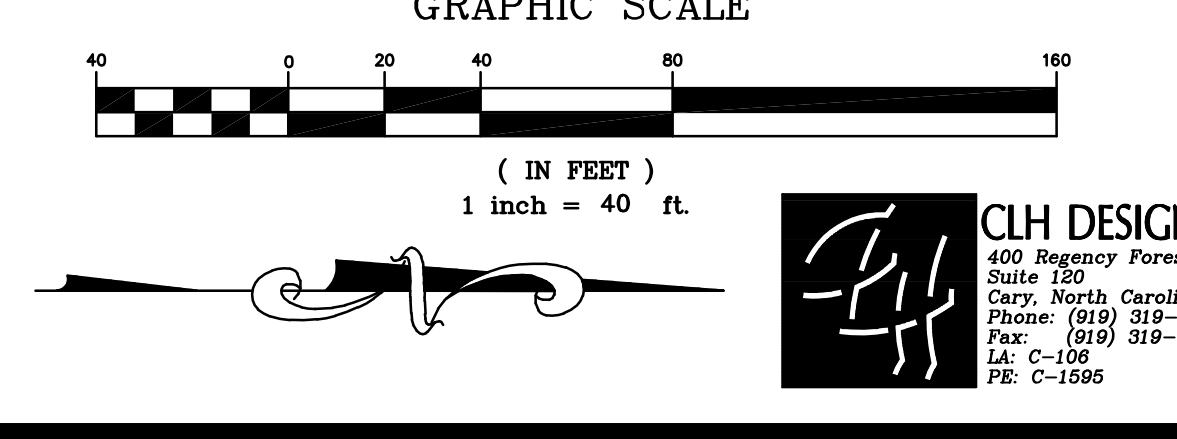
LEGEND-STRUCTURES/UTILITIES TO BE REMOVED

OVERHEAD ELECTRICAL	---	E	LIGHT POLE	☆	LP
UNDERGROUND ELECTRICAL	---	UE	UTILITY POLE	○	UP
FIRE PROTECTION	---	FP	MANHOLE	○	MH
GAS	---	G	CLEAN OUT	○	CO
SANITARY SEWER	---	SS	DROP INLET/CATCH BASIN	□	DI, CB
TELEPHONE	---	T	FIRE HYDRANT	○	FH
UNDERGROUND TELEPHONE	---	UT	WATER VALVE	○	WV
FIBER OPTIC	---	FO	INDIVIDUAL TREE TO BE REMOVED	○	IT
WATER	---	W	PAVEMENT, S/W, STRUCTURES, G&G TO BE REMOVED	▨	
FORCE MAIN	---	FM	INDIVIDUAL TREE TO BE REMOVED	○	IT
STORM DRAIN	---	SD	SIGN	+	SIGN
CONSTR./CLEARING LIMITS	---	---	MAIL BOX	○	MB
TREE PROTECTION/SILT FENCE	---	---			
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MOSELEY ARCHITECTS

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E-24 ELEMENTARY PROTOTYPE

Wake County Public School System
RALEIGH, NC

PERMIT / BID

PROJECT NO: DATE: 16 FEBRUARY 2018
REVISIONS:
DATE DESCRIPTION
03/21/18 E&S COMMENTS

EXISTING CONDITIONS AND DEMO PLAN
AREA 3

C01.03



LEGEND-STRUCTURES/UTILITIES TO REMAIN

OVERHEAD ELECTRICAL	---	E	LIGHT POLE	☆	LP
UNDERGROUND ELECTRICAL	---	UE	UTILITY POLE	⊙	UP
FIRE PROTECTION	---	FP	MANHOLE	⊙	MH
GAS	---	G	CLEAN OUT	⊙	CO
SANITARY SEWER	---	SS	DROP INLET, CATCH BASIN	⊙	DI, CB
TELEPHONE	---	T	FIRE HYDRANT	⊙	FH
UNDERGROUND TELEPHONE	---	UT	WATER VALVE	⊙	WV
FIBER OPTIC	---	FO	INDIVIDUAL TREE TO REMAIN	⊙	IT
WATER	---	W	WELL	⊙	W
FORCE MAIN	---	FM	SIGN	→	SIGN
STORM DRAIN	---	SD	MAIL BOX	⊙	MB
WOODSLINE	---	---			

LEGEND-STRUCTURES/UTILITIES TO BE REMOVED

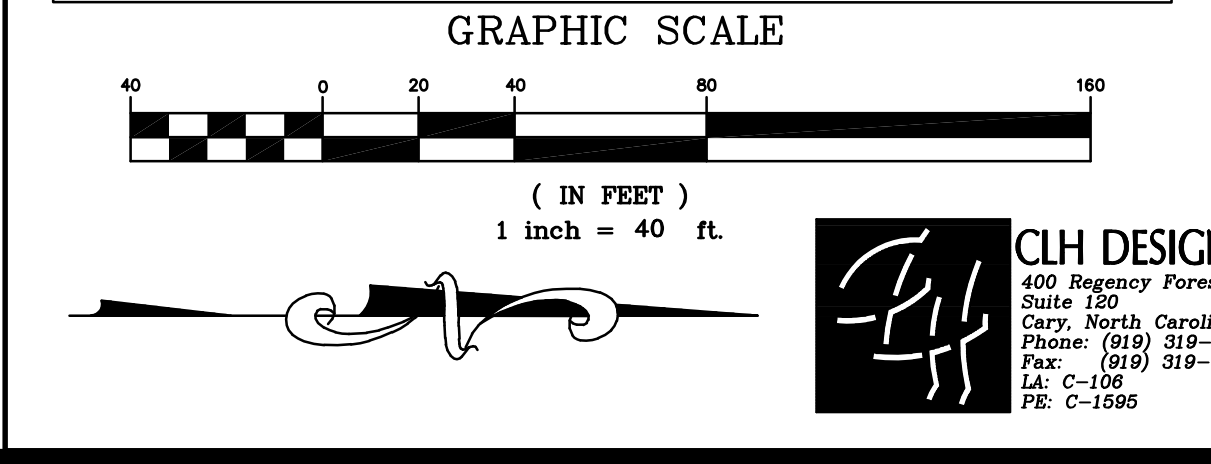
OVERHEAD ELECTRICAL	---	E	LIGHT POLE	☆	LP
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SANITARY SEWER	---	SS	DROP INLET, CATCH BASIN	⊙	DI, CB
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WATER	---	W	PAVEMENT, S/W, STRUCTURES, C&G TO BE REMOVED	⊙	---
FORCE MAIN	---	FM	INDIVIDUAL TREE TO BE REMOVED	⊙	---
STORM DRAIN	---	SD	CONSTR./CLEARING LIMITS	---	---
CONSTR./CLEARING LIMITS	---	---	SIGN	→	SIGN
TREE PROTECTION/SILT FENCE	---	---	MAIL BOX	⊙	MB
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- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
 - ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS. CONTRACTOR SHALL SALVAGE ALL SIGNAGE, METERS, ETC. TO OWNER. COORDINATE WITH OWNER PRIOR TO DEMOLITION.
 - INSTALL TREE PROTECTION FENCING PRIOR TO BEGINNING CLEARING OPERATIONS. CLEAR AND GRUB AS NEEDED WITHIN CONSTRUCTION LIMITS PER SPECIFICATIONS AND DRAWINGS. EXISTING TREES, SHRUBS OR OTHER LANDSCAPE MATERIAL WHICH WILL CONFLICT WITH NEW CONSTRUCTION SHALL BE REMOVED (WHETHER OR NOT SHOWN ON THE DRAWINGS) FOLLOWING APPROVAL OF ARCHITECT. BY SUBMITTING A BID, CONTRACTOR ACKNOWLEDGES THAT THE SITE HAS BEEN INVESTIGATED TO DETERMINE TYPE, SIZE AND QUANTITY OF CLEARING REQUIRED FOR CONSTRUCTION.
 - SEE EROSION CONTROL PLANS FOR TEMPORARY STOCKPILE LOCATIONS.
 - ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WHETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE.
 - PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGES OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
 - CONTRACTOR SHALL EMPLOY A QUALIFIED UTILITY LOCATOR SERVICE TO LOCATE ALL UNDERGROUND UTILITIES (INCLUDING BUT NOT LIMITED TO ELECTRICAL, TELEPHONE, GAS, CABLE, FIBER OPTIC) WITHIN THE LIMITS OF CONSTRUCTION.
 - VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
 - ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
 - EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERTY WITH THE PROPOSED FINISHED GRADES (WHETHER OR NOT INDICATED TO BE MODIFIED).
 - CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. W/OWNER.
 - EXISTING ON-SITE INFORMATION TAKEN FROM SURVEY BY SEPI ENGINEERING & CONSTRUCTION DATED 11 JANUARY 2017 AND ADDITIONAL INFORMATION DATED 15 MARCH 2017. ANY AND ALL LANDSCAPING AND EXISTING TREES & SHRUBS TO REMAIN WHICH ARE DAMAGED DURING DEMOLITION OR CONSTRUCTION SHALL BE REPLACED BY THE CONTRACTOR UTILIZING A LICENSED LANDSCAPE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.
 - EXISTING VEGETATION AND NATURAL AREAS WILL BE PROTECTED TO THE GREATEST EXTENT POSSIBLE. MINIMUM CLEARING OF THE LAND SHALL BE UNDERTAKEN DURING DEVELOPMENT.
 - CONTRACTOR IS RESPONSIBLE FOR REPAIRING AND REPAVING ONSITE OR OFFSITE ROADWAYS DAMAGED DURING CONSTRUCTION. PHOTO DOCUMENT EXISTING ROAD CONDITIONS PRIOR TO CONSTRUCTION AND PROVIDE PHOTOS TO THE PROJECT.
 - ANY EXISTING PAVEMENT, DRIVEWAYS, CURBS, DRAINAGE STRUCTURES, MAILBOXES, SIGNS, OR OTHER EXISTING STRUCTURES THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED TO THEIR ORIGINAL CONDITIONS AT NO ADDITIONAL COST TO THE OWNER.
 - FEMA FIRM PANEL 0788L MAP #372007880J DATED MAY 2, 2006 AND PANEL 0798L MAP #372007980J DATED MAY 2, 2006 INDICATE THAT THE SITE IS OUTSIDE THE LIMITS OF SPECIAL FLOOD HAZARD ZONES.

- ### KEYNOTES
- (A) TREE PROTECTION FENCE, SEE DETAIL SHEET C07.01
 - (B) REMOVE VEGETATION CLEAR AND GRUB WITHIN CONSTRUCTION LIMITS. SEE SPECIFICATIONS.
 - (C) REMOVE STRUCTURES/UTILITIES.
 - (D) EXISTING RECORDED TREE CONSERVATION AREA. REFER TO "REFERENCES" #3. A NEW TCA PLAN WILL BE RECORDED WITH THIS SITE PLAN APPROVAL.
 - (E) EXISTING UTILITY LINE/STRUCTURE TO BE REMOVED/RELOCATED BY LOCAL UTILITY COMPANY. LOCAL UTILITY COMPANY SHALL DETERMINE THE LIMITS AND EXTENT OF REMOVAL/RELOCATION OF UTILITIES REQUIRED FOR NEW CONSTRUCTION. COORDINATE SCHEDULE AND WORK WITH LOCAL UTILITY COMPANY AND ARCHITECT/OWNER.
 - (F) RELOCATE SIGN. SEE ROAD PLANS AND PROFILES.

SURVEY REFERENCES

1. "WETLAND DELINEATION MAP OF MAGNET BANK PROPERTY FOR WAKE COUNTY SCHOOLS, SHEETS 1 THROUGH 3", PREPARED BY WITHERS AND RAVENEL, DATED 1-17-12, UNRECORDED.	7. B.O.M. 1986, PG. 623
2. "BOUNDARY MAP FOR DAVID W. COX", PREPARED BY KENNETH CLOSE, INC., DATED 1-7-1997 (BASIS OF THIS SURVEY), UNRECORDED.	8. B.O.M. 1985, PG. 721
3. B.O.M. 2007, PAGES 2399 THROUGH 2404 (TREE CONSERVATION AREAS)	9. B.O.M. 1985, PG. 720
4. B.O.M. 2007, PG. 1375	10. B.O.M. 1977, PG. 718
5. B.O.M. 2007, PG. 812	11. B.O.M. 1935, PG. 65
6. B.O.M. 1988, PG. 1558	12. D.B. 14802, PG. 2468
	13. D.B. 12611, PG. 2291
	14. D.B. 12294, PG. 959



MOSELEY ARCHITECTS
3000 RED CENTER DRIVE, SUITE 217, MORRISVILLE, NORTH CAROLINA 27560
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MOSELEYARCHITECTS.COM

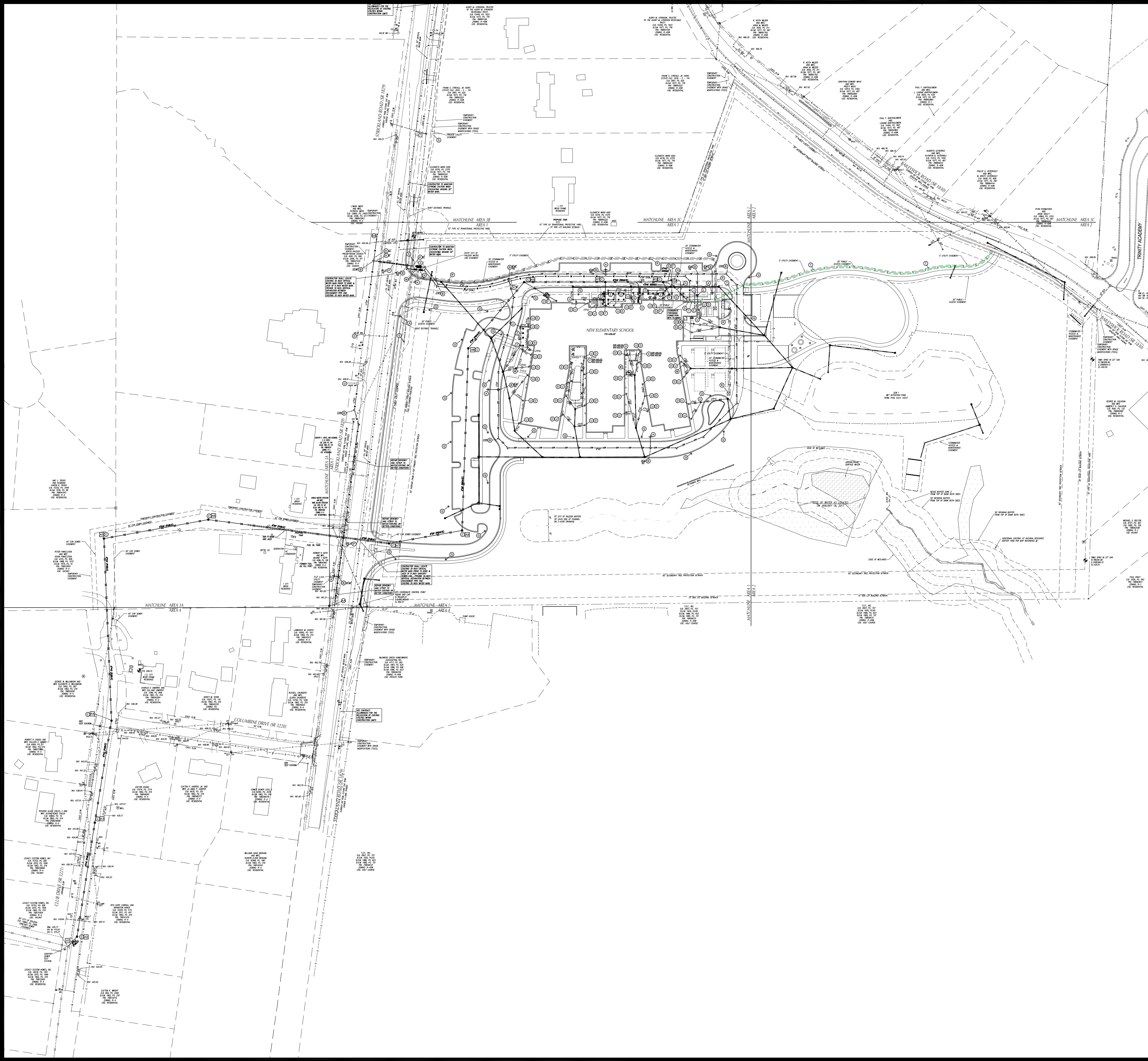
PERMIT / BID

E-24 ELEMENTARY PROTOTYPE
Wake County Public School System
RALEIGH, NC

PROJECT NO:	DATE:
	16 FEBRUARY 2018
	REVISIONS
DATE	DESCRIPTION
03/21/18	E&S COMMENT

EXISTING CONDITIONS AND DEMO PLAN
AREA 4

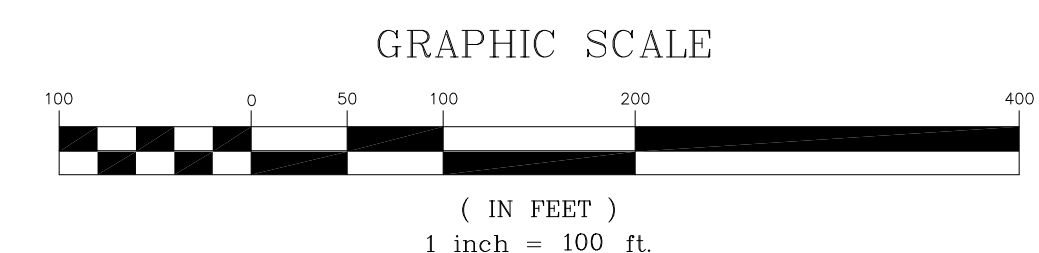
C01.04



STANDARD CITY OF RALEIGH UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUS HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS; HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'; IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUS DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUS HANDBOOK PROCEDURE
- INSTALL 4" PVC WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE
- INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDOW, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION
- NCDDOT / RAILROAD ENCRICHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUS FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGH.GOV FOR MORE INFORMATION
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGH.GOV FOR MORE INFORMATION
- ALL ROOF DRAINS SHALL BE 6" PVC (SCH 40) @ 1.04% MIN. SLOPE UNLESS INDICATED OTHERWISE. USE DUCTILE IRON WHEN COVER IS LESS THAN 24" IN
- AS PER SECTION 7.4 OF THE CITY OF RALEIGH UDD, THE INSTALLATION OF SITE LIGHTING, MOUNTING OR FIXTURE LOCATION SHALL BE MADE IN STRICT COMPLIANCE OF THE UDD.

OVERALL PLAN FOR REVIEW ONLY,
NOT FOR CONSTRUCTION, WITH
THE EXCEPTION OF THE GENERAL
NOTES AND SITE DATA PROVIDED
ON THIS SHEET.
SEE 40 SCALE PLAN SHEETS FOR
DETAILED INFORMATION.



