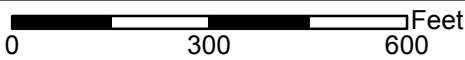
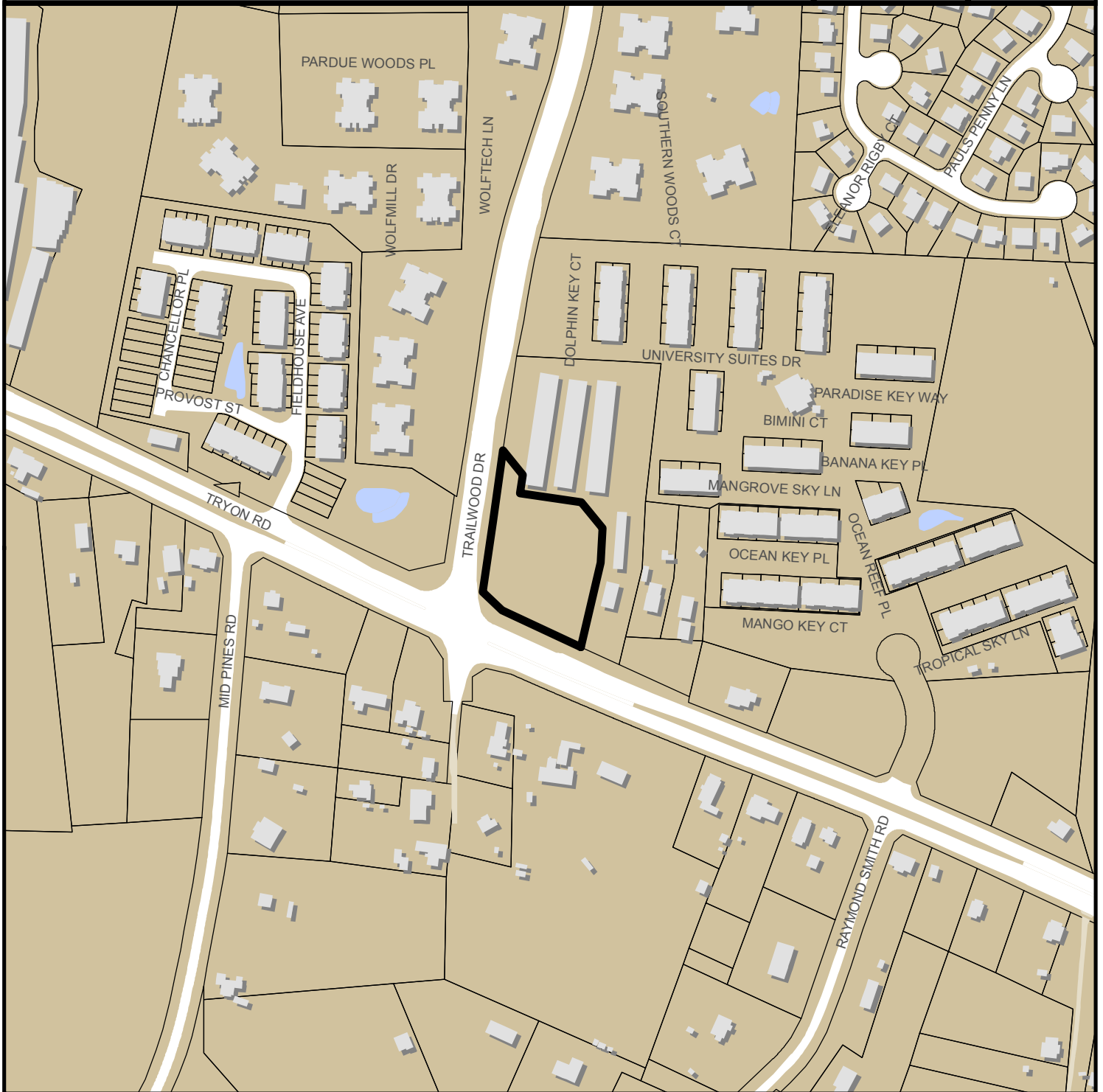


TRYON ROAD CONVENIENCE STORE SR-59-2017



Zoning: **CX-3-CU, SWPOD,
SWPOD**

CAC: **West**

Drainage Basin: **Swift Creek**

Acreage: **1.4**

Sq. Ft.: **3,000**

Planner: **Matha Lobo**
Phone: **(919) 996-2664**

Applicant: **SNJMART, Inc**

Phone: **(919) 231-9320**





Administrative Approval Action

Tryon Road Convenience Store and Gas Canopy:
SR-59-17, Transaction# 520149, AA# 3726

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at the northeast corner of the intersection of Trailwood Drive and Tryon Road outside the City limits. The site address is 3428 Tryon Road and the PIN number is 0792075124.

REQUEST: Development of a 1.41 acre tract zoned Commercial Mixed Use (CX-3-CU) with the Swift Creek Watershed Protection Overlay District and Special Residential Parking Overlay District. The site has zoning conditions outlined in Z-19-90. The proposed development consists of a 3,000 square foot, 1 story convenience store and gas canopy.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Joe Faulkner of CE Group, Inc.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

ENGINEERING

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

STORMWATER

3. That prior to Site Permitting, a nitrogen offset payment must be made to a qualifying mitigation bank;
4. Next Step: A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance.

Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

URBAN FORESTRY

5. Obtain required stub and tree impact permits from the City of Raleigh. *(used with new streets and infrastructure)*
6. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that



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includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.

7. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

8. Comply with all conditions of Z-19-90.
9. A Final Plat shall be recorded with the Wake County Register of Deeds office for all Subdivisions, Recombinations, Right-of-Way and/or Easement Dedications, and Tree Save Areas.
10. Provide fire flow analysis.
11. A petition for annexation into the City Limits be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property.

ENGINEERING

12. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
13. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 220' of 1' sidewalk shall be paid to the City of Raleigh.
14. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
15. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

STORMWATER

16. Next Step: The developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans.
17. Next Step: In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department.

URBAN FORESTRY

18. A final inspection of required tree conservation and right of way tree protection areas by Urban Forestry staff must be completed.



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PRIOR TO ISSUANCE OF BUILDING OCCUPANCY PERMIT:

19. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
20. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
21. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
22. Next Step: All street lights and street signs required as part of the development approval are installed.
23. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
24. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department
25. Next Step: Final inspection of all required Tree Conservation and right of way tree protection areas by Urban Forestry Staff.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 4-3-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Angie B. [Signature]* Date: 4/3/2018

Staff Coordinator: Daniel L. Stegall

**Administrative Site Review Application
(for UDO Districts only)**



**DEVELOPMENT SERVICES
DEPARTMENT**

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Transaction Number	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader	
<input type="checkbox"/> Townhouse			

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # 483051

GENERAL INFORMATION

Development Name: Tryon Road Convenience Store
Zoning District: CX-3-CU Overlay District (if applicable): SWPOD Inside City Limits? Yes No
Proposed Use: Convenience Store with Gas Pumps
Property Address(es): 3428 Tryon Road Major Street Locator: Trailwood Drive
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
P.I.N. 0792064828 P.I.N. P.I.N. P.I.N.

What is your project type?
 Mixed Residential Non-Residential Condo School Shopping Center Banks Office Industrial Building
 Duplex Telecommunication Tower Religious Institutions Residential Condo Retail Cottage Court
 Other: if other, please describe: Convenience Store with Gas Pumps

WORK SCOPE
Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
New 3,000 sf convenience store with (4) gas pumps under canopy.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

CLIENT/DEVELOPER/OWNER
Company: SNJ6278 Enterprises, LLC Name(s): Rakeesh Kumar
Address: 1027 Palace Garden Way Raleigh, NC 27603
Phone: 919-376-7401 Email: Kumar3049@Yahoo.com Fax:

CONSULTANT (Contact Person for Plans)
Company: CE Group, Inc. Name(s): Joe Faulkner, RLA
Address: 301 Glenwood Avenue Suite 220 Raleigh, NC 27603
Phone: 919-367-8790 x102 Email: Joe@CEGroupInc.com Fax: 919-322-0032