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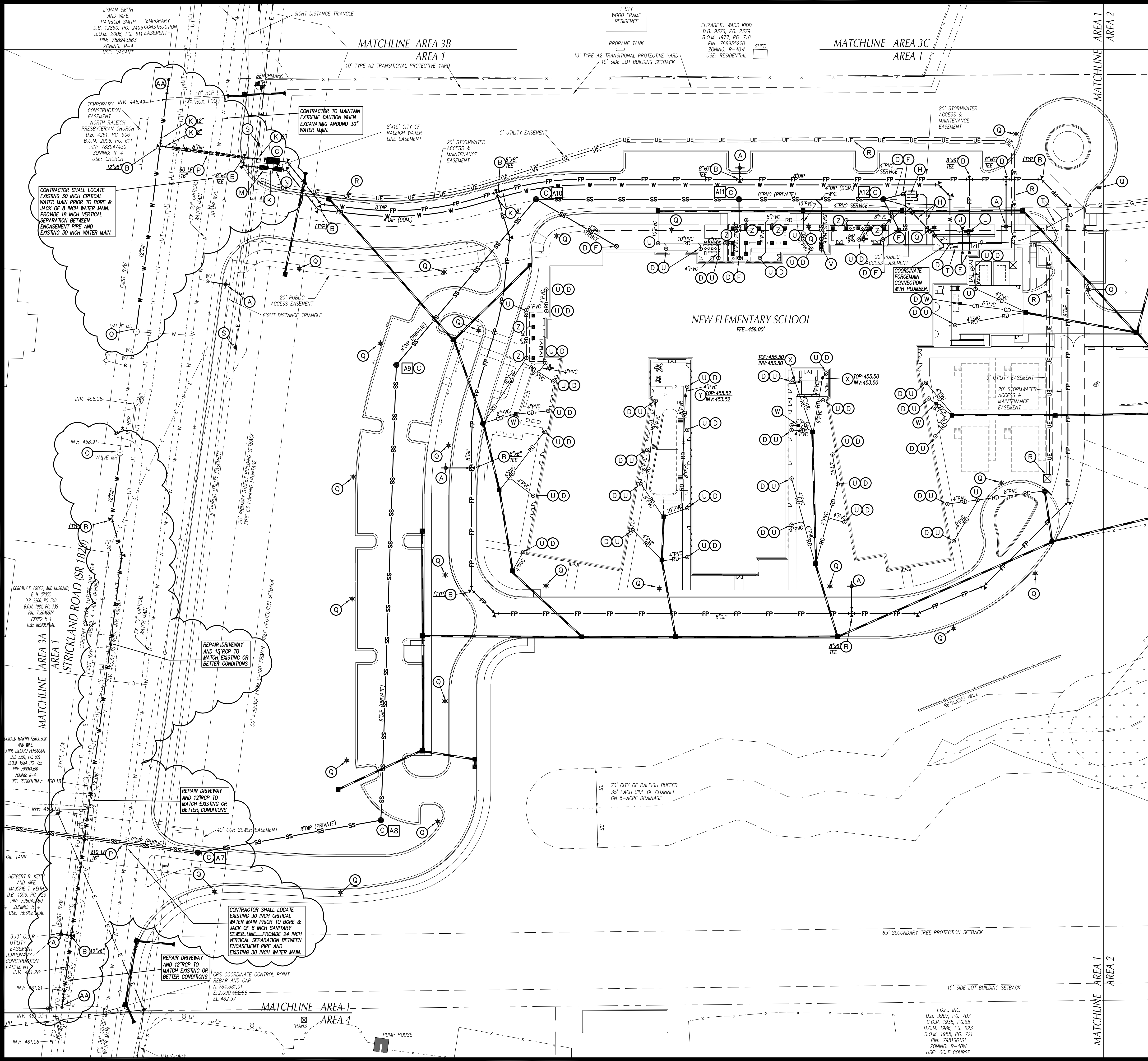
E-24 ELEMENTARY PROTOTYPE
Wake County Public School System
RALEIGH, NC

PROJECT NO.	DATE:
	16 FEBRUARY 2018
REVISIONS	
DATE	DESCRIPTION

CLH DESIGN, P.A.
400 Regency Forest Drive
Suite 150
Cary, North Carolina 27519
Phone: (919) 319-8716
Fax: (919) 319-7516
Lic. C-109
PE: C-1595

UTILITY PLAN
OVERALL

C05.00



UTILITY LEGEND

	EXISTING	PROPOSED
OVERHEAD ELEC	---	---
UNDERGROUND ELEC	UE	UE
GAS	---	G
SANITARY SEWER	SS	SS
TELEPHONE	T	T
UNDERGROUND TELE	UT	UT
WATER	W	W
STAND PIPE SUPPLY	SP	SP
FIRE PROTECTION	FP	FP
FORCE MAIN	FM	FM
FIBER OPTIC	FO	FO
ROOF DRAIN	RD	RD
STORM DRAIN	SD	SD
ARTIFICIAL TURF SUB-DRAIN	---	---
CONDENSATE DRAIN	CD	CD
LIGHT POLE	LP	LP
UTILITY POLE	UP	UP
MANHOLE	MH	MH
CLEAN OUT	CO	CO
DROP INLET/CATCH BASIN	DI, CB	DI, CB
FIRE HYDRANT	FH	FH
WATER VALVE	WV	WV
CONC THRUST BLOCKING	---	---
SANITARY SEWER STRUCTURE I.D.	---	---
STORM SEWER STRUCTURE I.D.	---	---
CONDENSATE RELIEF BASIN	---	---

- KEYNOTES (SEE SHEET C05.00 FOR UTILITY NOTES)**
- (A) FIRE HYDRANT ASSEMBLY, SEE DETAIL SHEET C07.06.
 - (B) THRUST BLOCKING, TYP, SEE DETAIL SHEET C07.06.
 - (C) SANITARY SEWER MANHOLE, SEE DETAIL SHEET C07.10. SEE SANITARY SEWER PLAN AND PROFILE SHEETS FOR ADDITIONAL INFORMATION.
 - (D) EXTEND UTILITY TO WITHIN 5'-0" OF BUILDING WALL OR AS INDICATED ON PLUMBING PLANS. REFER TO PLUMBING PLANS FOR LOCATION AND INVERTS. MAKE CONNECTION TO PLUMBING SERVICE.
 - (E) EXTEND WATER MAIN TO 12-IN ABOVE FINISH FLOOR FOR FIRE PROTECTION/PLUMBING CONNECTION, SEE DETAIL SHEET C07.08. REFER TO FIRE PROTECTION/PLUMBING PLANS FOR EXACT LOCATION.
 - (F) SANITARY SEWER CLEANOUT, SEE DETAIL SHEET C07.10.
 - (G) 8" MILKINS 3750A REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA) WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET C07.08 FOR ADDITIONAL INFORMATION. PROVIDE TAMPER SWITCHES ON ABOVE GRADE VALVES. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (H) GREASE TRAP AND BUILDING SANITARY SEWER SERVICES, SEE PLUMBING PLANS.
 - (J) FIRE DEPARTMENT CONNECTION, SEE DETAIL SHEET C07.11.
 - (K) GATE VALVE AND VALVE BOX, SEE DETAIL SHEET C07.07.
 - (L) POST INDICATOR VALVE W/ TAMPER SWITCH, SEE SPECS. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (M) 4" WATER METER, SEE DETAIL SHEET C07.08.
 - (N) 4" MILKINS 375A REDUCED PRESSURE BACKFLOW ASSEMBLY (RPA) WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET C07.08 FOR ADDITIONAL INFORMATION. PROVIDE TAMPER SWITCHES ON ABOVE GRADE VALVES. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (O) CONNECT 12" WATER LINE TO EXISTING WATER VALVE MANHOLE.
 - (P) BORE & JACK ENCASUREMENT PIPE, SEE DETAIL SHEET C07.09.
 - (Q) SITE LIGHT POLE BY DUKE ENERGY. COORDINATE INSTALLATION & SCHEDULE WITH LOCAL UTILITY COMPANY. CONTRACTOR TO RESEED AREAS DISTURBED BY LOCAL UTILITY COMPANY.
 - (R) APPROXIMATE LOCATION OF ELECTRICAL SERVICE, REFER TO ELECTRICAL PLANS.
 - (S) APPROXIMATE LOCATION OF UTILITY POLE TO BE INSTALLED BY UTILITY COMPANY. COORDINATE WORK WITH UTILITY COMPANY.
 - (T) GAS METER AND GAS SERVICE BY PSNC.
 - (U) ROOF DRAIN CLEANOUT, SEE DETAIL SHEET C07.05.
 - (V) OIL/WATER SEPARATOR. REFER TO MEP PLANS.
 - (W) CONDENSATE RELIEF BASIN, SEE DETAIL SHEET C07.05.
 - (X) IN-LINE DRAIN, SEE DETAIL SHEET C07.11.
 - (Y) FLOOR DRAIN, SEE DETAIL SHEET C07.11.
 - (Z) ROOF DRAIN CLEANOUT, SEE DETAIL SHEET C07.05. CONNECT TO COLUMN DOWNSPOUT, SEE ARCHITECTURAL PLANS.
 - (AA) TEMPORARY BLOW-OFF ASSEMBLY, SEE DETAIL SHEET.

GRAPHIC SCALE
 0 20 40 80 160
 (IN FEET)
 1 inch = 40 ft.

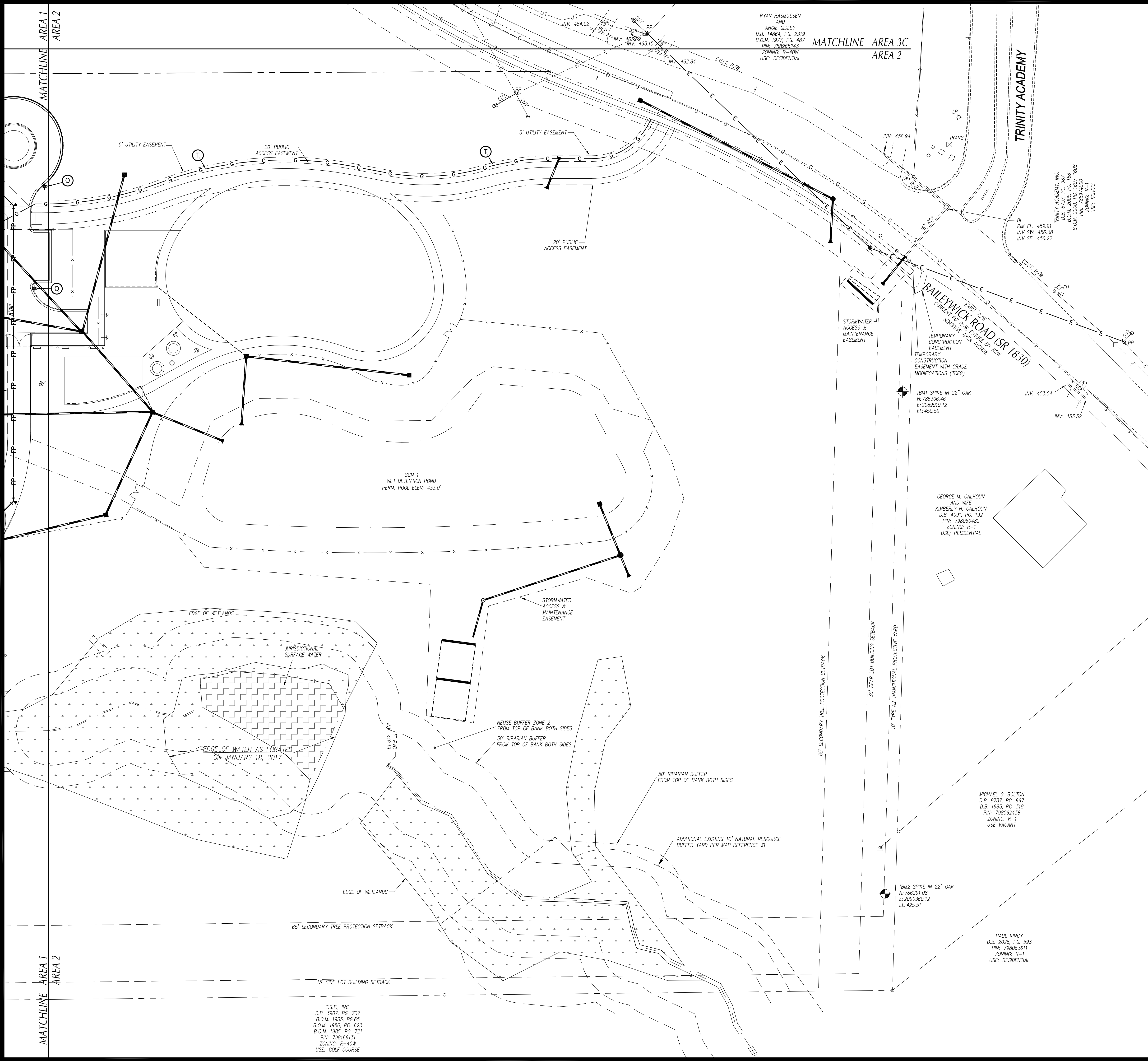
CLH DESIGN, P.A.
 400 Regency Forest Drive
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 Phone: (919) 319-7616
 Fax: (919) 319-7616
 PR: C-1695

E-24 ELEMENTARY PROTOTYPE
Wake County Public School System
RALEIGH, NC

PROJECT NO: DATE: 16 FEBRUARY 2018

DATE	REVISIONS
03/21/18	RALEIGH COMMENTS

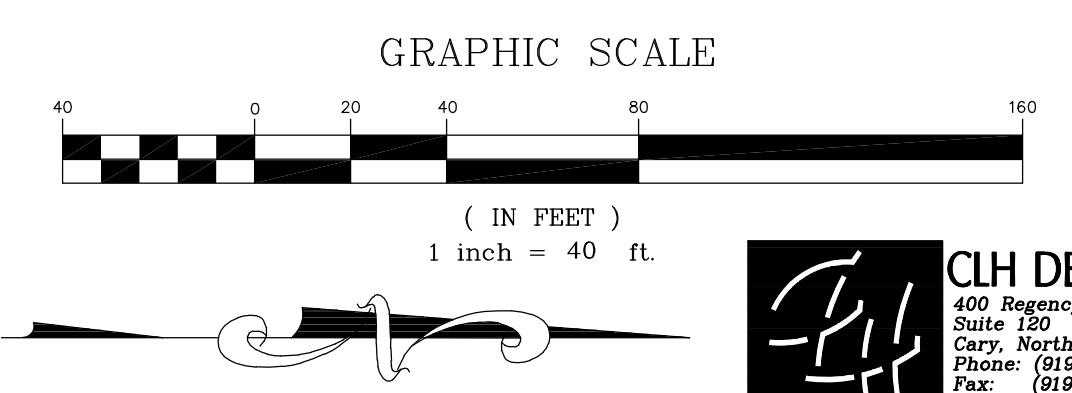
UTILITY PLAN
 AREA 1
C05.01



UTILITY LEGEND

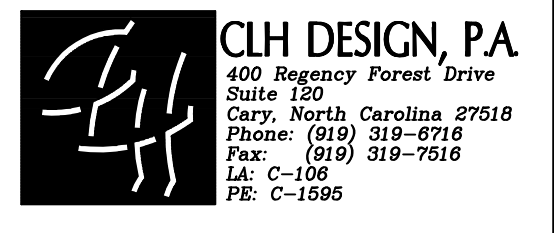
	EXISTING	PROPOSED
OVERHEAD ELEC	UE	UE
UNDERGROUND ELEC	UE	UE
GAS	G	G
SANITARY SEWER	SS	SS
TELEPHONE	T	T
UNDERGROUND TELE	UT	UT
WATER	W	W
STAND PIPE SUPPLY	SP	SP
FIRE PROTECTION	FP	FP
FORCE MAIN	FM	FM
FIBER OPTIC	FO	FO
ROOF DRAIN	RD	RD
STORM DRAIN	SD	SD
ARTIFICIAL TURF SUB-DRAIN	CD	CD
CONDENSATE DRAIN	CD	CD
LIGHT POLE	LP	LP
UTILITY POLE	UP	UP
MANHOLE	MH	MH
CLEAN OUT	CO	CO
DROP INLET/CATCH BASIN	DI, CB	DI, CB
FIRE HYDRANT	FH	FH
WATER VALVE	WV	WV
CONC THRUST BLOCKING		
SANITARY SEWER STRUCTURE I.D.		3
STORM SEWER STRUCTURE I.D.		8
CONDENSATE RELIEF BASIN		CRB

- ### KEYNOTES (SEE SHEET C05.00 FOR UTILITY NOTES)
- (A) FIRE HYDRANT ASSEMBLY, SEE DETAIL SHEET C07.08.
 - (B) THRUST BLOCKING, TYP, SEE DETAIL SHEET C07.08.
 - (C) SANITARY SEWER MANHOLE, SEE DETAIL SHEET C07.10. SEE SANITARY SEWER PLAN AND PROFILE SHEETS FOR ADDITIONAL INFORMATION.
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 - (E) EXTEND WATER MAIN TO 12-IN ABOVE FINISH FLOOR FOR FIRE PROTECTION/PLUMBING CONNECTION, SEE DETAIL SHEET C07.08. REFER TO FIRE PROTECTION/PLUMBING PLANS FOR EXACT LOCATION.
 - (F) SANITARY SEWER CLEANOUT, SEE DETAIL SHEET C07.10.
 - (G) 8" WILKINS 3750A REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA) WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET C07.08 FOR ADDITIONAL INFORMATION. PROVIDE TAMPER SWITCHES ON ABOVE GRADE VALVES. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (H) GREASE TRAP AND BUILDING SANITARY SEWER SERVICES, SEE PLUMBING PLANS.
 - (J) FIRE DEPARTMENT CONNECTION, SEE DETAIL SHEET C07.11.
 - (K) GATE VALVE AND VALVE BOX, SEE DETAIL SHEET C07.07.
 - (L) POST INDICATOR VALVE W/ TAMPER SWITCH, SEE SPECS. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (M) 4" WATER METER, SEE DETAIL SHEET C07.08.
 - (N) 4" WILKINS 375A REDUCED PRESSURE BACKFLOW ASSEMBLY (RPA) WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET C07.08. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (O) CONNECT 12" WATER LINE TO EXISTING WATER VALVE MANHOLE.
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 - (S) APPROXIMATE LOCATION OF UTILITY POLE TO BE INSTALLED BY UTILITY COMPANY. COORDINATE WORK WITH UTILITY COMPANY.
 - (T) GAS METER AND GAS SERVICE BY PSNC.
 - (U) ROOF DRAIN CLEANOUT, SEE DETAIL SHEET C07.05.
 - (V) OIL/WATER SEPARATOR. REFER TO MEP PLANS.
 - (W) CONDENSATE RELIEF BASIN, SEE DETAIL SHEET C07.05.
 - (X) IN-LINE DRAIN, SEE DETAIL SHEET C07.11.
 - (Y) FLOOR DRAIN, SEE DETAIL SHEET C07.11.
 - (Z) ROOF DRAIN CLEANOUT, SEE DETAIL SHEET C07.05. CONNECT TO COLUMN DOWNSPOUT, SEE ARCHITECTURAL PLANS.
 - (AA) TEMPORARY BLOW-OFF ASSEMBLY, SEE DETAIL SHEET



PROJECT NO: DATE: 16 FEBRUARY 2018

DATE	REVISIONS
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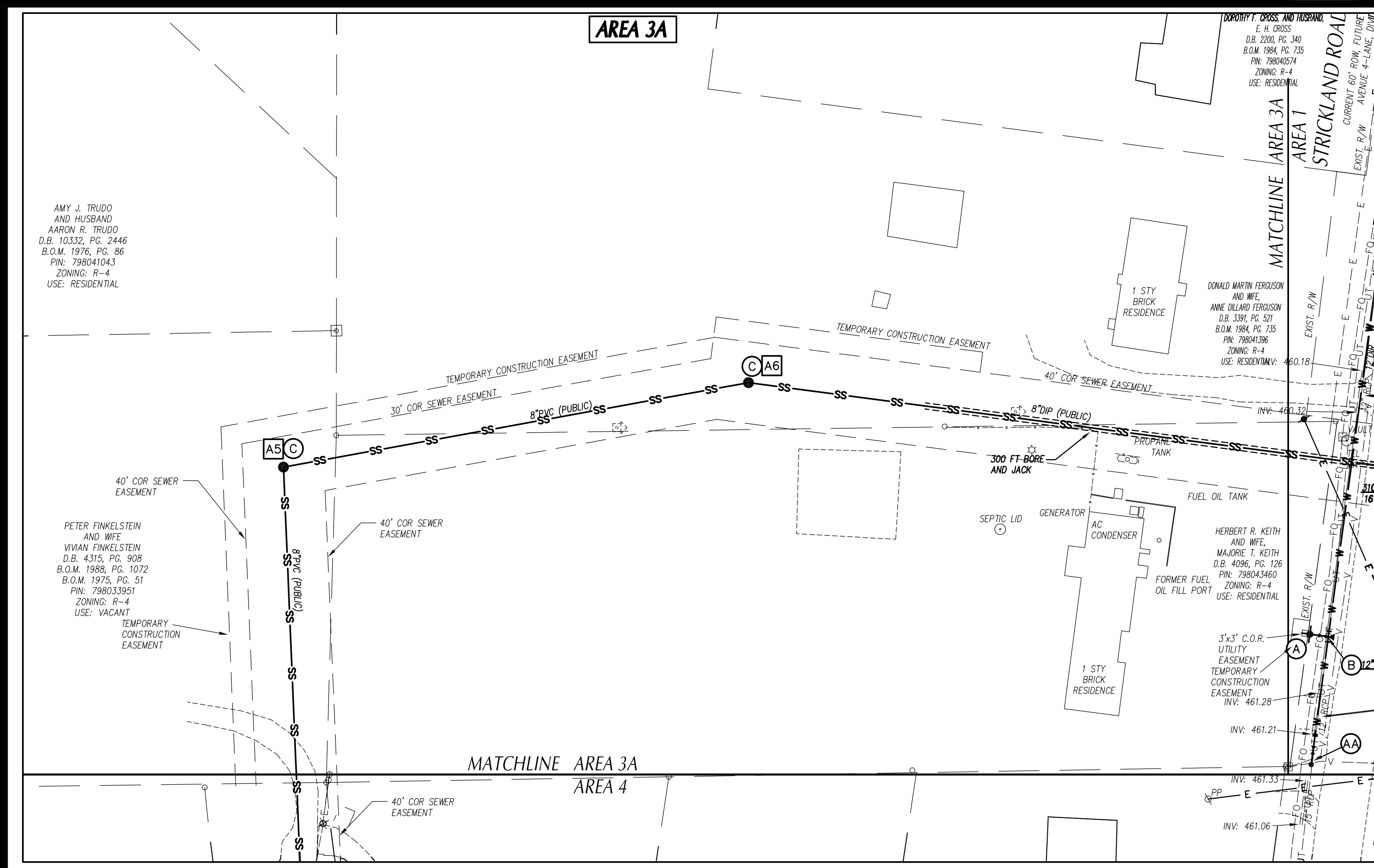
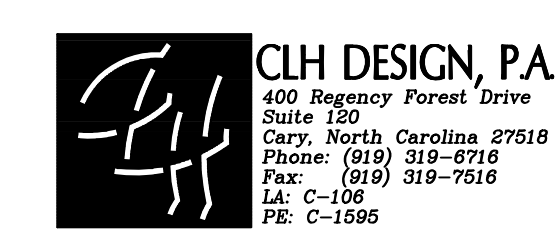
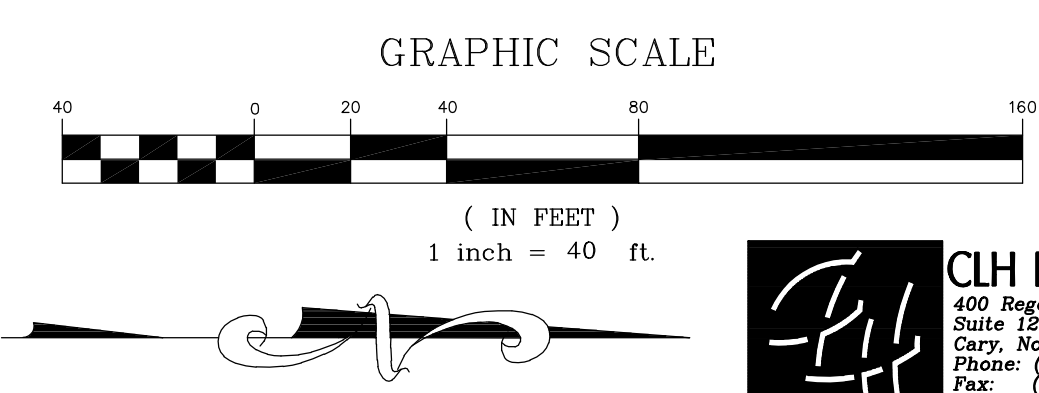
T.G.F., INC.
 D.B. 3907, PG. 707
 B.O.M. 1935, PG. 65
 B.O.M. 1986, PG. 623
 B.O.M. 1985, PG. 721
 P.N. 798166131
 ZONING: R-40W
 USE: GOLF COURSE