ADMINISTRATIVE SITE PLAN

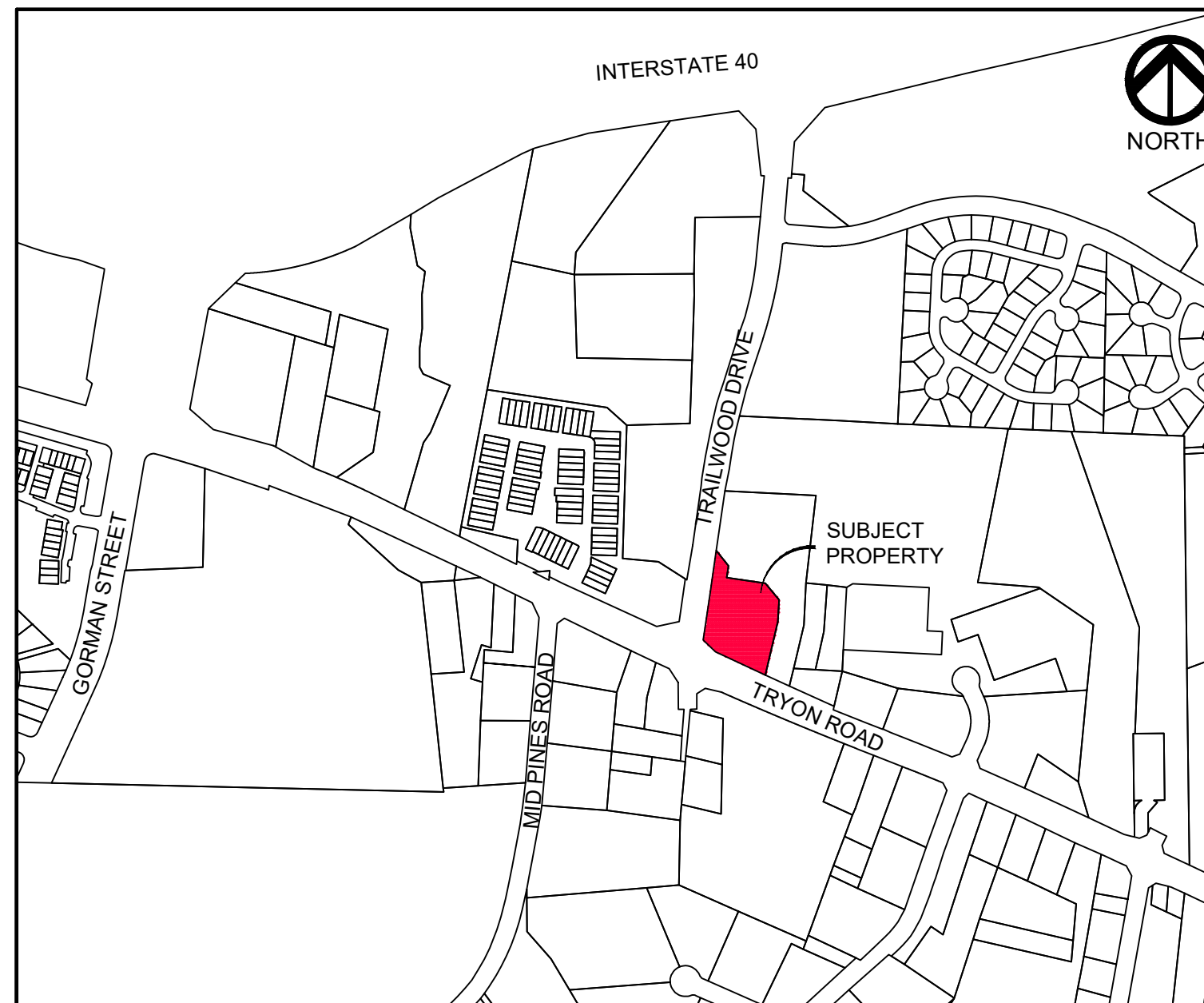
FOR
TRYON ROAD CONVENIENCE STORE

FILE # SR-59-17 - TRANSACTION # 520149

3428 TYRON ROAD
RALEIGH, NORTH CAROLINA

JUNE 29, 2017

REVISED: February 20, 2018



VICINITY MAP

1" = 500'

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CONCEPT BUILDING ELEVATIONS - CANOPY	11

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information		Building Information	
Zoning District(s): CX-3-CU	Proposed building use(s): Convenience Store	Existing Building(s) sq. ft. gross: 0	Proposed Building(s) sq. ft. gross: 3,000
Overlay District: SWPOD	Proposed Building(s) # of stories: 1	Total sq. ft. gross (existing & proposed): 3,000	Proposed height of building(s) +/-: 20.5'
Total Site Acres: 1.41 acres	CEA (Certificate of Appropriateness) case #:	CEA (Board of Adjustment) case # A:	CEA (Conditional Use District) case # Z: 19-90
Off street parking: Required 10 Provided 13	Stormwater Information		
Existing Impervious Surface: 0 acres/square feet	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	If Yes, please provide:	
Proposed Impervious Surface: acres/square feet	Alluvial Soils: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Flood Study: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	FOR RESIDENTIAL DEVELOPMENTS		
1. Total # of Apartment, Condominium or Residential Units	5. Bedroom Units: 1br 2br 3br 4br or more	6. Infill Development 2.2.7	
2. Total # of Congregate Care or Life Care Dwelling Units	7. Open Space (only) or Amenity		
3. Total Number of Hotel Units	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		
4. Overall Total # of Dwelling Units (1-6 Above)	SIGNATURE BLOCK (Applicable to all developments)		
In filling this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.			
I hereby designate: Joe Faulkner, RLA to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.			
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signed: <i>[Signature]</i>	Date: 06/15/17		
Printed Name: Rakeesh Kumar			
Signed: _____	Date: _____		
Printed Name: _____			

OWNER

SNJ6278 ENTERPRISES, LLC
c/o RAKEESH KUMAR
1027 PALACE GARDEN WAY
RALEIGH, NC 27603
PHONE: 919-376-7401
EMAIL: kumar3049@yahoo.com

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2495 AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION. FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE. FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

GENERAL NOTES

- BOUNDARY AND TOPOGRAPHIC SURVEYS ARE CARRIED OUT ON AND BETWEEN 3/15/2017 TO 3/20/2017 BY CE GROUP, INC.
- EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON ON-THE-GROUND SURVEYS AND FROM BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES. PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
- THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 811 AND THE CITY OF RALEIGH UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
- ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- ALL WATER AND SANITARY SEWER INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
- ALL WORK WITHIN THE N.C.D.O.T. RIGHT-OF-WAY SHALL CONFORM TO N.C.D.O.T. STANDARDS AND SPECIFICATIONS.
- THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM PANEL MAP NUMBER 3720079200J EFFECTIVE MAY 2, 2006.