PROJECT NO:	DATE:
	16 FEBRUARY 2018
REVISIONS	
DATE	DESCRIPTION
03/21/18	RALEIGH COMMENTS

UTILITY LEGEND

EXISTING	PROPOSED
OVERHEAD ELEC	UE
UNDERGROUND ELEC	UE
GAS	G
SANITARY SEWER	SS
TELEPHONE	T
UNDERGROUND TELE	UT
WATER	W
STAND PIPE SUPPLY	SP
FIRE PROTECTION	FP
FORCE MAIN	FM
FIBER OPTIC	FO
ROOF DRAIN	RD
STORM DRAIN	SD
ARTIFICIAL TURF SUB-DRAIN	CD
CONDENSATE DRAIN	CD
LIGHT POLE	LP
UTILITY POLE	PP
MANHOLE	MH
CLEAN OUT	CO
DROP INLET/CATCH BASIN	DI, CB
FIRE HYDRANT	FH
WATER VALVE	WV
CONC THRUST BLOCKING	
SANITARY SEWER STRUCTURE I.D.	3
STORM SEWER STRUCTURE I.D.	8
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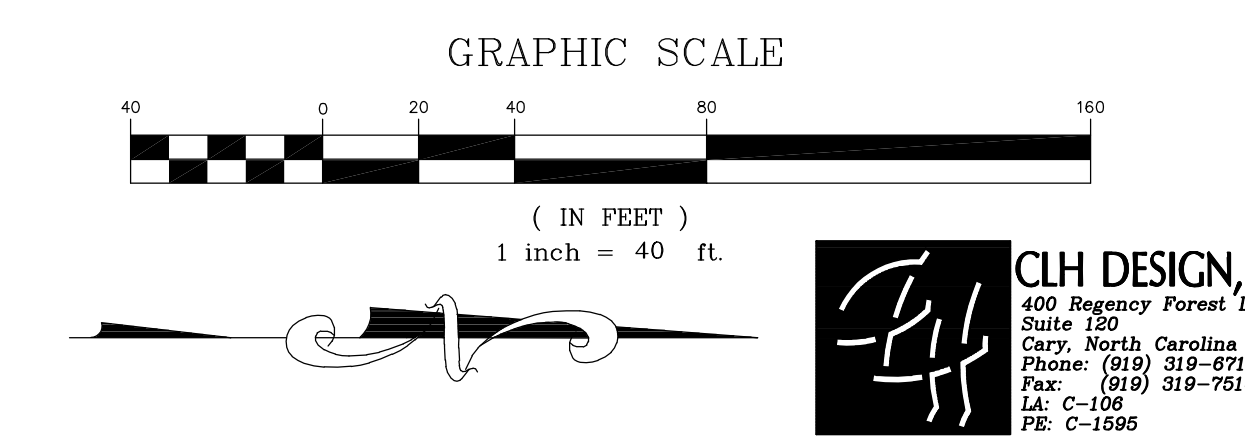
- KEYNOTES (SEE SHEET C05.00 FOR UTILITY NOTES)**
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 - (B) THRUST BLOCKING, TYP, SEE DETAIL SHEET C07.06.
 - (C) SANITARY SEWER MANHOLE, SEE DETAIL SHEET C07.10. SEE SANITARY SEWER PLAN AND PROFILE SHEETS FOR ADDITIONAL INFORMATION.
 - (D) EXTEND UTILITY TO WITHIN 5'-0" OF BUILDING WALL OR AS INDICATED ON PLUMBING PLANS. REFER TO PLUMBING PLANS FOR LOCATION AND INVERTS. MAKE CONNECTION TO PLUMBING SERVICE.
 - (E) EXTEND WATER MAIN TO 12"-W ABOVE FINISH FLOOR FOR FIRE PROTECTION/PLUMBING CONNECTION, SEE DETAIL SHEET C07.08. REFER TO FIRE PROTECTION/PLUMBING PLANS FOR EXACT LOCATION.
 - (F) SANITARY SEWER CLEANOUT, SEE DETAIL SHEET C07.10.
 - (G) 8" WILKINS 3750A REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA) WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET C07.08 FOR ADDITIONAL INFORMATION. PROVIDE TAMPER SWITCHES ON ABOVE GRADE VALVES. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (H) GREASE TRAP AND BUILDING SANITARY SEWER SERVICES, SEE PLUMBING PLANS.
 - (J) FIRE DEPARTMENT CONNECTION, SEE DETAIL SHEET C07.11.
 - (K) GATE VALVE AND VALVE BOX, SEE DETAIL SHEET C07.07.
 - (L) POST INDICATOR VALVE W/ TAMPER SWITCH, SEE SPECS. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (M) 4" WATER METER, SEE DETAIL SHEET C07.08.
 - (N) 4" WILKINS 375A REDUCED PRESSURE BACKFLOW ASSEMBLY (RPA) WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET C07.08. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (O) CONNECT 12" WATER LINE TO EXISTING WATER VALVE MANHOLE.
 - (P) BORE & JACK EASEMENT PIPE, SEE DETAIL SHEET C07.09.
 - (Q) SITE LIGHT POLE BY DUKE ENERGY. COORDINATE INSTALLATION & SCHEDULE WITH LOCAL UTILITY COMPANY. CONTRACTOR TO RESEED AREAS DISTURBED BY LOCAL UTILITY COMPANY.
 - (R) APPROXIMATE LOCATION OF ELECTRICAL SERVICE, REFER TO ELECTRICAL PLANS.
 - (S) APPROXIMATE LOCATION OF UTILITY POLE TO BE INSTALLED BY UTILITY COMPANY. COORDINATE WORK WITH UTILITY COMPANY.
 - (T) GAS METER AND GAS SERVICE BY PSNC.
 - (U) ROOF DRAIN CLEANOUT, SEE DETAIL SHEET C07.05.
 - (V) OIL/WATER SEPARATOR. REFER TO MEP PLANS.
 - (W) CONDENSATE RELIEF BASIN, SEE DETAIL SHEET C07.05.
 - (X) IN-LINE DRAIN, SEE DETAIL SHEET C07.11.
 - (Y) FLOOR DRAIN, SEE DETAIL SHEET C07.11.
 - (Z) ROOF DRAIN CLEANOUT, SEE DETAIL SHEET C07.05. CONNECT TO COLUMN DOWNSPOUT, SEE ARCHITECTURAL PLANS.
 - (AA) TEMPORARY BLOW-OFF ASSEMBLY, SEE DETAIL SHEET



UTILITY LEGEND

	EXISTING	PROPOSED
OVERHEAD ELEC	UE	UE
UNDERGROUND ELEC	UE	UE
GAS	G	G
SANITARY SEWER	SS	SS
TELEPHONE	T	T
UNDERGROUND TELE	UT	UT
WATER	W	W
STAND PIPE SUPPLY	SP	SP
FIRE PROTECTION	FP	FP
FORCE MAIN	FM	FM
FIBER OPTIC	FO	FO
ROOF DRAIN	RD	RD
STORM DRAIN	SD	SD
ARTIFICIAL TURF SUB-DRAIN	CD	CD
CONDENSATE DRAIN	CD	CD
LIGHT POLE	LP	LP
UTILITY POLE	PP	PP
MANHOLE	MH	MH
CLEAN OUT	CO	CO
DROP INLET/CATCH BASIN	DI, CB	DI, CB
FIRE HYDRANT	FH	FH
WATER VALVE	WV	WV
CONC THRUST BLOCKING		
SANITARY SEWER STRUCTURE I.D.		3
STORM SEWER STRUCTURE I.D.		8
CONDENSATE RELIEF BASIN		CRB

- KEYNOTES (SEE SHEET C05.00 FOR UTILITY NOTES)**
- (A) FIRE HYDRANT ASSEMBLY, SEE DETAIL SHEET C07.06.
 - (B) THRUST BLOCKING, TYP, SEE DETAIL SHEET C07.06.
 - (C) SANITARY SEWER MANHOLE, SEE DETAIL SHEET C07.10. SEE SANITARY SEWER PLAN AND PROFILE SHEETS FOR ADDITIONAL INFORMATION.
 - (D) EXTEND UTILITY TO WITHIN 5'-0" OF BUILDING WALL OR AS INDICATED ON PLUMBING PLANS. REFER TO PLUMBING PLANS FOR LOCATION AND INVERTS. MAKE CONNECTION TO PLUMBING SERVICE.
 - (E) EXTEND WATER MAIN TO 12-IN ABOVE FINISH FLOOR FOR FIRE PROTECTION/PLUMBING CONNECTION, SEE DETAIL SHEET C07.08. REFER TO FIRE PROTECTION/PLUMBING PLANS FOR EXACT LOCATION.
 - (F) SANITARY SEWER CLEANOUT, SEE DETAIL SHEET C07.10.
 - (G) 8" WILKINS 3750A REDUCED PRESSURE DETECTOR ASSEMBLY (RPDA) WITHIN HEATED ENCLOSURE, SEE DETAIL SHEET C07.08 FOR ADDITIONAL INFORMATION. PROVIDE TAMPER SWITCHES ON ABOVE GRADE VALVES. SEE ELECTRICAL PLANS FOR ADDITIONAL INFORMATION.
 - (H) GREASE TRAP AND BUILDING SANITARY SEWER SERVICES, SEE PLUMBING PLANS.
 - (J) FIRE DEPARTMENT CONNECTION, SEE DETAIL SHEET C07.11.
 - (K) GATE VALVE AND VALVE BOX, SEE DETAIL SHEET C07.07.
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 - (P) BORE & JACK ENCLOSURE PIPE, SEE DETAIL SHEET C07.09.
 - (Q) SITE LIGHT POLE BY DUKE ENERGY. COORDINATE INSTALLATION & SCHEDULE WITH LOCAL UTILITY COMPANY. CONTRACTOR TO RESEED AREAS DISTURBED BY LOCAL UTILITY COMPANY.
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 - (S) APPROXIMATE LOCATION OF UTILITY POLE TO BE INSTALLED BY UTILITY COMPANY. COORDINATE WORK WITH UTILITY COMPANY.
 - (T) GAS METER AND GAS SERVICE BY PSNC.
 - (U) ROOF DRAIN CLEANOUT, SEE DETAIL SHEET C07.05.
 - (V) OIL/WATER SEPARATOR, REFER TO MEP PLANS.
 - (W) CONDENSATE RELIEF BASIN, SEE DETAIL SHEET C07.05.
 - (X) IN-LINE DRAIN, SEE DETAIL SHEET C07.11.
 - (Y) FLOOR DRAIN, SEE DETAIL SHEET C07.11.
 - (Z) ROOF DRAIN CLEANOUT, SEE DETAIL SHEET C07.05. CONNECT TO COLUMN DOWNSPOUT, SEE ARCHITECTURAL PLANS.
 - (A1) TEMPORARY BLOW-OFF ASSEMBLY, SEE DETAIL SHEET



PERMIT / BID

E-24 ELEMENTARY PROTOTYPE
Wake County Public School System
RALEIGH, NC

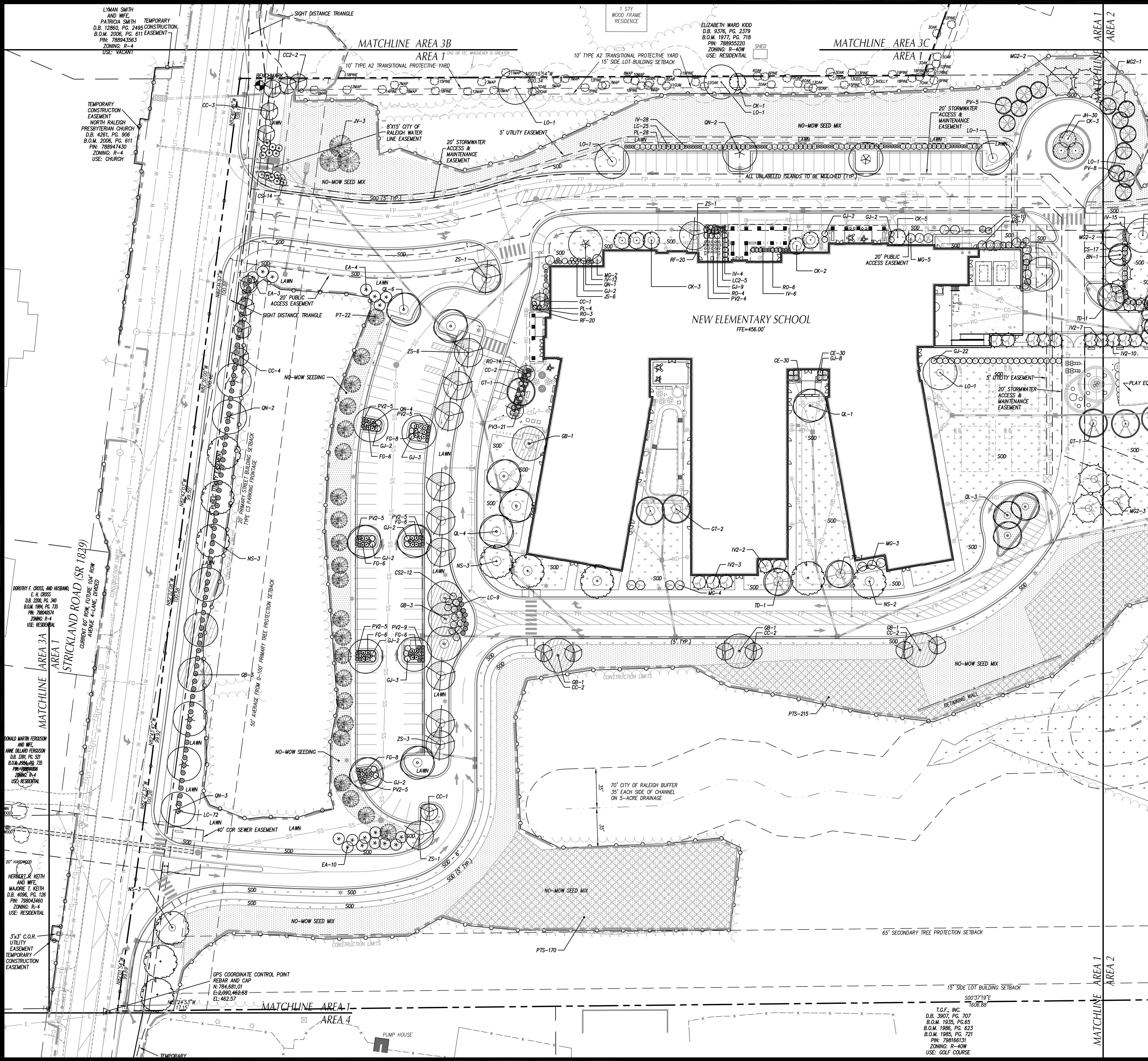
PROJECT NO: DATE: 16 FEBRUARY 2018

DATE	REVISIONS
03/21/18	RALEIGH COMMENTS

UTILITY PLAN
AREA 4

C05.04





GENERAL LANDSCAPE NOTES

SEE DETAIL SHEET C07.12 FOR GENERAL LANDSCAPE NOTES, DETAILS, AND OTHER INFORMATION.

PLANT SCHEDULE

KEY	QTY	PLANT NAME	MIN. SIZE	REMARKS
TREES (CANOPY, UNDERSTORY AND EVERGREEN)				
BN	10	RIVER BIRCH <i>Betula nigra</i> 'Dura Heat'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
CC	12	REDBUD <i>Cercis canadensis</i> 'Forest Pansy'	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
CK	10	KUSA DOGWOOD <i>Cornus kousa</i> 'National'	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
GB	10	'AUTUMN GOLD' GINKGO <i>Ginkgo biloba</i> 'Autumn Gold'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
GT	16	THORNLESS HONEY LOCUST <i>Gleditsia thornless</i> 'Selenia Shademaster'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
JV	3	EASTERN RED CEDAR <i>Juniperus virginiana</i>	3" CAL 10' HT.	STRAIGHT TRUNK FULL TO GROUND
LO	8	LIVE OAK <i>Quercus virginiana</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
MG	16	ALTA UPRIGHT SOUTHERN MAGNOLIA <i>Magnolia grandiflora</i> 'Alta'	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
MG2	13	BRACKEN'S BROWN BEAUTY MAGNOLIA <i>Magnolia grandiflora</i> 'Bracken's Brown Beauty'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK MATCHED SPECIMENS
NS	17	BLACK GUM <i>Nyssa sylvatica</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
PT	23	LOBLOLLY PINE <i>Pinus taeda</i>	8" HT.	B&B, STRAIGHT TRUNK LOOSELY STAKED
PTS	497	LOBLOLLY PINE <i>Pinus taeda</i>	14 INCHES HT. BARE ROOT, 10' GRID	STRAIGHT TRUNK
PV	13	VIRGINIA PINE <i>Pinus virginiana</i>	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK LOOSELY STAKED
QN	15	NUTTALL OAK <i>Quercus nuttallii</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
QL	32	OVERCUP OAK <i>Quercus lyrata</i> 'highbeam'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
TD	8	BAUD CYPRESS <i>Taxodium distichum</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
ZS	12	GREEN ZELKOVA <i>Zelkova serrata</i> 'Village Green'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
SHRUBS				
CS	31	SUTSUGOKKA CAMELLIA <i>Camellia sasanqua</i> 'Sutsugokka'	36" HT.	FULL PLANTS MATCHING, 8" O.C.
CS2	12	RED TWIG DOGWOOD <i>Cornus sericea</i>	36" HT.	FULL PLANTS MATCHING, 8" O.C.
EA	10	BURNING BUSH <i>Euonymus alatus</i>	36" HT.	FULL PLANTS MATCHING, 8" O.C.
FG	46	DWARF FOTHERGILLA <i>Fothergilla gardenii</i> 'ML Airy'	24" HT.	FULL PLANTS MATCHING, 4" O.C.
GJ	62	KLEIM'S HARDY GARDENIA <i>Gardenia jasminoides</i> 'Kleim's Hardy'	18" HT.	FULL PLANTS MATCHING, 4" O.C.
IV2	19	YALPON HOLLY <i>Ilex vomitoria</i>	36" HT.	FULL PLANTS MATCHING, 8" O.C.
IV	64	DWARF YALPON HOLLY <i>Ilex vomitoria</i> 'Nana'	18" HT.	FULL PLANTS MATCHING, 3" O.C.
JC	32	JUNIPER <i>Juniperus chinensis</i> 'Sea Green'	24" HT.	3 GAL. CONT., FULL AS SHOWN
JS	6	BLUE STAR JUNIPER <i>Juniperus squamata</i> 'Blue Star'	18" HT.	FULL PLANTS MATCHING, 8" O.C.
LC	118	CHINESE FRINGE FLOWER <i>Loropetalum chinense</i> 'Ruby'	24" HT.	FULL PLANTS MATCHING, 5" O.C.
LC2	5	DWARF CHINESE FRINGE FLOWER <i>Loropetalum chinense</i> 'PURPLE PIXIE'	18" HT.	FULL PLANTS MATCHING, 5" O.C.
MC	27	WAX MYRTLE <i>Myrica cerifera</i>	18" HT.	FULL PLANTS MATCHING, 5" O.C.
PL	32	CHERRY LAUREL <i>Prunus laurocerasus</i> 'Otto Luyken'	24" HT.	5 GAL. CONT., FULL 5" O.C.
RO	27	ROSEMARY <i>Rosmarinus officinalis</i> 'Arp'	18" HT.	FULL PLANTS MATCHING, 4" O.C.
PERENNIALS AND GROUNDCOVERS				
CE	60	YELLOW SEDGE <i>Carex flaccida</i> 'Evergold'	1-PT. CONT.	FULL PLANTS MATCHING 18" O.C.
JH	30	HORIZONTAL JUNIPER <i>Juniperus horizontalis</i> 'Wiltoni'	3-GAL. CONT.	5 GAL. CONT., FULL 5" O.C.
PV2	4	SHENANDOAH SWITCH GRASS <i>Panicum virgatum</i> 'Shenandoah'	5-GAL. CONT.	FULL PLANTS MATCHING, 3" O.C.
PV3	21	RUBY RIBBON SWITCHGRASS <i>Panicum virgatum</i> 'Ruby Ribbons'	3-GAL. CONT.	FULL PLANTS MATCHING, 3" O.C.
RF	40	BLACK EYED SUSAN <i>Rudbeckia fulgida</i> 'Goldsturm'	1-PT. CONT.	FULL PLANTS MATCHING 18" O.C.
SEED AND SOD				
NO-MOW SEED MIX (SEE DETAILS)				
SOD - SEE LANDSCAPE NOTES SHEET C07.12				
GRAPHIC SYMBOLS SUPERCEDE WRITTEN QUANTITIES WHERE DISCREPANCIES OCCUR.				