TRANSPORTATION NOTES:

- THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING WITH THE CITY'S PUBLIC WORKS DEPARTMENT AND TRANSPORTATION FIELD SERVICES TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACTS SHALL BE:
RENE HAAGAN (919) 996-2483 OR RENE.HAAGAN@RALEIGHNC.GOV
KENNETH RITCHE (919) 996-2009 OR KENNETH.RITCHE@RALEIGHNC.GOV
NOAH OTTO (919) 996-6446 OR NOAH.OTTO@RALEIGHNC.GOV
- THE CONTRACTOR SHALL OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE, FROM THE PUBLIC WORKS DEPARTMENT AT (919) 996-2483 AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON, AND FAX NUMBER.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT (919) 996-2500 TO OBTAIN A STREET CUT PERMIT.
- PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE. THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB & GUTTER, SIDEWALKS, AND STREET TO EXISTING CONDITION OR BETTER.
- SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION, AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

STANDARD UTILITY NOTES (AS APPLICABLE):

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & RCP STORM MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER. A MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 12" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION. CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT HANDBOOK PROCEDURE.
- INSTALL 1/2" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 4" PVC SEWER SERVICES @ 1% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 10' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCCOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR OR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR joanie.hartley@raleighnc.gov FOR MORE INFORMATION.

ZONING CONDITIONS

ORDINANCE NO. (1991) 854 ZC 297
Effective: 10-1-91

Z-19.90 Holly Springs Road, north side, at its intersection with Trailwood Drive, being properties on both sides of Rannette Street, and being Parcels 34-37, 41, 168, 179-181, 193 and 289, Tax Map 603, rezoned to Throughfare Conditional Use District.

Conditions:

- No buildings containing more than 3 stories or 45' in height will be allowed in the Throughfare Conditional Use District.
- With the exception of detached single family dwellings, no building, accessory buildings, or loading docks shall be placed closer than 50' to the northern boundary of the Throughfare Conditional Use District (southern boundary of parcels 603-206 and 603-207).
- No residential densities greater than 20 dwelling units per acre shall be established in the Throughfare Conditional Use District.
- Upon development, the rate of stormwater runoff will comply with CR1707.
- The following shall not be permitted in the Throughfare Conditional Use District:
 - Air landing strips;
 - Commercially established and operated riding stables;
 - Adult establishments;
 - Outdoor theaters;
 - Public utility plants;
 - Industrial uses involving the processing of materials, fabricating, mixing, printing, assembling, cutting, or repairing of articles and products;
 - Above ground bulk storage of flammable and combustible liquids;
 - Indoor or outdoor operation of solid waste reclamation;
 - Outdoor storage as an accessory use of the operation of an industrial or manufacturing use including the storage of coal, ores, minerals, stone, sand, gravel, or earth;
 - 11.1 Cateries and kennels.
 - 11.2 The value of any future additional rights-of-way, which may be required by the City of Raleigh along either or both Holly Springs Road or Trailwood Drive shall be based on the zoning districts in place as of January 8th, 1989. This condition shall apply for a distance of up to 45 ft from the existing centerline of Holly Springs Road and/or Trailwood Drive.

SITE DATA

CURRENT OWNER: SNJ6278 ENTERPRISES LLC
SITE ADDRESS: 3428 TRYON ROAD RALEIGH NC 27603
PIN: 0792-06-4828
DEED BOOK / PAGE: 16083 / 1889
CURRENT USE: VACANT
PROPOSED USE: GAS STATION & CONVENIENCE STORE
ZONED: CX-3-CU (COMMERCIAL MIXED USE)
OVERLAY DISTRICT: SWIFT CREEK OVERLAY DISTRICT AND SPECIAL RESIDENTIAL PARKING OVERLAY DISTRICT
SITE AREA: ±61,433 SF / 1.410 AC
AMENITY AREA PROVIDED (@ 10%) = 6,143 SF
AMENITY AREA REQUIRED = 7,866 SF (12.8%)

BUILDING SETBACKS:
FRONT STREET 5'
SIDE STREET 5'
SIDE LOT LINE 0' OR 6'
REAR LOT LINE 0' OR 6'

PARKING SETBACKS:
FRONT STREET 10'
SIDE STREET 10'
SIDE LOT LINE 0' OR 3'
REAR LOT LINE 0' OR 3'
BUILDING HEIGHT 3 STORIES MAX; 45' MAX (Z-19-90)

EXISTING IMPERVIOUS AREA: ±380 SF / 0.009 AC
PROPOSED IMPERVIOUS AREA: ±3,000 SF / 0.069 AC
BUILDING AREA: ±23,076 SF / 0.530 AC
VEHICLE USE AREA: ±2,637 SF / 0.061 AC
SIDEWALK / CONCRETE AREA: ±191 SF / 0.004 AC
FUTURE: ±28,904 SF / 0.664 AC
TOTAL IMPERVIOUS AREA: ±32,801 SF / 0.741 AC

WATERSHED TREE PRESERVATION/PLANTED REQUIRED: ±15,356 SF (25% OF NET SITE AREA)
PROVIDED: ±15,407 SF

PARKING CALCULATION (RETAIL) REQUIRED (1 SPACE PER 300 SF GFA)
1 SPACE / 3,000 SF = 10 SPACES
PROVIDED: 10 SPACES INCLUDING 1 ACCESSIBLE SPACE & 4 BIKE SPACES

NO.	REVISIONS	DATE
3	REVISED PER CITY OF RALEIGH 3RD REVIEW COMMENTS	02/20/18
2	REVISED PER CITY OF RALEIGH 2ND REVIEW COMMENTS	12/06/17
1	REVISED PER CITY OF RALEIGH 1ST REVIEW COMMENTS	09/26/17