LANDSCAPE CALCULATIONS

STREET TREES
 STRICKLAND ROAD = 824.02 LF = DRIVES = 706 LF
 STREET TREES REQUIRED: 706 LF / TREE 40' O.C. = 18 TREES (100% DECIDUOUS)
 STREET TREES PROVIDED: 18

BAILEYCK ROAD
 = 954.41 LF
 STREET TREES REQUIRED: 954 LF / TREE 50' O.C. = 20 TREES (100% DECIDUOUS)
 STREET TREES PROVIDED: 20

STREET PROTECTIVE YARDS
TYPE 10' A2 TRANSITIONAL YARD (ABUTTING RESIDENTIAL ZONING)*
 *UNLESS REPLACED BY TCA
 REQUIRED PER 100 LF: 4 SHADE TREES, 4 UNDERSTORY AND 6.5' FENCE*
 50% EVERGREEN TREES
 *UNLESS REPLACED BY A 6' GRADE CHANGE IN ACCORDANCE WITH 7.2.4-5
 OF THE CITY OF RALEIGH UDO
 ACCORDING TO SECTION 7.2.7-C-1-i OF THE CITY OF RALEIGH UDO, NO TREE MAY PLANTING WITHIN
 15' OR WITHIN THE CRITICAL ROOT ZONE OF AN EXISTING TREE (CRZ=DBH X 1.25')

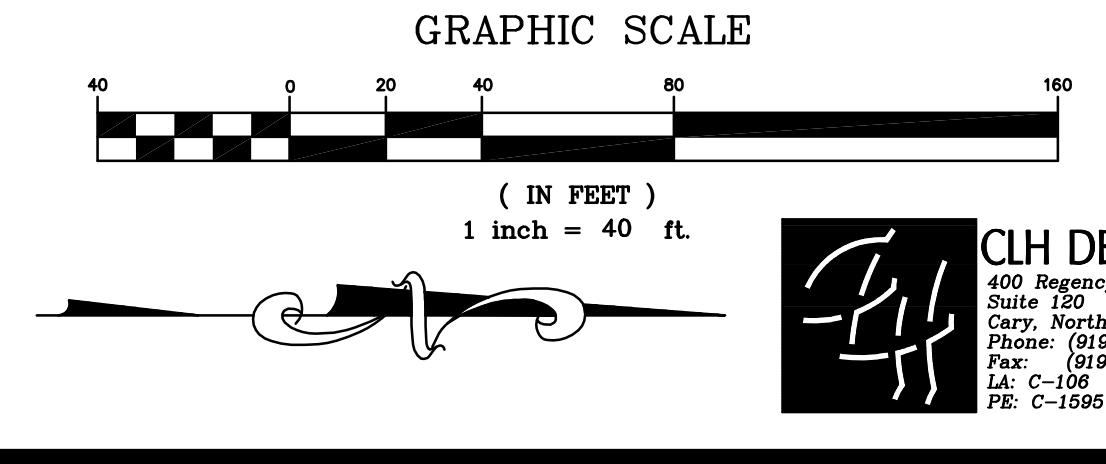
INTERIOR PARKING CALCULATIONS:
 117 SPACES X 162 SF PARKING AREA = 18,954 SF/2,000 = 10 TREES REQUIRED
 INTERIOR LANDSCAPE ISLANDS WITH TREES REQUIRED: 12 (117/10)
 INTERIOR LANDSCAPE ISLANDS WITH TREES PROVIDED: 17

PARKING WITH STREET FRONTAGE MUST BE SCREENED WITH TYPE C3 AT STREET
 30 SHRUBS/100 LF

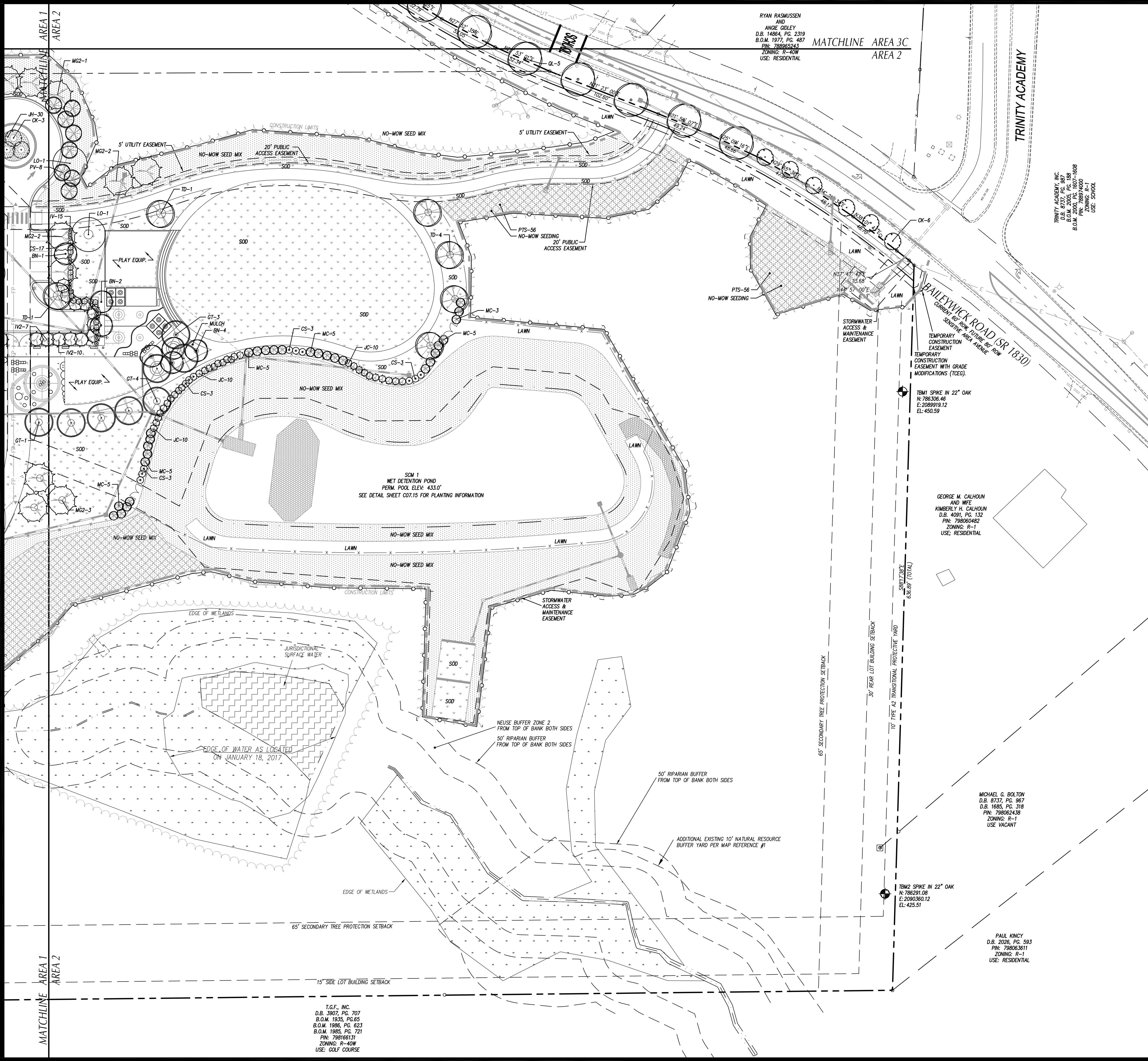
SCREENING WALL VEGETATIVE SCREENING CALCULATIONS
 SCREEN WALL SURFACE AREA = 164 LF X 16'8" HT. = 2,734 SF/3 = 911 SF REQUIRED (AT MATURITY)
 PROVIDED: (7)CS @ 210 SF + (7)MG @ 840 SF + (2)JV2 @ 240 = 1,290 SF TOTAL SCREENED

CITY OF RALEIGH LIGHTING NOTE

NOTE: PROPOSED PARKING LOT FIXTURES MUST MEET THE CLEARANCE REQUIREMENTS OF UDO SECTION 7.1.7.G.1. LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20 FEET FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.



PROJECT NO.	DATE:
	16 FEBRUARY 2018
REVISIONS	
DATE	DESCRIPTION



RYAN RASMUSSEN
AND
ANGIE GIDLEY
D.B. 1484, PG. 2319
B.O.M. 1977, PG. 487
PIN: 78886243
ZONING: R-40W
USE: RESIDENTIAL

MATCHLINE AREA 3C
AREA 2

TRINITY ACADEMY, INC.
D.B. 8737, PG. 987
B.O.M. 2005, PG. 188
B.O.M. 1977, PG. 188
PIN: 78886243
ZONING: R-1
USE: SCHOOL

GEORGE M. CALHOUN
AND WIFE
KIMBERLY H. CALHOUN
D.B. 4091, PG. 132
PIN: 78886243
ZONING: R-1
USE: RESIDENTIAL

MICHAEL G. BOLTON
D.B. 8737, PG. 967
D.B. 1685, PG. 318
PIN: 78886243
ZONING: R-1
USE: VACANT

PAUL KINCY
D.B. 2026, PG. 583
PIN: 78886243
ZONING: R-1
USE: RESIDENTIAL

T.G.F., INC.
D.B. 3907, PG. 707
D.B.M. 1935, PG. 65
B.O.M. 1986, PG. 623
B.O.M. 1985, PG. 721
PIN: 788166131
ZONING: R-40W
USE: GOLF COURSE

GENERAL LANDSCAPE NOTES

SEE DETAIL SHEET C07.12 FOR GENERAL LANDSCAPE NOTES, DETAILS, AND OTHER INFORMATION.

PLANT SCHEDULE

KEY	QTY	PLANT NAME	MIN. SIZE	REMARKS
TREES (CANOPY, UNDERSTORY AND EVERGREEN)				
BN	10	RIVER BIRCH <i>Betula nigra</i> 'Dura Heat'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
CC	12	REDBUD <i>Cercis canadensis</i> 'Forest Pansy'	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
CK	10	KOUSA DOGWOOD <i>Cornus kousa</i> 'National'	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
GB	10	'AUTUMN GOLD' GINKGO <i>Ginkgo biloba</i> 'Autumn Gold'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
GT	16	THORNLESS HONEY LOCUST <i>Gleditsia inopurpurea</i> var. <i>glabris</i> 'Shademaster'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
JV	3	EASTERN RED CEDAR <i>Juniperus virginiana</i>	3" CAL 10' HT.	STRAIGHT TRUNK FULL TO GROUND
LO	8	LIVE OAK <i>Quercus virginiana</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
MG	16	ALTA UPRIGHT SOUTHERN MAGNOLIA <i>Magnolia grandiflora</i> 'Alta'	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
MG2	13	BRACKEN'S BROWN BEAUTY MAGNOLIA <i>Magnolia grandiflora</i> 'Bracken's Brown Beauty'	3" CAL 10' HT.	B&B STRAIGHT TRUNK MATCHED SPECIMENS
NS	17	BLACK GUM <i>Nyssa sylvatica</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
PT	23	LOBLOLLY PINE <i>Pinus taeda</i>	8' HT.	B&B, STRAIGHT TRUNK LOOSELY STAKED
PTS	497	LOBLOLLY PINE <i>Pinus taeda</i>	14 INCHES HT. BARE ROOT, 10' GRID	STRAIGHT TRUNK
PV	13	VIRGINIA PINE <i>Pinus virginiana</i>	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK LOOSELY STAKED
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SHRUBS				
CS	31	SUTSUGEKKA CAMELLIA <i>Camellia sasanqua</i> 'Sutsugekka'	36" HT.	FULL PLANTS MATCHING, 8' O.C.
CS2	12	RED TWIG DOGWOOD <i>Cornus sericea</i>	36" HT.	FULL PLANTS MATCHING, 8' O.C.
EA	10	BURNING BUSH <i>Euroyamnus alatus</i>	36" HT.	FULL PLANTS MATCHING, 8' O.C.
FG	46	DWARF FOTHERGILLA <i>Fothergilla gardenii</i> 'ML Airy'	24" HT.	FULL PLANTS MATCHING, 4' O.C.
GJ	62	KLEIM'S HARDY GARDENIA <i>Gardenia jasminoides</i> 'Kleim's Hardy'	18" HT.	FULL PLANTS MATCHING, 4' O.C.
IV2	19	YAUPOH HOLLY <i>Ilex vomitoria</i>	36" HT.	FULL PLANTS MATCHING, 8' O.C.
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JC	32	JUNIPER <i>Juniperus chinensis</i> 'Sea Green'	24" HT.	3 GAL. CONT., FULL AS SHOWN
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CE	60	YELLOW SEDGE <i>Carex flaccida</i> 'Evergold'	1-PT. CONT.	FULL PLANTS MATCHING 18" O.C.
JH	30	HORIZONTAL JUNIPER <i>Juniperus horizontalis</i> 'Wiltoni'	3-GAL. CONT.	5 GAL. CONT., FULL 5' O.C.
PV2	4	SHENANDOAH SWITCH GRASS <i>Panicum virgatum</i> 'Shenandoah'	6-ERL. CONT.	FULL PLANTS MATCHING, 3' O.C.
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SEED AND SOD				
NO-MOW SEED MIX (SEE DETAILS)				
SOD - SEE LANDSCAPE NOTES SHEET C07.12				

GRAPHIC SYMBOLS SUPERCEDE WRITTEN QUANTITIES WHERE DISCREPANCIES OCCUR.

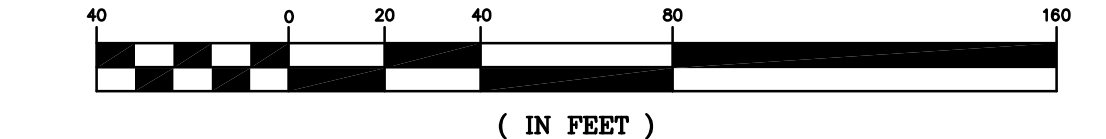
LANDSCAPE CALCULATIONS

STREET TREES	
STRIKLAND ROAD	= 824.02 LF - DRIVES = 706 LF
STREET TREES REQUIRED: 706LF/1 TREE 40' O.C. = 18 TREES (100% DEODUCOUS)	
STREET TREES PROVIDED: 18	
BAILEYWICK ROAD	= 954.41 LF
STREET TREES REQUIRED: 954.41 TREE 50' O.C. = 20 TREES (100% DEODUCOUS)	
STREET TREES PROVIDED: 20	
STREET PROTECTIVE YARDS	
TYPE 10' A2 TRANSITIONAL YARD (ABUTTING RESIDENTIAL ZONING)*	
*UNLESS REPLACED BY TCA	
REQUIRED PER 100 LF: 4 SHADE TREES, 4 UNDERSTORY AND 6.5' FENCE*	
50% EVERGREEN TREES	
*UNLESS REPLACED BY A 6' GRADE CHANGE IN ACCORDANCE WITH 7.2.4-5 OF THE CITY OF RALEIGH UDD	
ACCORDING TO SECTION 7.2.7-C-1-1 OF THE CITY OF RALEIGH UDD, NO TREE MAY PLANTING WITHIN 15' OR WITHIN THE CRITICAL ROOT ZONE OF AN EXISTING TREE (CRZ=DBH X 1.25')	
INTERIOR PARKING CALCULATIONS:	
117 SPACES X 162 SF PARKING AREA = 18,954 SF/2,000 = 10 TREES REQUIRED	
INTERIOR LANDSCAPE ISLANDS WITH TREES REQUIRED: 12 (117/10)	
INTERIOR LANDSCAPE ISLANDS WITH TREES PROVIDED: 17	
PARKING WITH STREET FRONTAGE MUST BE SCREENED WITH TYPE C3 AT STREET	
30 SHRUBS/100 LF	
SCREENING WALL VEGETATIVE SCREENING CALCULATIONS	
SCREEN WALL SURFACE AREA = 164 LF X 16'8" HT. = 2,734 SF/3 = 911 SF REQUIRED (AT MATURITY)	
PROVIDED: (7)CS @ 210 SF + (7)MG @ 840 SF + (2)JV2 @ 240 = 1,290 SF TOTAL SCREENED	

CITY OF RALEIGH LIGHTING NOTE

NOTE: PROPOSED PARKING LOT FIXTURES MUST MEET THE CLEARANCE REQUIREMENTS OF UDD SECTION 7.1.7.G.1. LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20 FEET FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.

GRAPHIC SCALE



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LIC: C-109
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MOSELEY ARCHITECTS
3000 RDU CENTER DRIVE, SUITE 517, MORRISVILLE, NORTH CAROLINA 27560
PHONE: (919) 640-0091 FAX: (919) 640-0065
MOSELEYARCHITECTS.COM

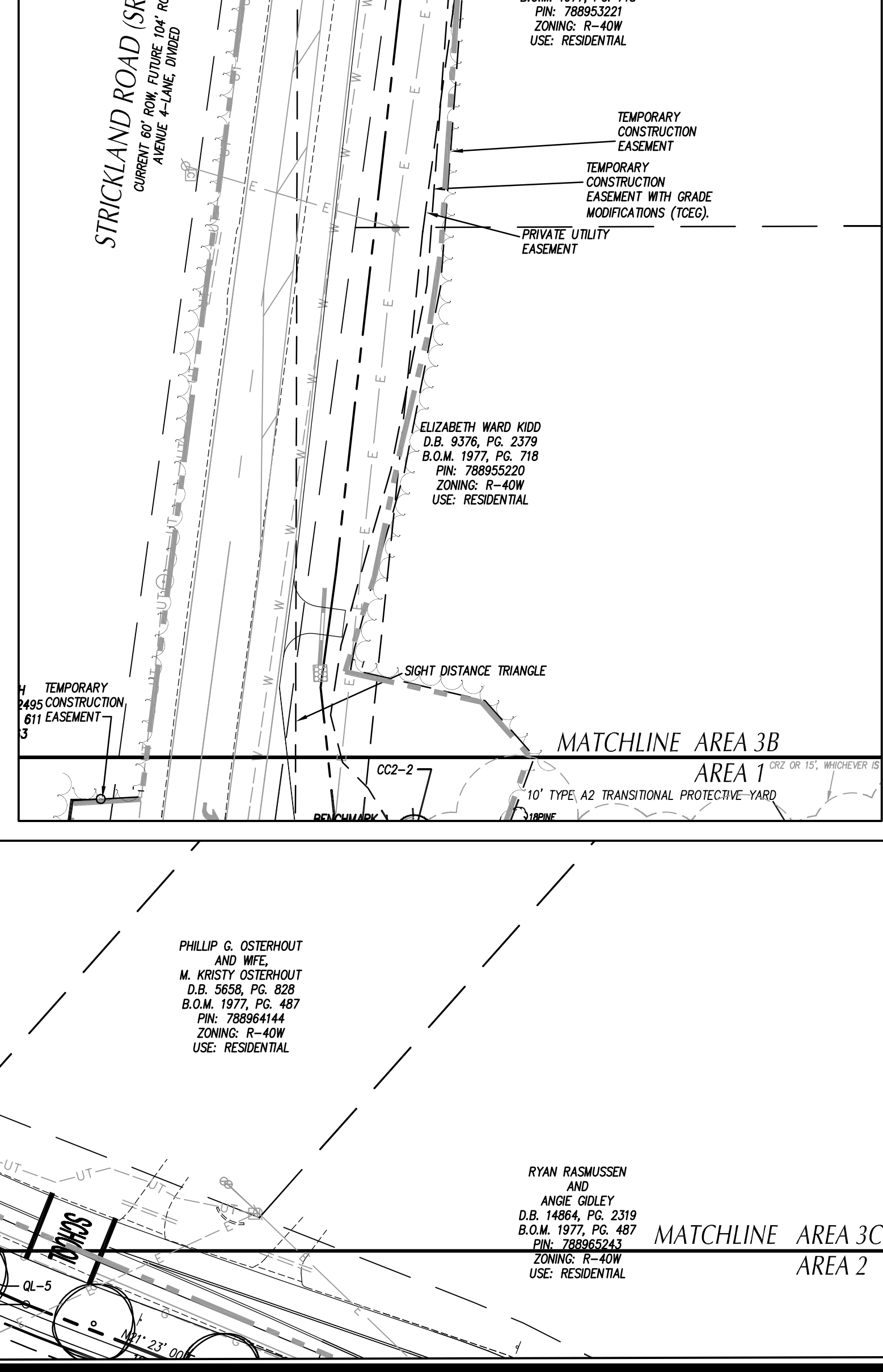
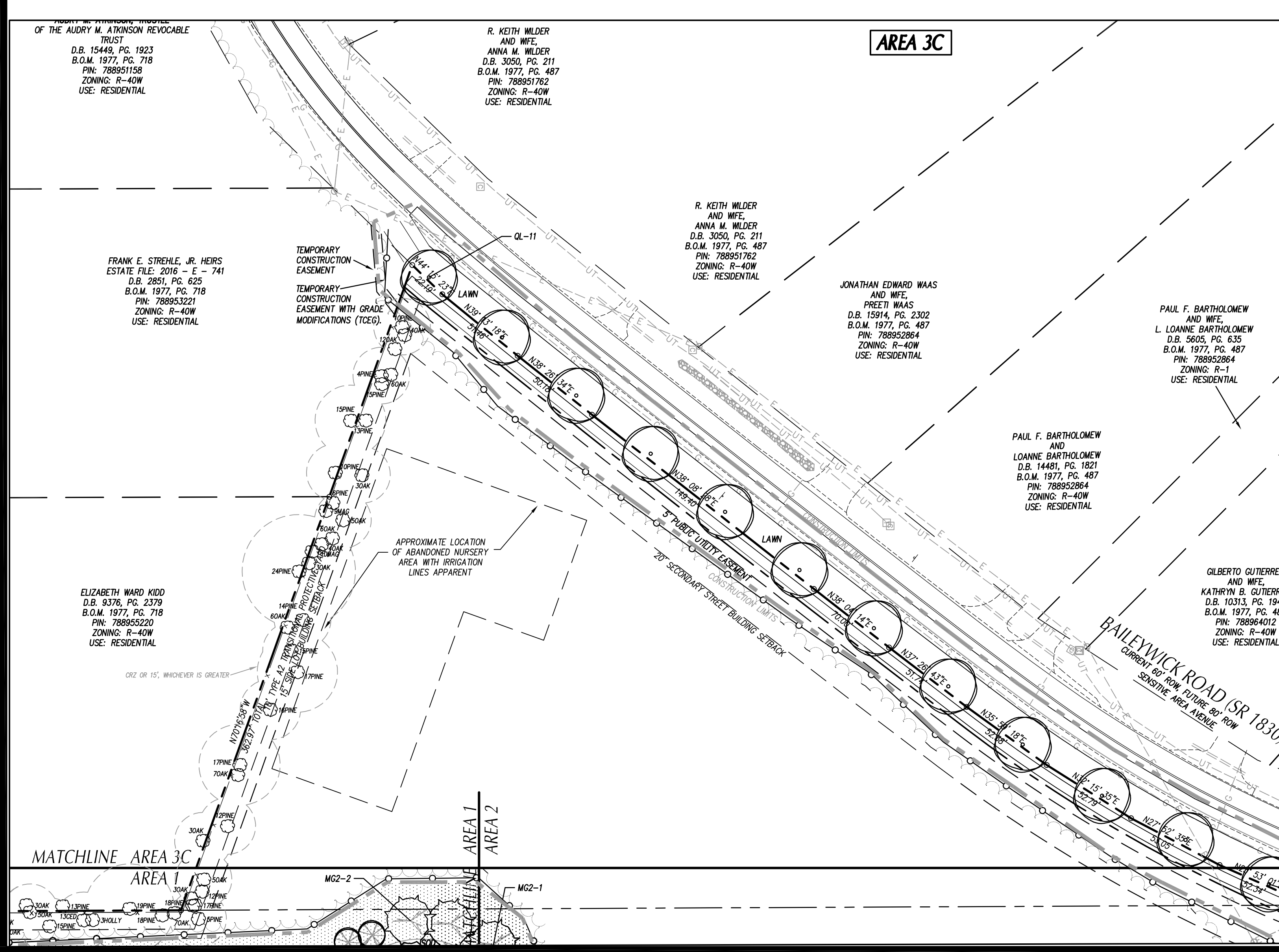
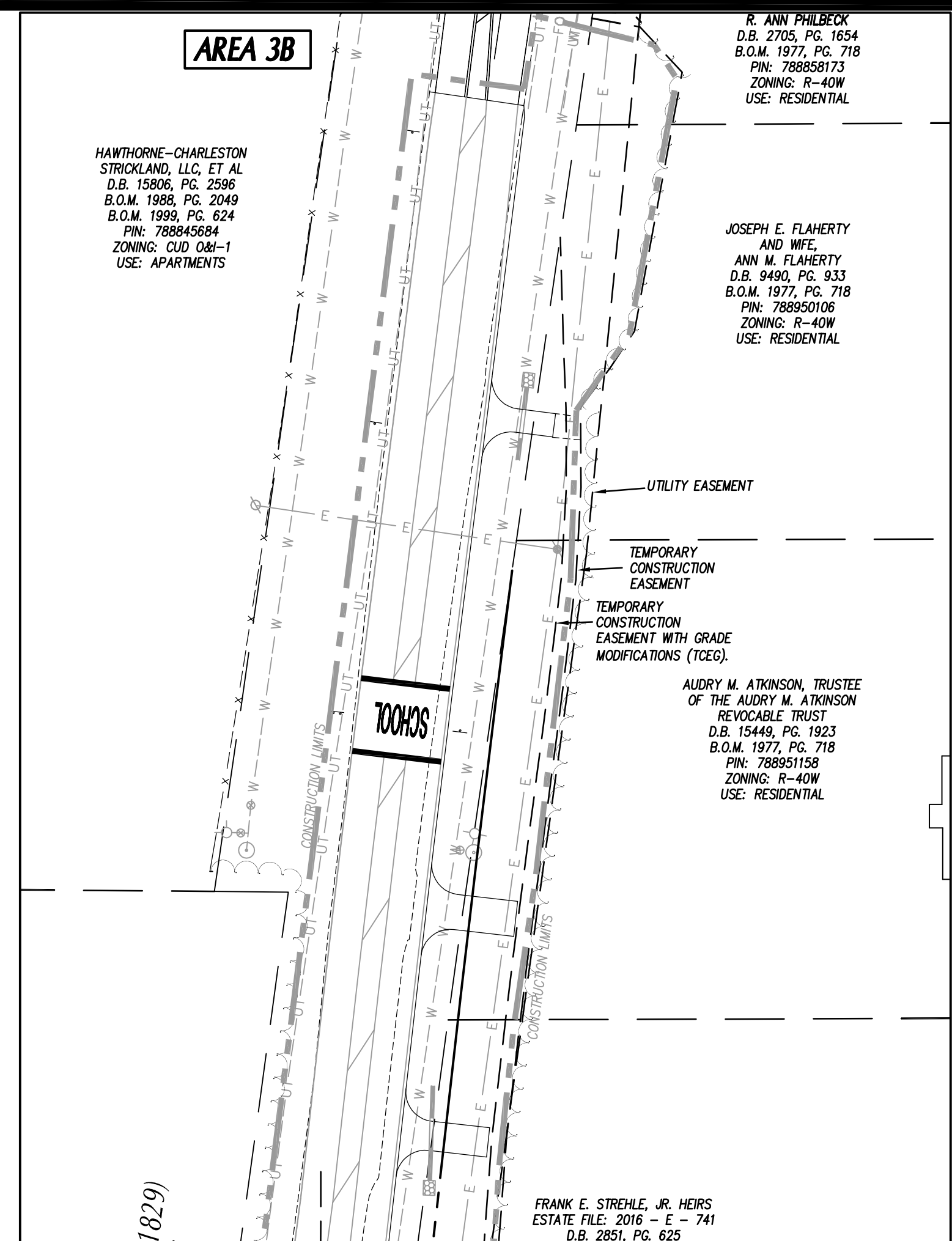
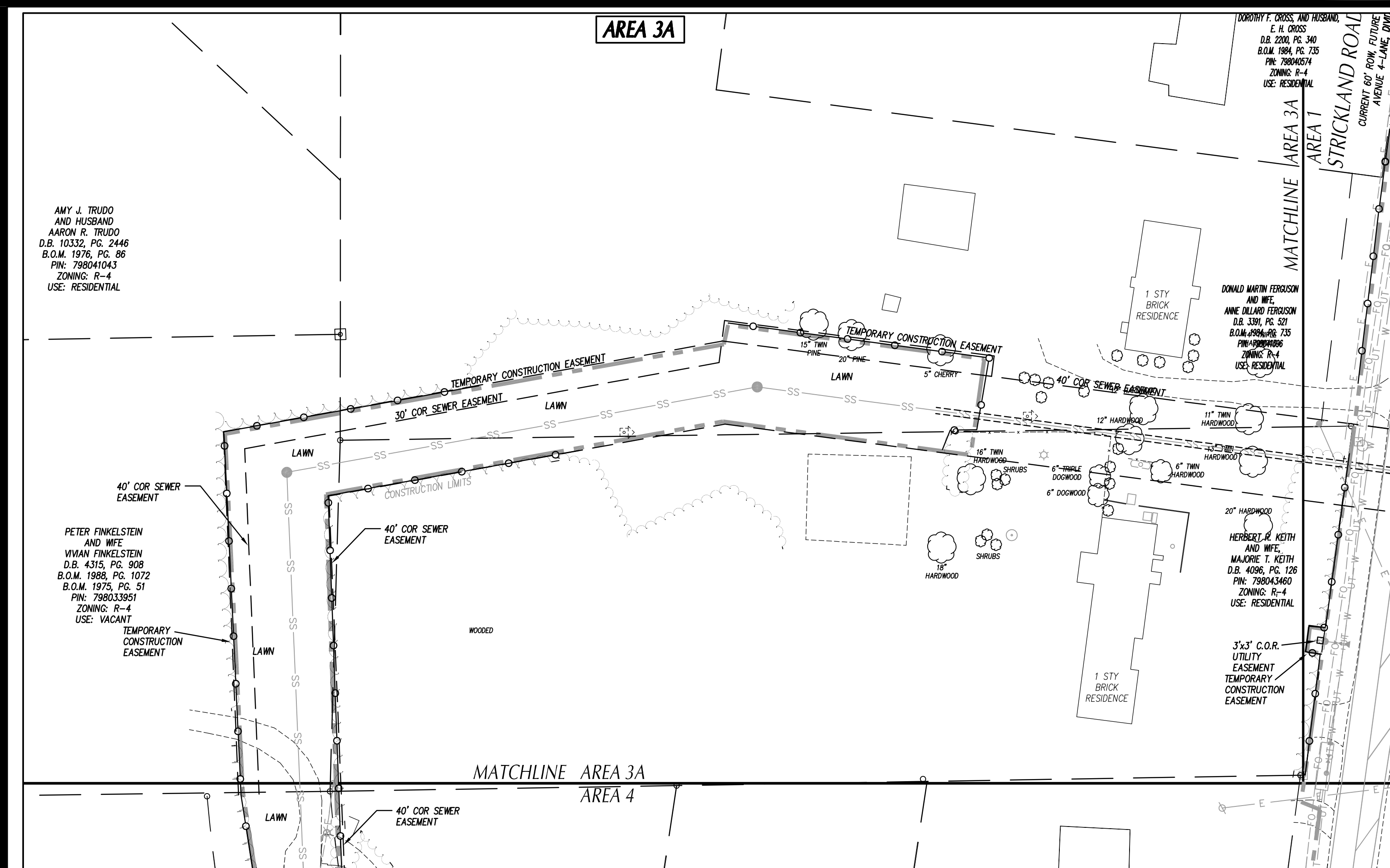
PERMIT / BID

E-24 ELEMENTARY PROTOTYPE
Wake County Public School System
RALEIGH, NC

PROJECT NO.	DATE
	16 FEBRUARY 2018
REVISIONS	
DATE	DESCRIPTION

LANDSCAPE PLAN
AREA 2

C06.02



GENERAL LANDSCAPE NOTES

SEE DETAIL SHEET C07.12 FOR GENERAL LANDSCAPE NOTES, DETAILS, AND OTHER INFORMATION.

PLANT SCHEDULE				
KEY	QTY	PLANT NAME	MIN. SIZE	REMARKS
TREES (CANOPY, UNDERSTORY AND EVERGREEN)				
BN	10	RIVER BIRCH <i>Betula nigra</i> 'Dura Heat'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
CC	12	REDBUD <i>Cercis canadensis</i> 'Forest Pansy'	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
CK	10	KOUSA DOGWOOD <i>Cornus kousa</i> 'National'	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
GB	10	'AUTUMN GOLD' GINKGO <i>Ginkgo biloba</i> 'Autumn Gold'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
GT	16	THORNLESS HONEY LOCUST <i>Gleditsia inopurpurea</i> var. <i>inermis</i> 'Shademaster'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
JV	3	EASTERN RED CEDAR <i>Juniperus virginiana</i>	3" CAL 10' HT.	STRAIGHT TRUNK FULL TO GROUND
LO	8	LIVE OAK <i>Quercus virginiana</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
MG	16	ALTA UPRIGHT SOUTHERN MAGNOLIA <i>Magnolia grandiflora</i> 'Alta'	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
MG2	13	BRACKEN'S BROWN BEAUTY MAGNOLIA <i>Magnolia grandiflora</i> 'Bracken's Brown Beauty'	3" CAL 10' HT.	B&B STRAIGHT TRUNK MATCHED SPECIMENS
NS	17	BLACK GUM <i>Nyssa sylvatica</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
PT	23	LOBLOLLY PINE <i>Pinus taeda</i>	8' HT.	B&B, STRAIGHT TRUNK LOOSELY STAKED
PTS	497	LOBLOLLY PINE <i>Pinus taeda</i>	14 INCHES HT. BARE ROOT, 10' GRID	STRAIGHT TRUNK
PV	13	VIRGINIA PINE <i>Pinus virginiana</i>	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK LOOSELY STAKED
QV	15	NUTTALL OAK <i>Quercus nuttallii</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
QL	32	OVERCUP OAK <i>Quercus lyrata</i> 'Highbeam'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
TD	8	BAUD CYPRESS <i>Taxodium distichum</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
ZS	12	GREEN ZELKOVA <i>Zelkova serrata</i> 'Village Green'	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
SHRUBS				
CS	31	SUTSUGOKA CAMELLIA <i>Camellia sasanqua</i> 'Sutsugoka'	36" HT.	FULL PLANTS MATCHING, 8' O.C.
CS2	12	RED TWIG DOGWOOD <i>Cornus sericea</i>	36" HT.	FULL PLANTS MATCHING, 8' O.C.
EA	10	BURNING BUSH <i>Eucalyptus alatus</i>	36" HT.	FULL PLANTS MATCHING, 8' O.C.
FG	46	DWARF FOTHERGILLA <i>Fothergilla gardenii</i> 'M. Airy'	24" HT.	FULL PLANTS MATCHING, 4' O.C.
GJ	62	KLEIM'S HARDY GARDENIA <i>Gardenia jasminoides</i> 'Klein's Hardy'	18" HT.	FULL PLANTS MATCHING, 4' O.C.
IV2	19	YAUPOH HOLLY <i>Ilex vomitoria</i>	36" HT.	FULL PLANTS MATCHING, 8' O.C.
IV	64	DWARF YAUPOH HOLLY <i>Ilex vomitoria</i> 'Nana'	18" HT.	FULL PLANTS MATCHING, 3' O.C.
JC	32	JUNIPER <i>Juniperus chinensis</i> 'Sea Green'	24" HT.	3 GAL. CONT., FULL AS SHOWN
JS	6	BLUE STAR JUNIPER <i>Juniperus squarrosa</i> 'Blue Star'	18" HT.	FULL PLANTS MATCHING, 8' O.C.
LC	118	CHINESE FRINGE FLOWER <i>Loropetalum chinense</i> 'Ruby'	24" HT.	FULL PLANTS MATCHING, 5' O.C.
LC2	5	DWARF CHINESE FRINGE FLOWER <i>Loropetalum chinense</i> 'PURPLE PIXIE'	18" HT.	FULL PLANTS MATCHING, 5' O.C.
MC	27	WAX MYRTLE <i>Myrica cerifera</i>	18" HT.	FULL PLANTS MATCHING, 5' O.C.
PL	32	CHERRY LAUREL <i>Prunus laurocerasus</i> 'Otto Luyken'	24" HT.	5 GAL. CONT., FULL 5' O.C.
RO	27	ROSEMARY <i>Rosmarinus officinalis</i> 'Arp'	18" HT.	FULL PLANTS MATCHING, 4' O.C.
PERENNIALS AND GROUNDCOVERS				
CE	60	YELLOW SEDGE <i>Carex oshimensis</i> 'Evergold'	1-PT. CONT.	FULL PLANTS MATCHING, 18" O.C.
JH	30	HORIZONTAL JUNIPER <i>Juniperus horizontalis</i> 'Wiltoni'	3-GAL. CONT.	5 GAL. CONT., FULL 5' O.C.
PV2	4	SHENANDOAH SWITCH GRASS <i>Panicum virgatum</i> 'Shenandoah'	6-B&B CONT.	FULL PLANTS MATCHING, 3' O.C.
PV3	21	RUBY RIBBONS SWITCHGRASS <i>Panicum virgatum</i> 'Ruby Ribbons'	3-GAL. CONT.	FULL PLANTS MATCHING, 3' O.C.
RF	40	BLACK EYED SUSAN <i>Rudbeckia fulgida</i> 'Goldsturm'	1-PT. CONT.	FULL PLANTS MATCHING, 18" O.C.
SEED AND SOD				
NO-MOW SEED MIX (SEE DETAILS)				
SOD - SEE LANDSCAPE NOTES SHEET C07.12				

LANDSCAPE CALCULATIONS

STREET TREES
 STRICKLAND ROAD = 824.02 LF - DRIVES = 706 LF
 STREET TREES REQUIRED: 706LF/1 TREE 40' O.C. = 18 TREES (100% DECIDUOUS)
 STREET TREES PROVIDED: 18

BAILEY WICK ROAD
 STREET TREES REQUIRED: 954.1 TREE 50' O.C. = 20 TREES (100% DECIDUOUS)
 STREET TREES PROVIDED: 20

STREET PROTECTIVE YARDS
 TYPE 10' A2 TRANSITIONAL YARD (ABUTTING RESIDENTIAL ZONING)*
 *UNLESS REPLACED BY TCA
 REQUIRED PER 100 LF: 4 SHADE TREES, 4 UNDERSTORY AND 6.5' FENCE*
 50% EVERGREEN TREES
 *UNLESS REPLACED BY A 6' GRADE CHANGE IN ACCORDANCE WITH 7.2.4-5 OF THE CITY OF RALEIGH UDD
 ACCORDING TO SECTION 7.2.7-C-1-1-d OF THE CITY OF RALEIGH UDD, NO TREE MAY PLANTING WITHIN 15' OR WITHIN THE CRITICAL ROOT ZONE OF AN EXISTING TREE (CRZ=DBH X 125)

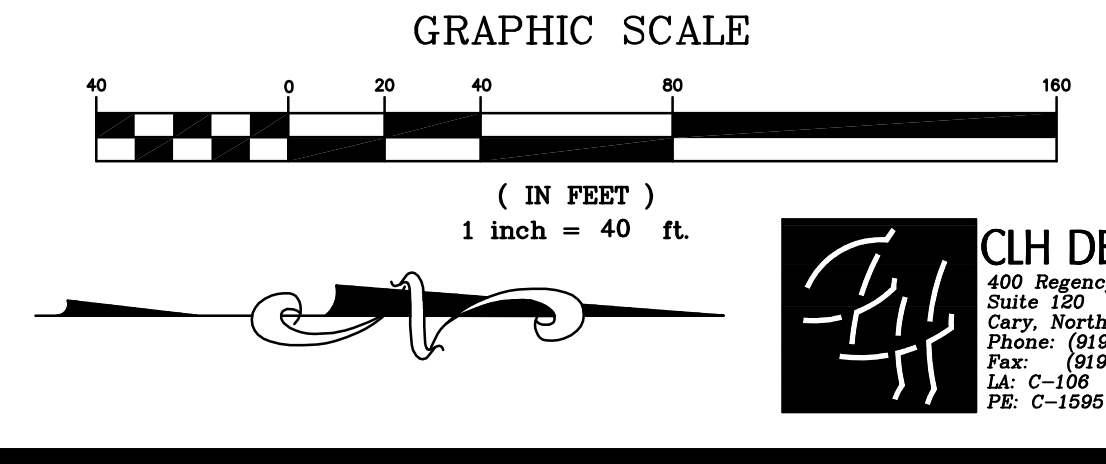
INTERIOR PARKING CALCULATIONS:
 117 SPACES X 162 SF PARKING AREA = 18,954 SF/2,000 = 10 TREES REQUIRED
 INTERIOR LANDSCAPE ISLANDS WITH TREES REQUIRED: 12 (117/10)
 INTERIOR LANDSCAPE ISLANDS WITH TREES PROVIDED: 17

PARKING WITH STREET FRONTAGE MUST BE SCREENED WITH TYPE C3 AT STREET
 30 SHRUBS/100 LF

SCREENING WALL VEGETATIVE SCREENING CALCULATIONS
 SCREEN WALL SURFACE AREA = 164 LF X 16'8" HT. = 2,734 SF/3 = 911 SF REQUIRED (AT MATURITY)
 PROVIDED: (7)CS @ 210 SF + (2)JMG @ 840 SF + (2)JV2 @ 240 = 1,290 SF TOTAL SCREENED

CITY OF RALEIGH LIGHTING NOTE

NOTE: PROPOSED PARKING LOT FIXTURES MUST MEET THE CLEARANCE REQUIREMENTS OF UDD SECTION 7.1.7.G.1. LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20 FEET FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.



PROJECT NO.	DATE:
	16 FEBRUARY 2018
REVISIONS	
DATE	DESCRIPTION



GENERAL LANDSCAPE NOTES

SEE DETAIL SHEET C07.12 FOR GENERAL LANDSCAPE NOTES, DETAILS, AND OTHER INFORMATION.