301 GLENWOOD AVE. 220
RALEIGH, NC 27603
PHONE: 919-367-8790
FAX: 919-322-0032

www.cegroupinc.com

License # C-1739

TRYON ROAD CONVENIENCE STORE
ADMINISTRATIVE SITE PLAN
COVER
3428 TRYON ROAD
RALEIGH, NORTH CAROLINA

Date: February 20, 2018
Scale: 1" = 20'
Drawn: RJH
Checked: AJF
Project No: 127-192
Computer Dwg. Name: 127-192 cover.rvt
Sheet No: 1 Of 11



- GENERAL NOTES**
- BOUNDARY AND TOPOGRAPHIC SURVEYS ARE CARRIED OUT ON AND BETWEEN 3/15/2017 TO 3/20/2017 BY CE GROUP, INC.
 - EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON ON-THE-GROUND SURVEYS AND FROM BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 - THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 811 AND THE CITY OF RALEIGH UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
 - ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 - ALL WATER AND SANITARY SEWER INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
 - ALL WORK WITHIN THE N.C.D.O.T. RIGHT-OF-WAY SHALL CONFORM TO N.C.D.O.T. STANDARDS AND SPECIFICATIONS.
 - THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM PANEL MAP NUMBER 372007920J EFFECTIVE MAY 2, 2006.

SITE DATA

CURRENT OWNER: SNJ8278 ENTERPRISES LLC
 SITE ADDRESS: 3428 TRYON ROAD, RALEIGH, NC 27603
 PIN: 0792-06-4828
 DEED BOOK / PAGE: 16063 / 1889
 CURRENT USE: VACANT
 PROPOSED USE: GAS STATION & CONVENIENCE STORE
 ZONED: CX-3-CU (COMMERCIAL MIXED USE)
 OVERLAY DISTRICT: SWIFT CREEK OVERLAY DISTRICT AND SPECIAL RESIDENTIAL PARKING OVERLAY DISTRICT
 SITE AREA: ±61,433 SF / 1.410 AC
 AMENITY AREA REQUIRED (@ 10%) = 6,143 SF
 AMENITY AREA PROVIDED = 7,866 SF (12.8%)

BUILDING SETBACKS:
 FRONT STREET: 5'
 SIDE LOT LINE: 0' OR 6'
 REAR LOT LINE: 0' OR 6'
PARKING SETBACKS:
 FRONT STREET: 10'
 SIDE STREET: 10'
 SIDE LOT LINE: 0' OR 3'
 REAR LOT LINE: 0' OR 3'
 BUILDING HEIGHT: 3 STORIES MAX; 45' MAX (Z-19-90)

EXISTING IMPERVIOUS AREA: ±380 SF / 0.009 AC
 PROPOSED IMPERVIOUS AREA: ±3,000 SF / 0.069 AC
 BUILDING AREA: ±2,076 SF / 0.530 AC
 VEHICLE USE AREA: ±2,637 SF / 0.061 AC
 SIDEWALK / CONCRETE AREA: ±191 SF / 0.004 AC
 FUTURE: ±28,904 SF / 0.664 AC
 TOTAL IMPERVIOUS AREA: ±32,008 SF / 0.728 AC

WATERSHED TREE PRESERVATION/PLANTED REQUIRED: ±15,358 SF (25% OF NET SITE AREA)
 PROVIDED: ±15,407 SF

PARKING CALCULATION (RETAIL)
 REQUIRED (1 SPACE PER 300 SF GFA)
 1 SPACE / 3,000 SF = 10 SPACES
 PROVIDED: 10 SPACES INCLUDING 1 ACCESSIBLE SPACE
 4 BIKE SPACES

NO.	REVISIONS	DATE
1	REVISED PER CITY OF RALEIGH 1ST REVIEW COMMENTS	09/28/17
2	REVISED PER CITY OF RALEIGH 2ND REVIEW COMMENTS	12/06/17
3	REVISED PER CITY OF RALEIGH 3RD REVIEW COMMENTS	02/20/18