PLANT SCHEDULE

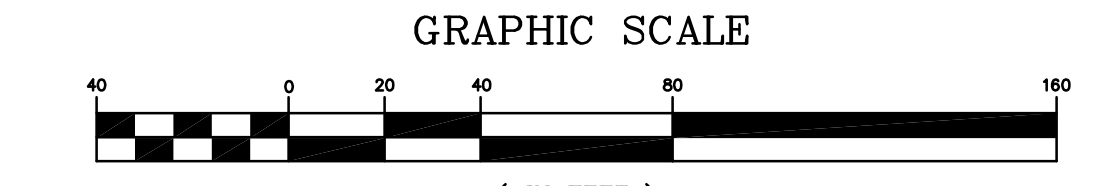
KEY	QTY	PLANT NAME	MIN. SIZE	REMARKS
TREES (CANOPY, UNDERSTORY AND EVERGREEN)				
BN	10	RIVER BIRCH <i>Betula nigra 'Dura Heat'</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
CC	12	REDBUD <i>Cercis canadensis 'Forest Pansy'</i>	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
CK	10	KOUSA DOGWOOD <i>Cornus kousa 'National'</i>	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
GB	10	'AUTUMN GOLD' GINKGO <i>Ginkgo biloba 'Autumn Gold'</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
GT	16	THORNLESS HONEY LOCUST <i>Quercus ligustrina 'var. ilex' 'Shademaster'</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
JV	3	EASTERN RED CEDAR <i>Juniperus virginiana</i>	3" CAL 10' HT.	STRAIGHT TRUNK FULL TO GROUND
LO	8	LIVE OAK <i>Quercus virginiana</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
MG	16	ALTA UPRIGHT SOUTHERN MAGNOLIA <i>Magnolia grandiflora 'Alta'</i>	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK FULL CROWN
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PT	23	LOBLOLLY PINE <i>Pinus taeda</i>	8' HT.	B&B, STRAIGHT TRUNK LOOSELY STAKED
PTS	497	LOBLOLLY PINE <i>Pinus taeda</i>	14 INCHES HT. BARE ROOT, 10' GRID	STRAIGHT TRUNK
PV	137	VIRGINIA PINE <i>Pinus virginiana</i>	1-1/2" CAL 6' HT.	B&B, STRAIGHT TRUNK LOOSELY STAKED
QV	15	NUTTALL OAK <i>Quercus nuttallii</i>	3" CAL 10' HT.	B&B, STRAIGHT TRUNK FULL CROWN
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SHRUBS				
CS	31	SUTSUGEKKA CAMELLIA <i>Cornelia sasanqua 'Sutsugekka'</i>	36" HT.	FULL PLANTS MATCHING, 8' O.C.
CS2	12	RED TWIG DOGWOOD <i>Cornus sericea</i>	36" HT.	FULL PLANTS 8' O.C.
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FG	46	DWARF FOTHERGILLA <i>Fothergilla gardenii 'M. Airy'</i>	24" HT.	FULL PLANTS MATCHING, 4' O.C.
GJ	62	KLEIM'S HARDY GARDENIA <i>Gardenia jasminoides 'Klein's Hardy'</i>	18" HT.	FULL PLANTS MATCHING, 4' O.C.
IV2	19	YAUPOH HOLLY <i>Ilex vomitoria</i>	36" HT.	FULL PLANTS MATCHING, 8' O.C.
IV	64	DWARF YAUPOH HOLLY <i>Ilex vomitoria 'Nana'</i>	18" HT.	FULL PLANTS MATCHING, 3' O.C.
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MC	27	WAX MYRTLE <i>Myrica caroliniana</i>	18" HT.	FULL PLANTS MATCHING, 5' O.C.
PL	32	CHERRY LAUREL <i>Prunus laurocerasus 'Otto Luyken'</i>	24" HT.	5 GAL. CONT., FULL 5' O.C.
RO	27	ROSEMARY <i>Rosmarinus officinalis 'Arp'</i>	18" HT.	FULL PLANTS MATCHING, 4' O.C.
PERENNIALS AND GROUNDCOVERS				
CE	60	YELLOW SEDGE <i>Carex oshimensis 'Evergold'</i>	1-PT. CONT.	FULL PLANTS MATCHING, 18" O.C.
JH	30	HORIZONTAL JUNIPER <i>Juniperus horizontalis 'Wiltoni'</i>	3-GAL. CONT.	5 GAL. CONT., FULL 5' O.C.
PV2	4	SHENANDOAH SWITCH GRASS <i>Panicum virgatum 'Shenandoah'</i>	6-GAL. CONT.	FULL PLANTS MATCHING, 3' O.C.
PV3	21	RUBY RIBBONS SWITCHGRASS <i>Panicum virgatum 'Ruby Ribbons'</i>	3-GAL. CONT.	FULL PLANTS MATCHING, 3' O.C.
RF	40	BLACK EYED SUSAN <i>Rudbeckia fulgida 'Goldsturm'</i>	1-PT. CONT.	FULL PLANTS MATCHING, 18" O.C.
SEED AND SOIL				
NO-MOW SEED MIX (SEE DETAILS)				
SOD - SEE LANDSCAPE NOTES SHEET C07.12				

LANDSCAPE CALCULATIONS

STREET TREES	
STRIKLAND ROAD	= 824.02 LF - DRIVES = 706 LF
STREET TREES REQUIRED: 706LF/1 TREE 40' O.C. = 18 TREES (100% DECIDUOUS)	
STREET TREES PROVIDED: 18	
BAILEYMOCK ROAD	
STREET TREES REQUIRED: 954.41 TREE 50' O.C. = 20 TREES (100% DECIDUOUS)	
STREET TREES PROVIDED: 20	
STREET PROTECTIVE YARDS	
TYPE 10' A2 TRANSITIONAL YARD (ABUTTING RESIDENTIAL ZONING)*	
*UNLESS REPLACED BY TCA	
REQUIRED PER 100 LF: 4 SHADE TREES, 4 UNDERSTORY AND 6.5' FENCE*	
50% EVERGREEN TREES	
*UNLESS REPLACED BY A 6' GRADE CHANGE IN ACCORDANCE WITH 7.2.4-5 OF THE CITY OF RALEIGH UDO	
ACCORDING TO SECTION 7.2.7-C-1-1-J OF THE CITY OF RALEIGH UDO, NO TREE MAY PLANTING WITHIN 15' OR WITHIN THE CRITICAL ROOT ZONE OF AN EXISTING TREE (CRZ=DBH X 1.25')	
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INTERIOR LANDSCAPE ISLANDS WITH TREES REQUIRED: 12 (117/10)	
INTERIOR LANDSCAPE ISLANDS WITH TREES PROVIDED: 17	
PARKING WITH STREET FRONTAGE MUST BE SCREENED WITH TYPE C3 AT STREET	
30 SHRUBS/100 LF	
SCREENING WALL VEGETATIVE SCREENING CALCULATIONS	
SCREEN WALL SURFACE AREA = 164 LF X 16'8" HT. = 2,734 SF/3 = 911 SF REQUIRED (AT MATURITY)	
PROVIDED: (7)CS @ 210 SF + (7)MG @ 840 SF + (2)JV2 @ 240 = 1,290 SF TOTAL SCREENED	

CITY OF RALEIGH LIGHTING NOTE

NOTE: PROPOSED PARKING LOT FIXTURES MUST MEET THE CLEARANCE REQUIREMENTS OF UDO SECTION 7.1.7.G.1. LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20 FEET FROM A TREE, MEASURED FROM THE POLE OF THE LIGHTING FIXTURE TO THE TRUNK OF THE TREE.



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 Fax: (919) 319-7616
 Lic. C-109
 PR: C-1695

PERMIT / BID

E-24 ELEMENTARY PROTOTYPE
 Wake County Public School System
 RALEIGH, NC

PROJECT NO.	DATE:
	16 FEBRUARY 2018
REVISIONS	
DATE	DESCRIPTION

LANDSCAPE PLAN
 AREA 4

C06.04

**PROGRESS
 PRINT NOT FOR
 CONSTRUCTION**

**100%
 CONSTRUCTION
 DOCUMENTS**

100% CD SET

E-24 ELEMENTARY PROTOTYPE

Wake County Public School System
 RALEIGH, NC

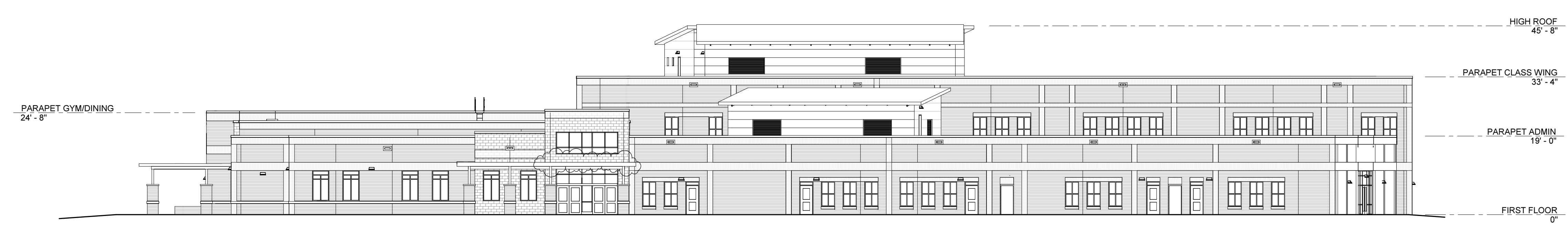
PROJECT NO.	DATE
561080	18 OCTOBER 2017
REVISIONS	
DATE	DESCRIPTION
00-00-00	

**OVERALL
 BUILDING
 ELEVATIONS**

A04.00



4 ELEVATION - WEST
 A02.01 A04.00 1/16" = 1'-0"



3 ELEVATION - SOUTH
 A02.01 A04.00 1/16" = 1'-0"



2 ELEVATION - EAST
 A02.01 A04.00 1/16" = 1'-0"



1 ELEVATION - NORTH
 A02.01 A04.00 1/16" = 1'-0"

**PROGRESS
 PRINT NOT FOR
 CONSTRUCTION**

**100%
 CONSTRUCTION
 DOCUMENTS**

100% CD SET

E-24 ELEMENTARY PROTOTYPE

Wake County Public School System
 RALEIGH, NC

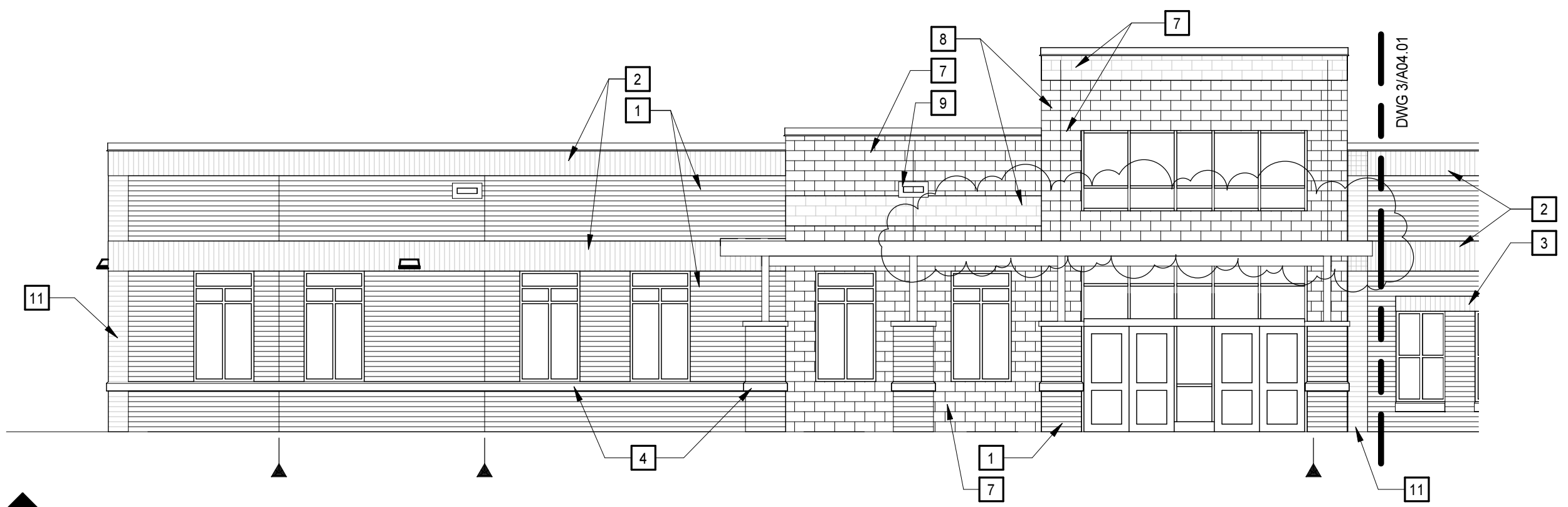
PROJECT NO.	DATE
561080	18 OCTOBER 2017
REVISIONS	DESCRIPTION
DATE	DESCRIPTION
00-00-00	

**EXTERIOR
 BUILDING
 ELEVATIONS**

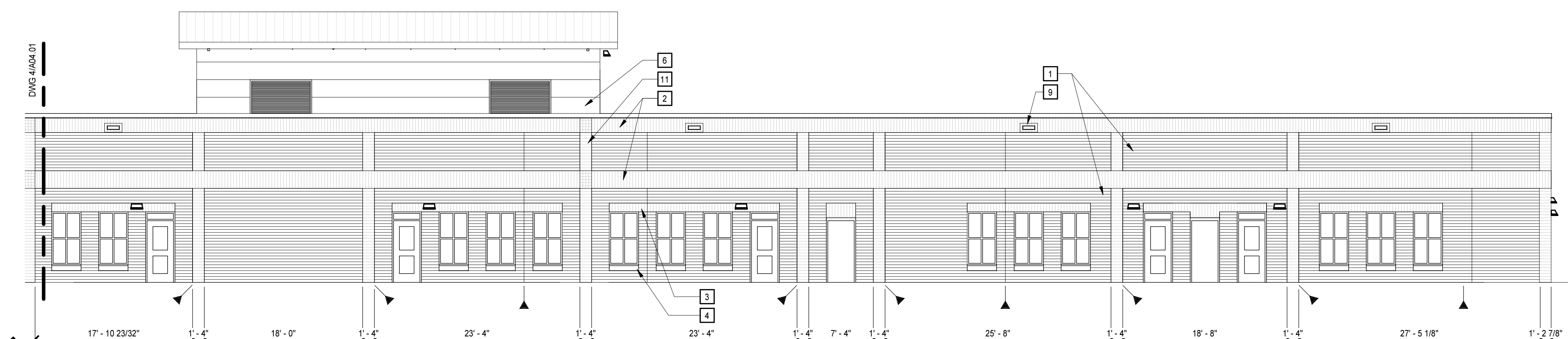
A04.01

ELEVATION KEYNOTES
 APPLIES TO DRAWINGS A04.01 - A04.05
 REPRESENTED BY [Symbol]

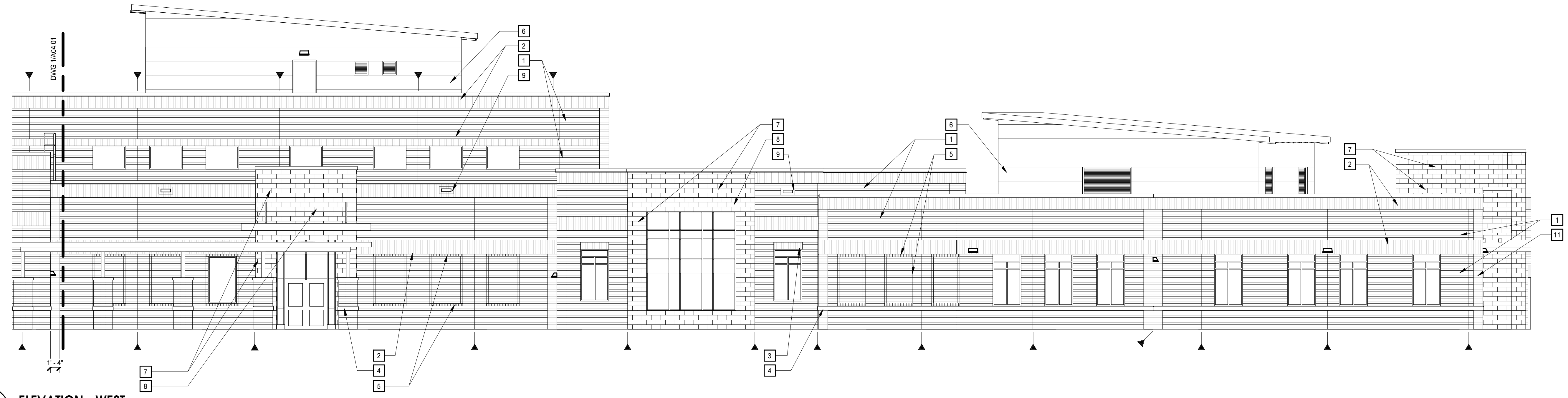
- FACE BRICK COLOR 1 - RUNNING BOND 1/3
- DOUBLE BRICK SOLDIER COURSE, FACE BRICK COLOR 2 - OFFSET 1/4"
- SINGLE BRICK SOLDIER COURSE, FACE BRICK COLOR 2
- ARCHITECTURAL PRECAST CONCRETE SILL
- BRICK ROWLOCK COURSE, FACE BRICK COLOR 2
- ALUMINUM WALL PANEL SYSTEM
- POLISHED CMU, COLOR 1
- POLISHED CMU, COLOR 2
- SECONDARY OVERFLOW SCUPPER
- NOT USED
- FACE BRICK COLOR 2 - OFFSET 1/4", REFER TO 11A02.13
- ACCENT PAINT BAND - CONTINUE AROUND PERIMETER OF SPACE
- 18'-0" L x 8'-0" H MARKER WALL PANEL
- 4'-0" L x 6'-0" H MARKERBOARD
- TV MONITOR (NIC)
- GATE



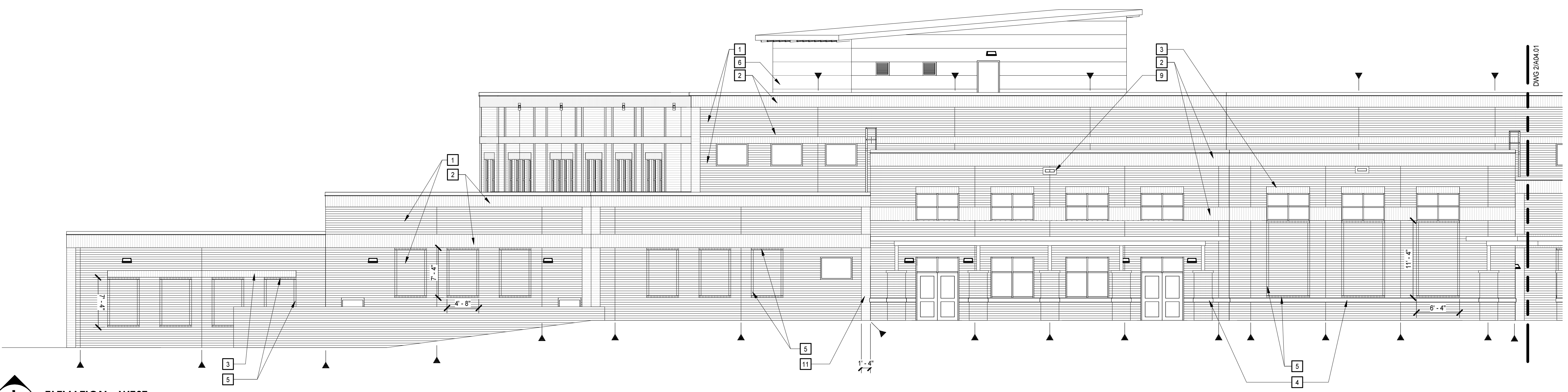
4 ELEVATION - SOUTH
 A02.03 A04.01 1/8" = 1'-0"



3 ELEVATION - SOUTH
 A02.05 A04.01 1/8" = 1'-0"



2 ELEVATION - WEST
 A02.03 A04.01 1/8" = 1'-0"

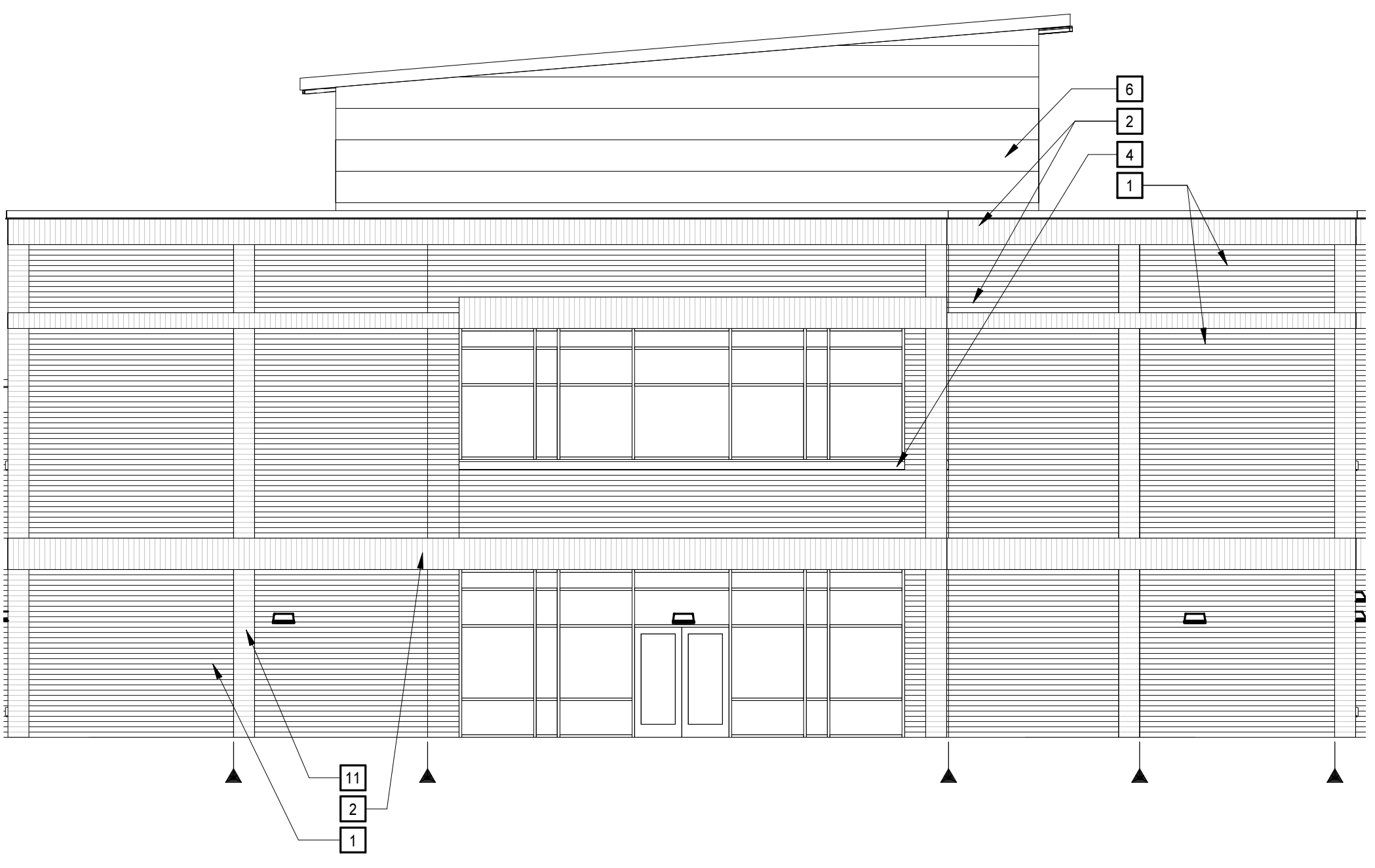


1 ELEVATION - WEST
 A02.04 A04.01 1/8" = 1'-0"

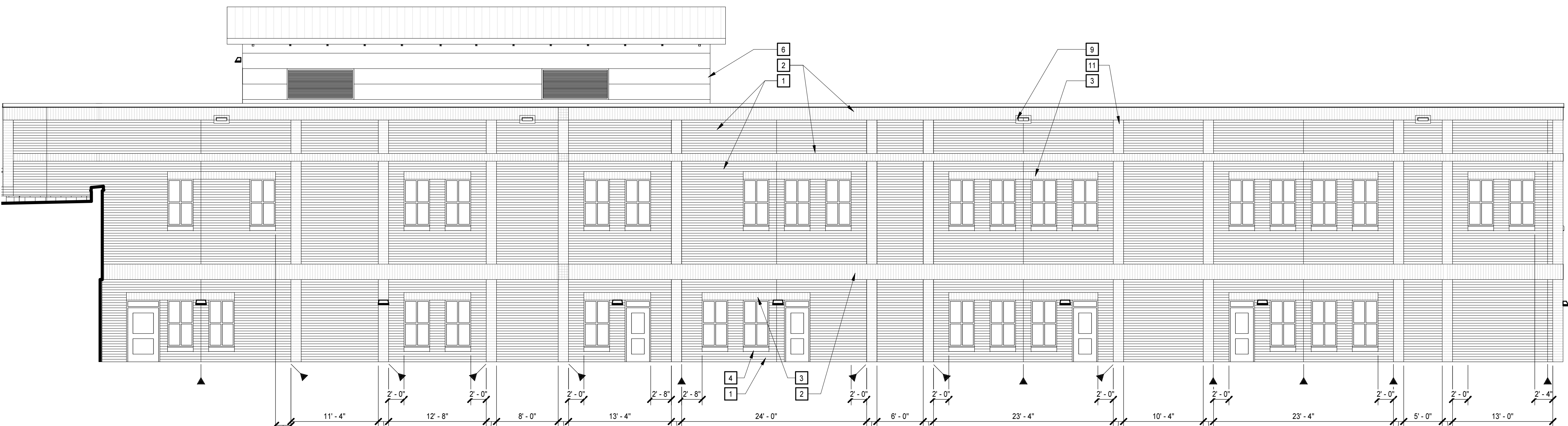
ELEVATION KEYNOTES	
APPLIES TO DRAWINGS A04.01 - A04.05	
REPRESENTED BY	
1.	FACE BRICK COLOR 1 - RUNNING BOND 1/3
2.	DOUBLE BRICK SOLDIER COURSE, FACE BRICK COLOR 2 - OFFSET 1/4"
3.	SINGLE BRICK SOLDIER COURSE, FACE BRICK COLOR 2
4.	ARCHITECTURAL PRECAST CONCRETE SILL
5.	BRICK ROWLOCK COURSE, FACE BRICK COLOR 2
6.	ALUMINUM WALL PANEL SYSTEM
7.	POLISHED CMU, COLOR 1
8.	POLISHED CMU, COLOR 2
9.	SECONDARY OVERFLOW SCUPPER
10.	NOT USED
11.	FACE BRICK COLOR 2 - OFFSET 1/4", REFER TO 11A02.13
12.	ACCENT PAINT BAND - CONTINUE AROUND PERIMETER OF SPACE
13.	18'-0" L x 8'-0" H MARKER WALL PANEL
14.	4'-0" L x 8'-0" H MARKERBOARD
15.	TV MONITOR (NIC)
16.	GATE



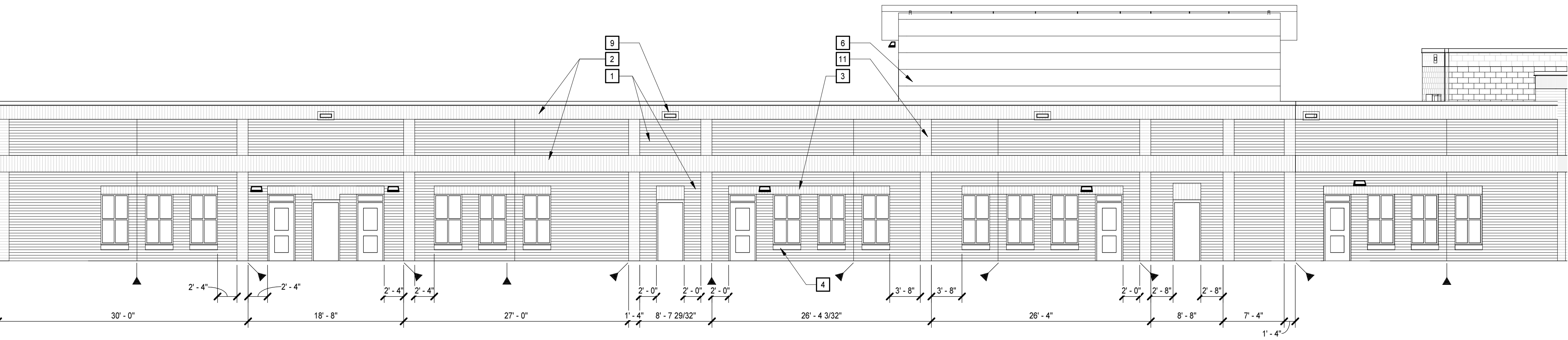
5 ELEVATION - NORTH
 A02.06/A04.02 1/8" = 1'-0"



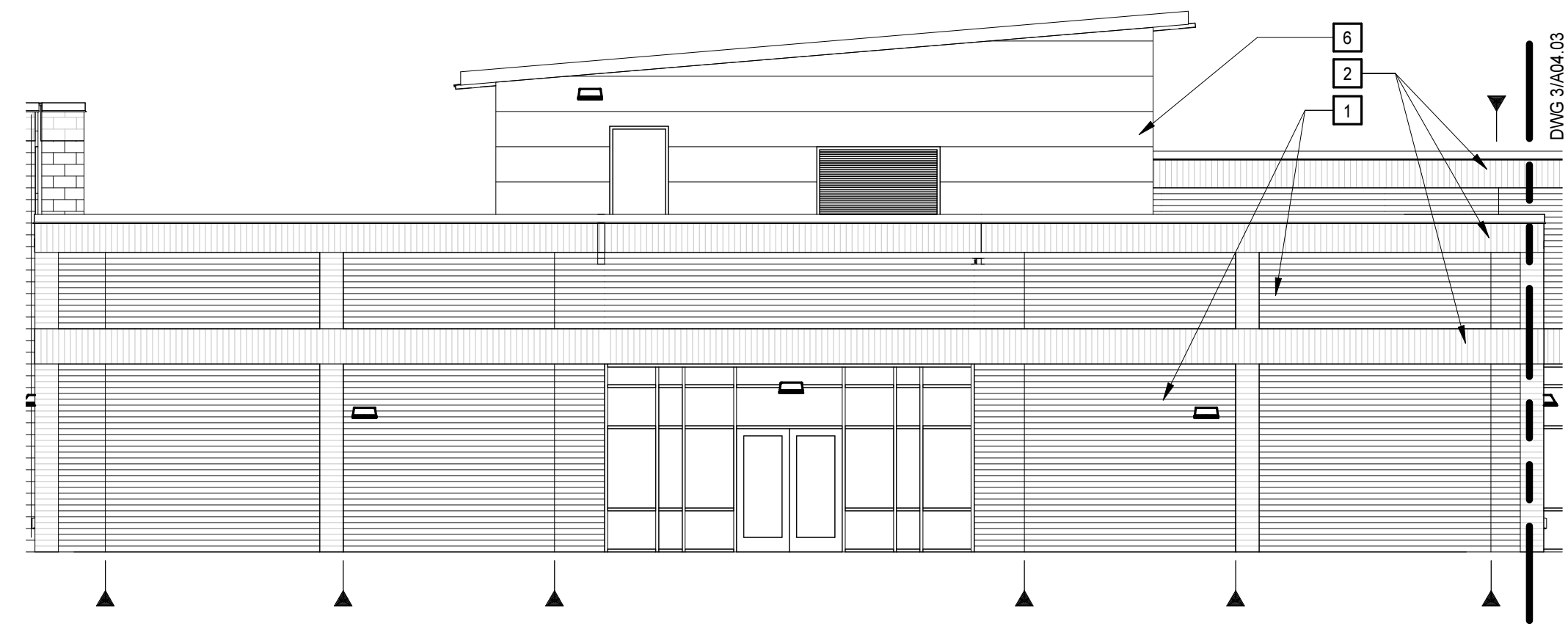
4 ELEVATION - EAST
 A02.06/A04.02 1/8" = 1'-0"



3 ELEVATION - SOUTH
 A02.06/A04.02 1/8" = 1'-0"



2 ELEVATION - NORTH
 A02.05/A04.02 1/8" = 1'-0"



1 ELEVATION - EAST
 A02.05/A04.02 1/8" = 1'-0"

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 CONSTRUCTION
 DOCUMENTS**

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E-24 ELEMENTARY PROTOTYPE

Wake County Public School System
 RALEIGH, NC

PROJECT NO.	DATE
561080	18 OCTOBER 2017
REVISIONS	
DATE	DESCRIPTION

**EXTERIOR
 BUILDING
 ELEVATIONS**

A04.02

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 DOCUMENTS**

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E-24 ELEMENTARY PROTOTYPE
 Wake County Public School System
 RALEIGH, NC

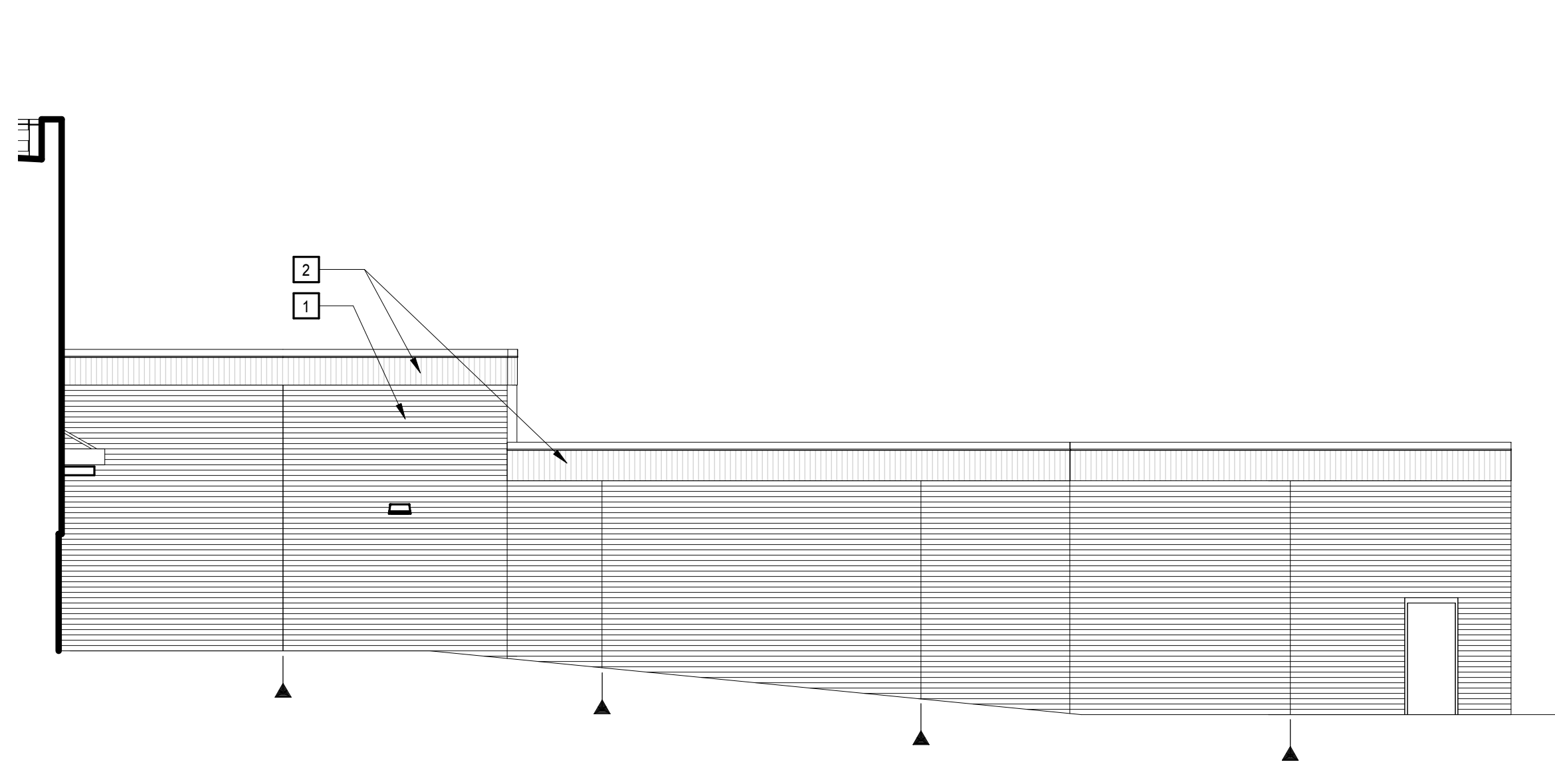
PROJECT NO.	DATE
561080	06 DECEMBER 2017
REVISIONS	DESCRIPTION
DATE	DESCRIPTION
00-00-00	

**EXTERIOR
 BUILDING
 ELEVATIONS**

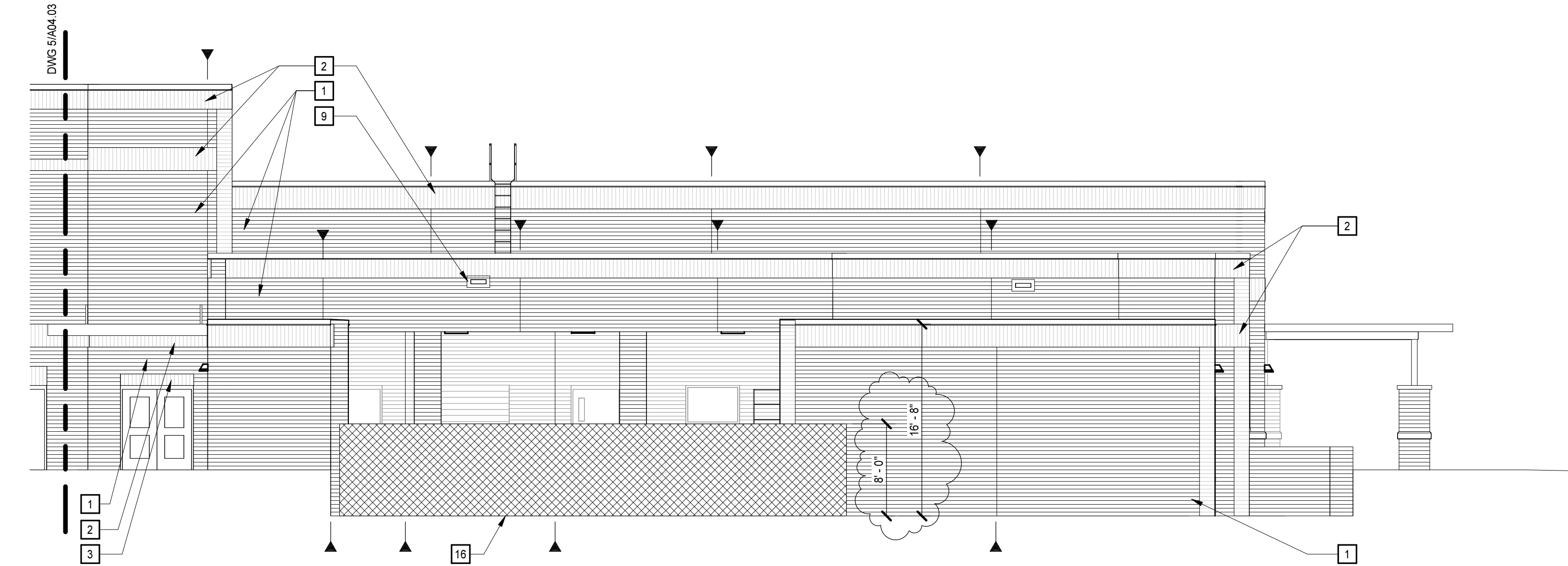
A04.03

ELEVATION KEYNOTES
 APPLIES TO DRAWINGS A04.01 - A04.05
 REPRESENTED BY [Symbol]

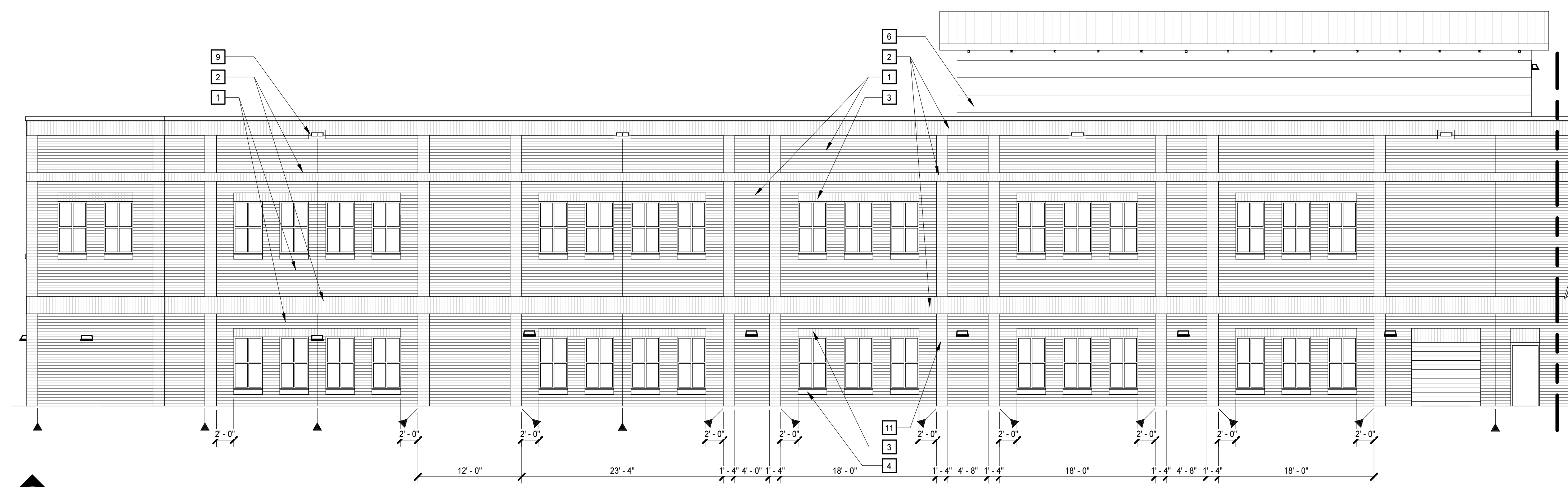
- FACE BRICK COLOR 1 - RUNNING BOND 1/3
- DOUBLE BRICK SOLDIER COURSE, FACE BRICK COLOR 2 - OFFSET 1/4"
- SINGLE BRICK SOLDIER COURSE, FACE BRICK COLOR 2
- ARCHITECTURAL PRECAST CONCRETE SILL
- BRICK ROWLOCK COURSE, FACE BRICK COLOR 2
- ALUMINUM WALL PANEL SYSTEM
- POLISHED CMU, COLOR 1
- POLISHED CMU, COLOR 2
- SECONDARY OVERFLOW SCUPPER
- 16" H X 2" D BOTTOM RAIL-MOUNTED CAST ALUMINUM LETTERS MOUNTED TO PREFABRICATED WALKWAY CANOPY. BRUSHED ALUMINUM FINISH. FONT TO BE HELVETICA. VERIFY EXACT VERBAGE WITH OWNER. COORDINATE WITH PREFABRICATED PROTECTED COVER MANUFACTURER TO PROVIDE APPROPRIATE SUBSTRATE TO ACCEPT LETTERS.
- FACE BRICK COLOR 2 - OFFSET 1/4", REFER TO 11/A02.13
- ACCENT PAINT BAND - CONTINUE AROUND PERIMETER OF SPACE
- 16'-0" L x 8'-0" H MARKER WALL PANEL
- 4'-0" L x 6'-0" H MARKER BOARD
- TV MONITOR (NIC)
- GATE
- 8'-0" L X 4'-0" H MARKERBOARD
- 6'-0" L X 4'-0" H MARKERBOARD



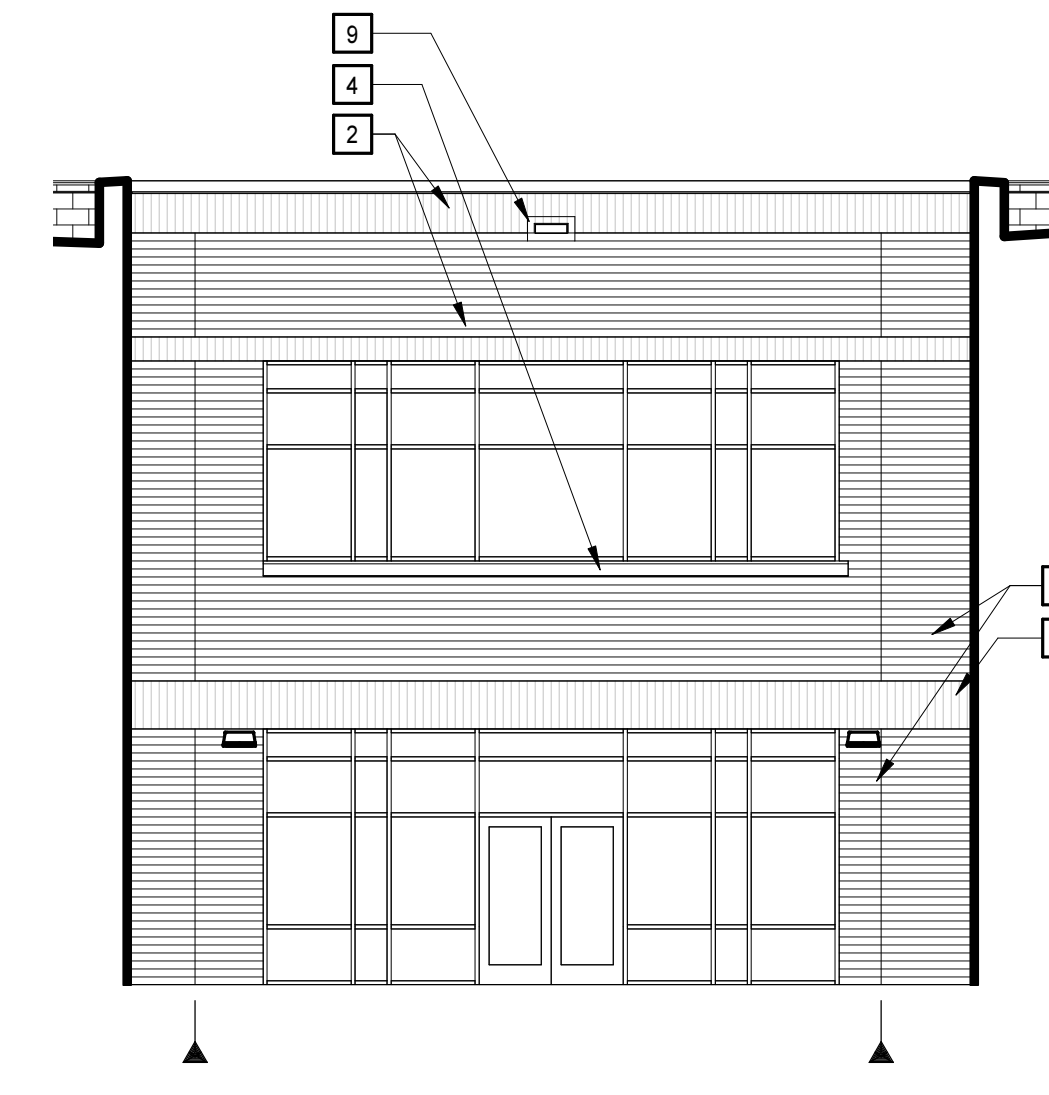
7 ELEVATION - EAST
 A02.04/A04.03 1/8" = 1'-0"