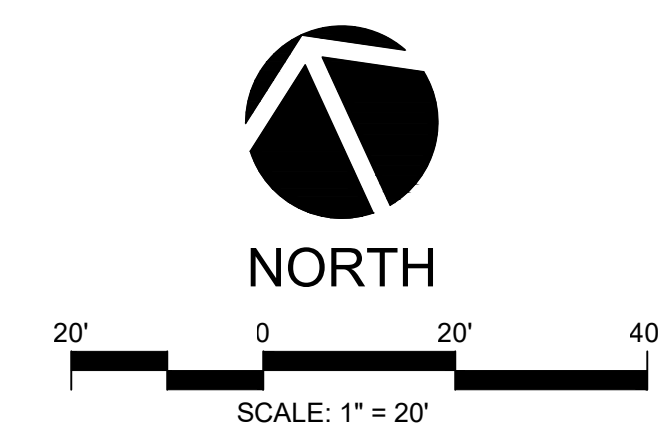
CE GROUP

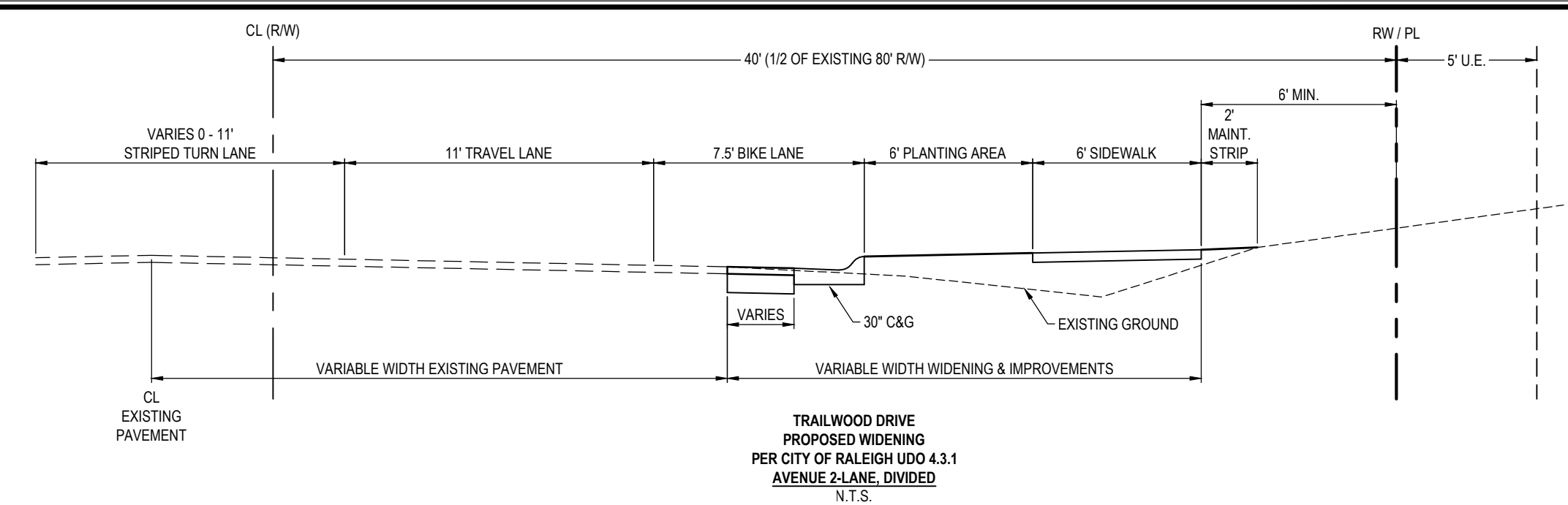
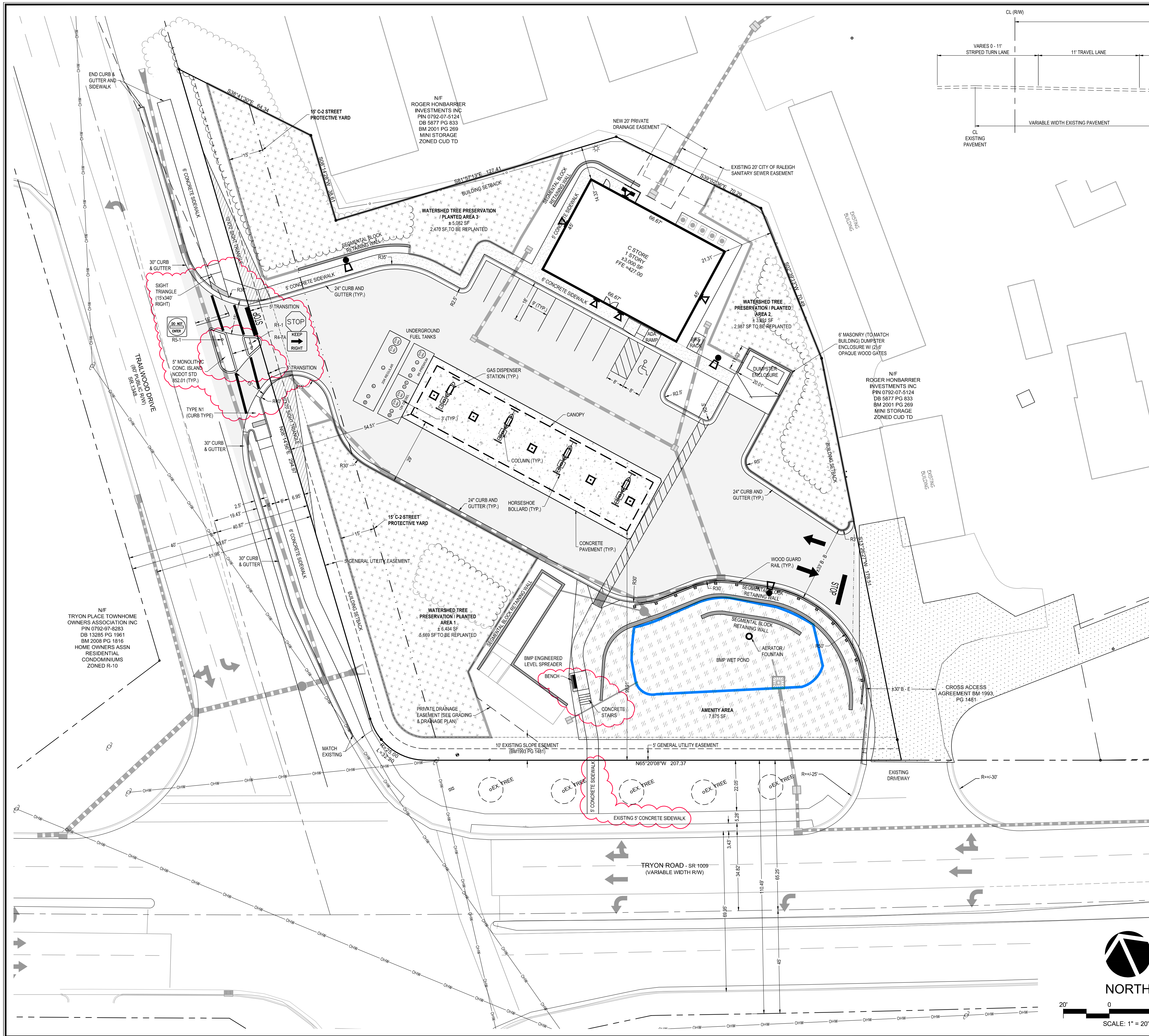
301 GLENWOOD AVE. 220
 RALEIGH, NC 27603
 PHONE: 919-367-8790
 FAX: 919-322-0032

www.cegroupinc.com
 License # C-1739

**TRYON ROAD CONVENIENCE STORE
 ADMINISTRATIVE SITE PLAN
 EXISTING CONDITIONS PLAN
 3428 TRYON ROAD
 RALEIGH, NORTH CAROLINA**

Date: February 20, 2018
 Scale: 1" = 20'
 Drawn: RJH
 Checked: AJF
 Project No: 127-192
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- BMP AMENITY STANDARDS**
- A. INTEGRATION**
THE BMP HAS BEEN INTEGRATED INTO THE SITE WITH THE PROVISION OF PEDESTRIAN ACCESS AND THE UTILIZATION OF SIMILAR PLANTING AND BUILDING MATERIALS.
 - B. FENCING**
THE BMP IS UNFENCED TO ALLOW PEDESTRIAN ACCESS.
 - C. RIPRAP**
RIPRAP OR HARD ARMORING TAKES UP LESS THAN 10% OF THE POND AREA ABOVE THE WATER LINE.
 - D. MOSQUITO REDUCTION**
MOSQUITO CONTROL MEASURES INCLUDE VARIABLE WATER LEVEL AND AN AERATING FOUNTAIN.
- SUPPLEMENTAL FEATURES**
- i. THE BMP HAS A PERMANENT POOL.
 - ii. THE POND MAINTAINS A MAXIMUM OF 4:1 SLOPES 10' BELOW THE MEDIAN POOL ELEVATION AND ALSO INCORPORATES RETAINING WALLS COMPATIBLE WITH THE REST OF THE SITE.
 - iii. HORIZONTAL CURVES ARE UTILIZED IN THE SHAPE OF THE POND TO AVOID A SIMPLE RECTANGULAR SHAPE.
 - iv. THE TWO ADDITIONAL FEATURES ADDED TO THE BMP ARE A FOUNTAIN (ACTIVE WATER FEATURE) AND A BENCH (PERMANENT PEDESTRIAN ORIENTED FEATURE).

- GENERAL NOTES**
1. BOUNDARY AND TOPOGRAPHIC SURVEYS ARE CARRIED OUT ON AND BETWEEN 3/15/2017 TO 8/20/2017 BY CE GROUP, INC.
 2. EXISTING UNDERGROUND STRUCTURES AND UTILITIES SHOWN ARE BASED ON ON-THE-GROUND SURVEYS AND FROM BEST AVAILABLE RECORD DRAWINGS. THE CONTRACTOR SHALL FIELD VERIFY CONDITIONS, INCLUDING THE HORIZONTAL AND VERTICAL LOCATION OF ALL UTILITIES, PRIOR TO STARTING CONSTRUCTION AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES.
 3. THE CONTRACTOR SHALL CONTACT NORTH CAROLINA ONE CALL AT 811 AND THE CITY OF RALEIGH UTILITIES. THE CONTRACTOR SHALL CALL AT LEAST 48 HOURS PRIOR TO ANY DIGGING.
 4. ALL CONSTRUCTION SHALL BE IN CONFORMANCE TO THE CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
 5. ALL WATER AND SANITARY SEWER INSTALLATION SHALL BE IN CONFORMANCE WITH THE CITY OF RALEIGH PUBLIC UTILITY DEPARTMENT STANDARDS AND SPECIFICATIONS.
 6. ALL WORK WITHIN THE N.C.D.T. RIGHT-OF-WAY SHALL CONFORM TO N.C.D.T. STANDARDS AND SPECIFICATIONS.
 7. THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM PANEL MAP NUMBER 3720079200J EFFECTIVE MAY 2, 2006.