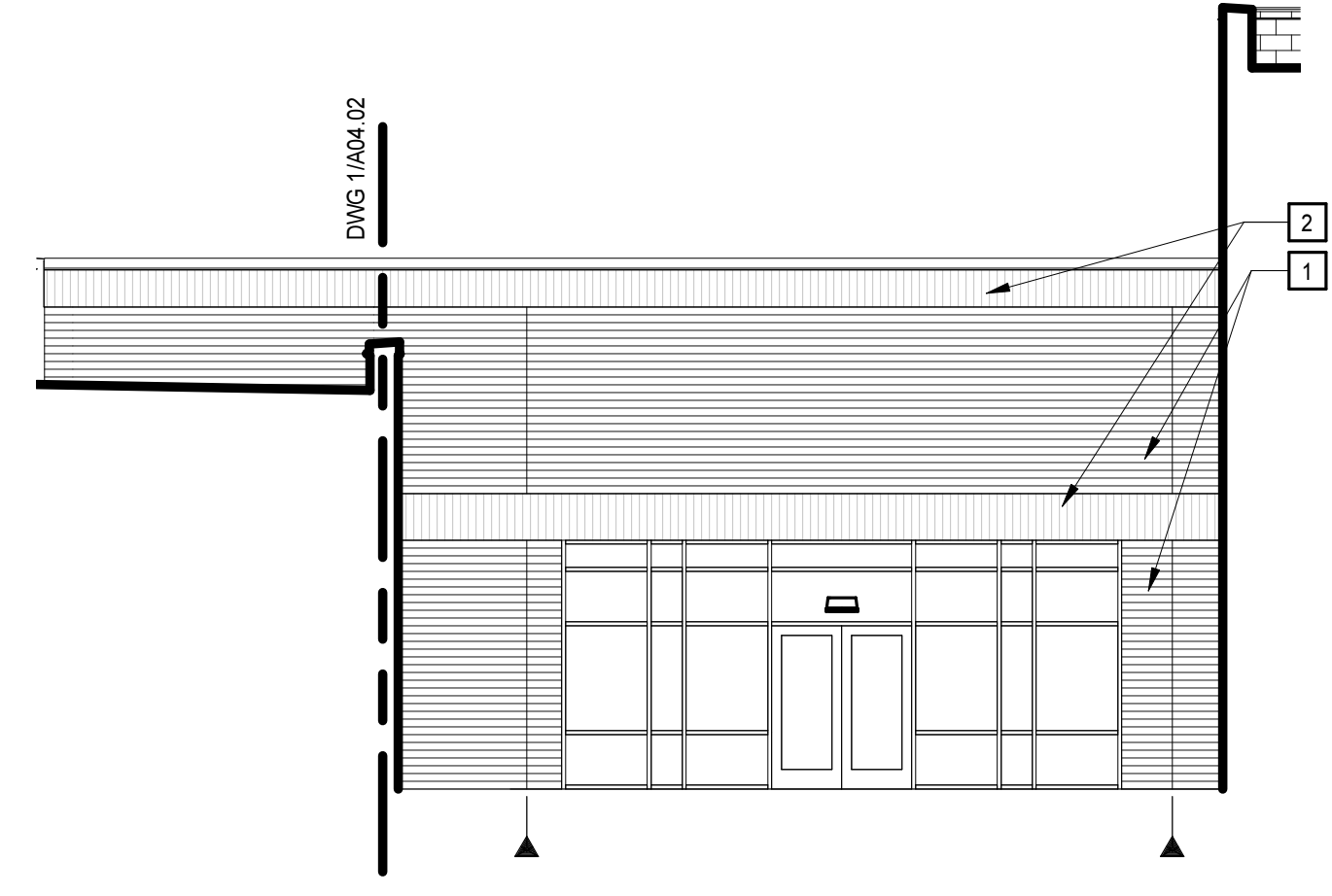
6 ELEVATION - NORTH
 A02.04/A04.03 1/8" = 1'-0"



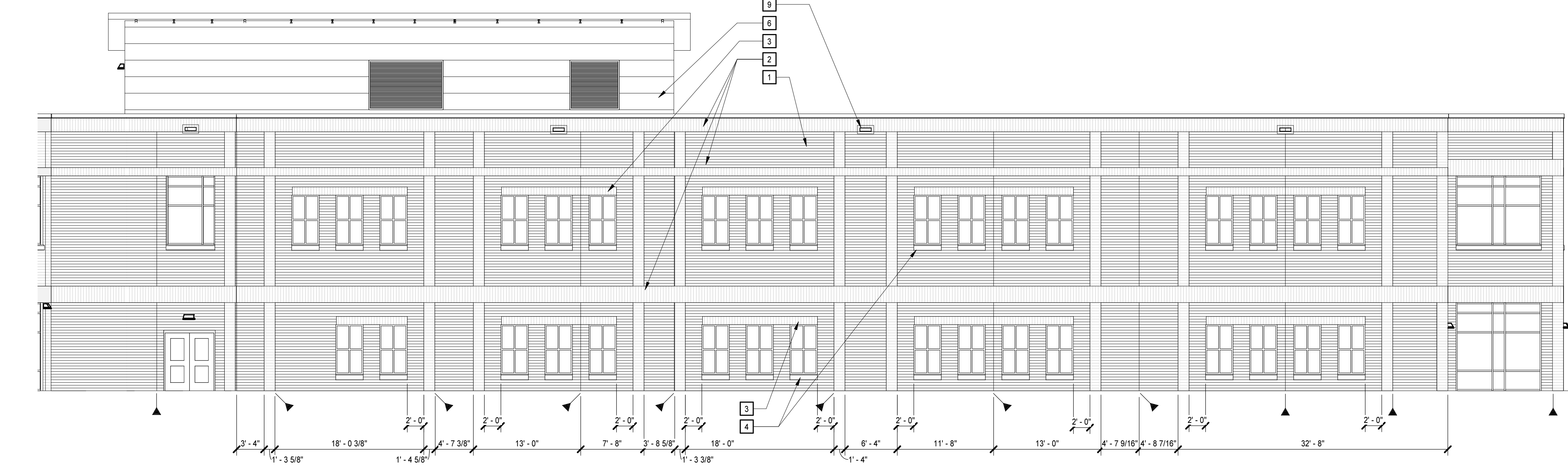
5 ELEVATION - NORTH
 A02.07/A04.03 1/8" = 1'-0"



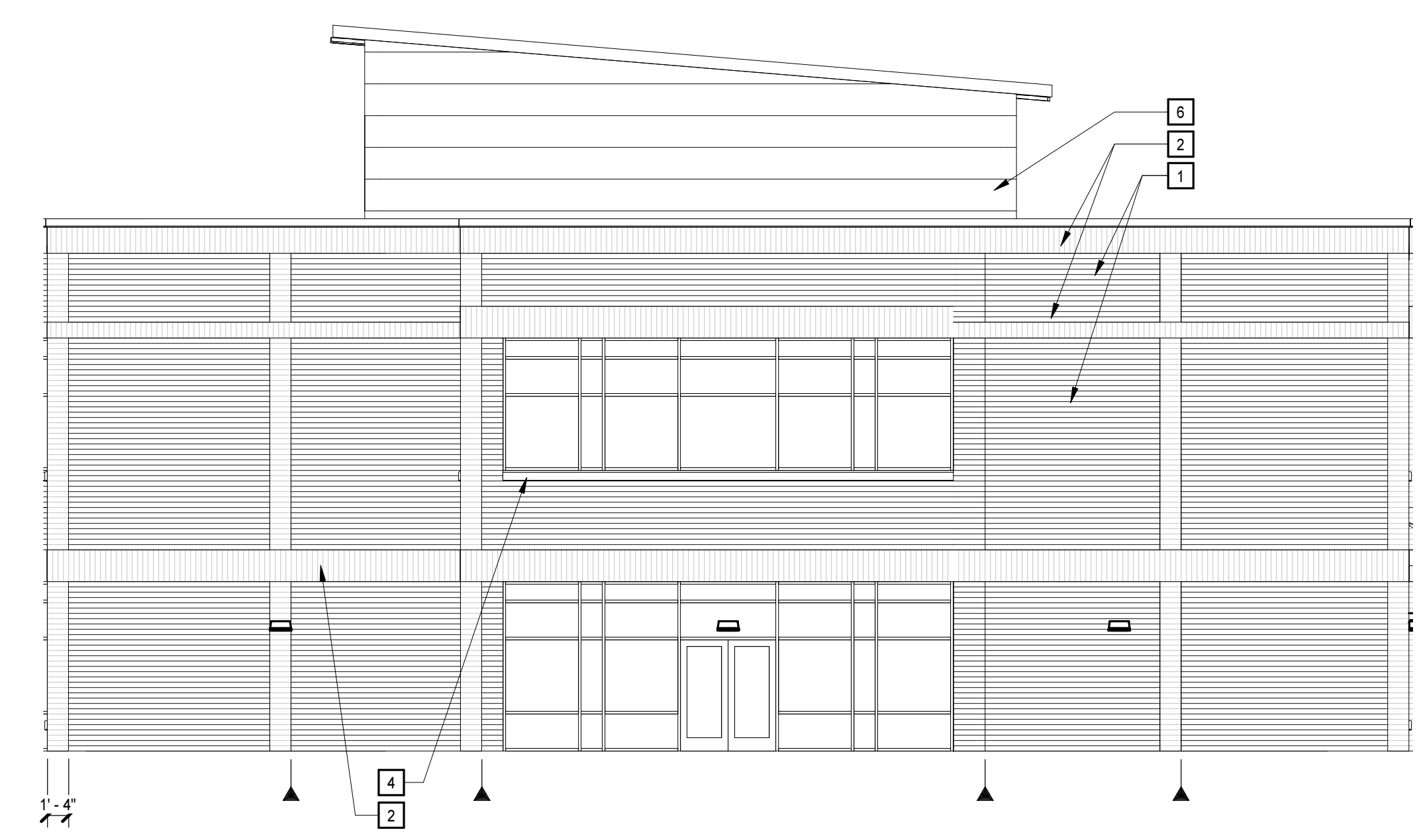
4 ELEVATION - EAST
 A02.04/A04.03 1/8" = 1'-0"



3 ELEVATION - EAST
 A02.03/A04.03 1/8" = 1'-0"

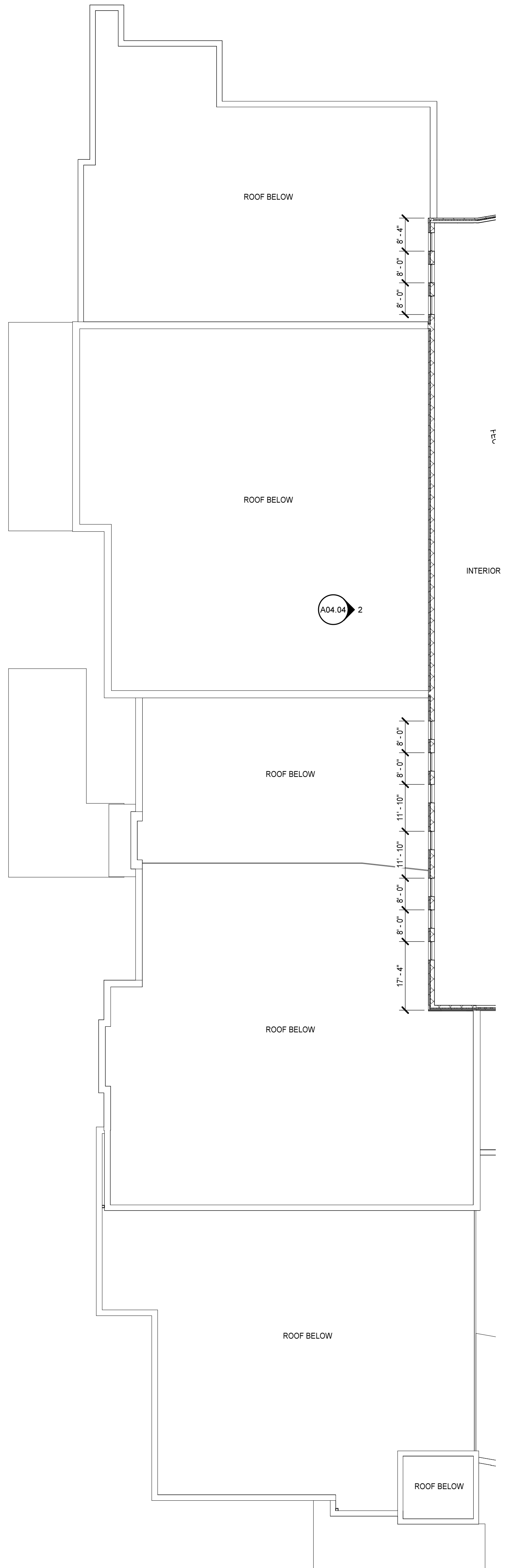


2 ELEVATION - SOUTH
 A02.07/A04.03 1/8" = 1'-0"



1 ELEVATION - EAST
 A02.07/A04.03 1/8" = 1'-0"

CLERESTORY PLAN
1/16" = 1'-0"



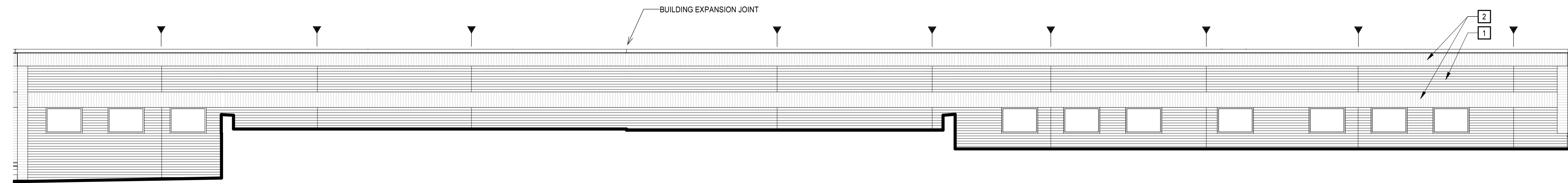
INTERIOR ELEVATION LEGEND
APPLIES TO DRAWINGS A04.04 & A07.04
REPRESENTED BY [Symbol]

ACOUSTIC WALL PANELS

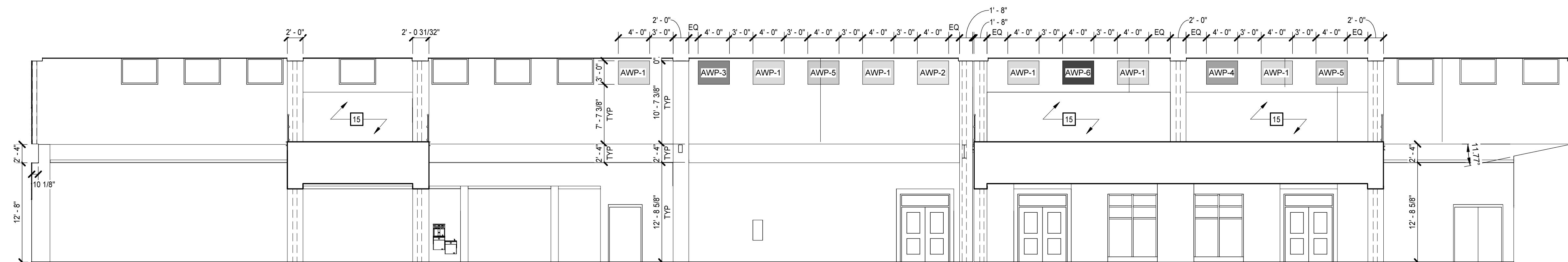
- [Symbol] AWP-1
- [Symbol] AWP-2
- [Symbol] AWP-3
- [Symbol] AWP-4
- [Symbol] AWP-5
- [Symbol] AWP-6

ELEVATION KEYNOTES
APPLIES TO DRAWINGS A04.01 - A04.05
REPRESENTED BY [Symbol]

1. FACE BRICK COLOR 1 - RUNNING BOND 1/3
2. DOUBLE BRICK SOLDIER COURSE, FACE BRICK COLOR 2 - OFFSET 1/4"
3. SINGLE BRICK SOLDIER COURSE, FACE BRICK COLOR 2
4. ARCHITECTURAL PRECAST CONCRETE SILL
5. BRICK ROWLOCK COURSE, FACE BRICK COLOR 2
6. ALUMINUM WALL PANEL SYSTEM
7. POLISHED CMU, COLOR 1
8. POLISHED CMU, COLOR 2
9. SECONDARY OVERFLOW SCUPPER
10. 16" H X 2" D BOTTOM RAIL-MOUNTED CAST ALUMINUM LETTERS MOUNTED TO PREFABRICATED WALKWAY CANOPY. BRUSHED ALUMINUM FINISH. FONT TO BE HELVETICA. VERIFY EXACT VERBAGE WITH OWNER. COORDINATE WITH PREFABRICATED PROTECTED COVER MANUFACTURER TO PROVIDE APPROPRIATE SUBSTRATE TO ACCEPT LETTERS.
11. FACE BRICK COLOR 2 - OFFSET 1/4". REFER TO 11/A02.13
12. ACCENT PAINT BAND - CONTINUE AROUND PERIMETER OF SPACE
13. APPLIED ALUMINUM/STEEL ALLOY MAGNET DRY ERASE SURFACE TO TOP OF DOOR FRAME & TO FILL WALL BETWEEN ADJACENT CLASSROOM DOORS
14. PROVIDE APPLIED ALUMINUM/STEEL ALLOY MAGNET DRY ERASE SURFACE AT THIS AREA IF FOLDING GLASS WALL ALTERNATES ARE NOT ACCEPTED.
15. APPLIED ALUMINUM/STEEL ALLOY MAGNET DRY ERASE SURFACE TO TOP OF ADJACENT COLUMN WRAPS
16. GATE



2 ELEVATION - CLERESTORY
A04.04 | A04.04 | 1/8" = 1'-0"



1 INTERIOR ELEVATION - CLERESTORY
A02.03 | A04.04 | 1/8" = 1'-0"

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E-24 ELEMENTARY PROTOTYPE
Wake County Public School System
RALEIGH, NC

PROJECT NO: 561090 DATE: 02 AUGUST 2017

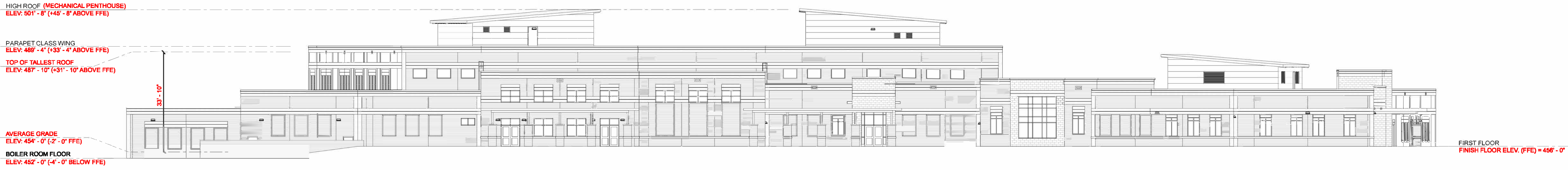
DATE	REVISIONS DESCRIPTION

**CLERESTORY
ELEVATIONS**

A04.04

NOTE:
 1. MECHANICAL PENTHOUSE ROOF HEIGHT EXTENDING BEYOND THE MAXIMUM ALLOWABLE BUILDING HEIGHT OF 40' - 0" IS DOING SO IN ACCORDANCE WITH UDO SECTION 1.5.7.D.3. THE PENTHOUSE STRUCTURES ARE STRICTLY HOUSING MECHANICAL EQUIPMENT AND ARE NOT INTENDED FOR HUMAN OCCUPANCY OTHER THAN FOR MAINTENANCE.

THE SECTION STATES "AN ACCESSORY STRUCTURE MAY EXCEED THE MAX ALLOWABLE HEIGHT BY NO MORE THAN 12' - 0", DOES NOT OCCUPY MORE THAN 25% OF THE ROOF AREA AND IS SET BACK AT LEAST 10' - 0" FROM THE EDGE OF THE ROOF. ALL PENTHOUSES MEET THESE REQUIREMENTS.



4 ELEVATION - WEST (PERPENDICULAR TO ROAD)
 A02.01 A04.00 1/16" = 1'-0"



3 ELEVATION - SOUTH (PARALLEL TO ROAD)
 A02.01 A04.00 1/16" = 1'-0"

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E-24 ELEMENTARY PROTOTYPE

Wake County Public School System
 RALEIGH, NC

PROJECT NO.	DATE
561090	06 DECEMBER 2017
REVISIONS	
DATE	DESCRIPTION