- TRANSPORTATION NOTES:**
1. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
 3. PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING WITH THE CITY'S PUBLIC WORKS DEPARTMENT AND TRANSPORTATION FIELD SERVICES TO REVIEW THE SPECIFIC COMPONENTS OF THE PLAN AND OPERATION OF THESE FACILITIES DURING CONSTRUCTION. CONTACTS SHALL BE:
RENE HAAGEN (919) 996-2483 OR RENE.HAAGEN@RALEIGHNC.GOV
KENNETH RITCHE (919) 996-2009 OR KENNETH.RITCHE@RALEIGHNC.GOV
NOAH OTTO (919) 996-6446 OR NOAH.OTTO@RALEIGHNC.GOV
 4. THE CONTRACTOR SHALL OBTAIN A LANE CLOSURE PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE, FROM THE PUBLIC WORKS DEPARTMENT AT (919) 996-2483 AT LEAST 48 HOURS IN ADVANCE AND FOR STREET CLOSURES, AT LEAST 2 WEEKS IN ADVANCE. PROVIDE EXACT LOCATION, CROSS STREET, DATES FOR LANE CLOSURE, CONTACT PERSON, AND FAX NUMBER.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING THE INSPECTIONS DEPARTMENT AT (919) 996-2500 TO OBTAIN A STREET CUT PERMIT.
 6. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
 7. THE CONTRACTOR SHALL REPAIR ALL DRIVEWAYS, DRIVEWAY PIPES, CURB & GUTTER, SIDEWALKS, AND STREET TO EXISTING CONDITION OR BETTER.
 8. SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION, AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROVAD), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

SITE DATA

CURRENT OWNER:	SNJ6278 ENTERPRISES LLC
SITE ADDRESS:	3428 TRYON ROAD
	RALEIGH NC
PIN:	0792-06-4828
DEED BOOK / PAGE:	18083 / 1889
CURRENT USE:	VACANT
PROPOSED USE:	GAS STATION & CONVENIENT STORE
ZONING:	CX-3-CU (COMMERCIAL MIXED USE)
OVERLAY DISTRICT:	SWIFT CREEK OVERLAY DISTRICT AND SPECIAL RESIDENTIAL PARKING OVERLAY DISTRICT
SITE AREA:	±51,433 SF / 1.1410 AC
AMENITY AREA REQUIRED (@ 10%) =	6,143 SF
AMENITY AREA PROVIDED =	7,866 SF (12.8%)

BUILDING SETBACKS:

FRONT STREET	5'
SIDE STREET	5'
SIDE LOT LINE	0' OR 6'
REAR LOT LINE	0' OR 6'

PARKING SETBACKS:

FRONT STREET	10'
SIDE STREET	10'
SIDE LOT LINE	0' OR 3'
REAR LOT LINE	0' OR 3'
BUILDING HEIGHT	3 STORIES MAX, 45' MAX (2-19-90)

EXISTING IMPERVIOUS AREA: ±380 SF / 0.009 AC

PROPOSED IMPERVIOUS AREA

BUILDING AREA:	±3,000 SF / 0.069 AC
VEHICLE USE AREA:	±23,078 SF / 0.530 AC
SIDEWALK / CONCRETE AREA:	±2,637 SF / 0.061 AC
FUTURE:	±191 SF / 0.004 AC
TOTAL IMPERVIOUS AREA:	±28,904 SF / 0.664 AC

WATERSHED TREE PRESERVATION/PLANTED REQUIRED: ±15,358 SF (25% OF NET SITE AREA)
PROVIDED: ±15,407 SF

PARKING CALCULATION (RETAIL) REQUIRED (1 SPACE PER 300 SF GFA)

1 SPACE / 3,000 SF = 10 SPACES	PROVIDED
10 SPACES INCLUDING 1 ACCESSIBLE SPACE	4 BIKE SPACES

02/2018	REVISED PER CITY OF RALEIGH 3RD REVIEW COMMENTS	NO.	DATE
12/06/17	REVISED PER CITY OF RALEIGH 2ND REVIEW COMMENTS	2	12/06/17
09/26/17	REVISED PER CITY OF RALEIGH 1ST REVIEW COMMENTS	1	09/26/17

CE GROUP

301 GLENWOOD AVE. 220
RALEIGH, NC 27603
PHONE: 919-367-8790
FAX: 919-322-0032

www.cegroupinc.com

License # C-1739

TRYON ROAD CONVENIENCE STORE ADMINISTRATIVE SITE PLAN

SITE PLAN

3428 TRYON ROAD

RALEIGH, NORTH CAROLINA

Date: February 20, 2018

Scale: 1" = 20'

Drawn: RJH

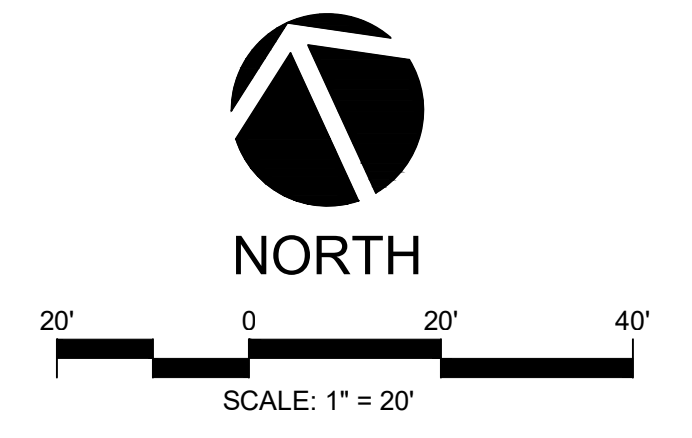
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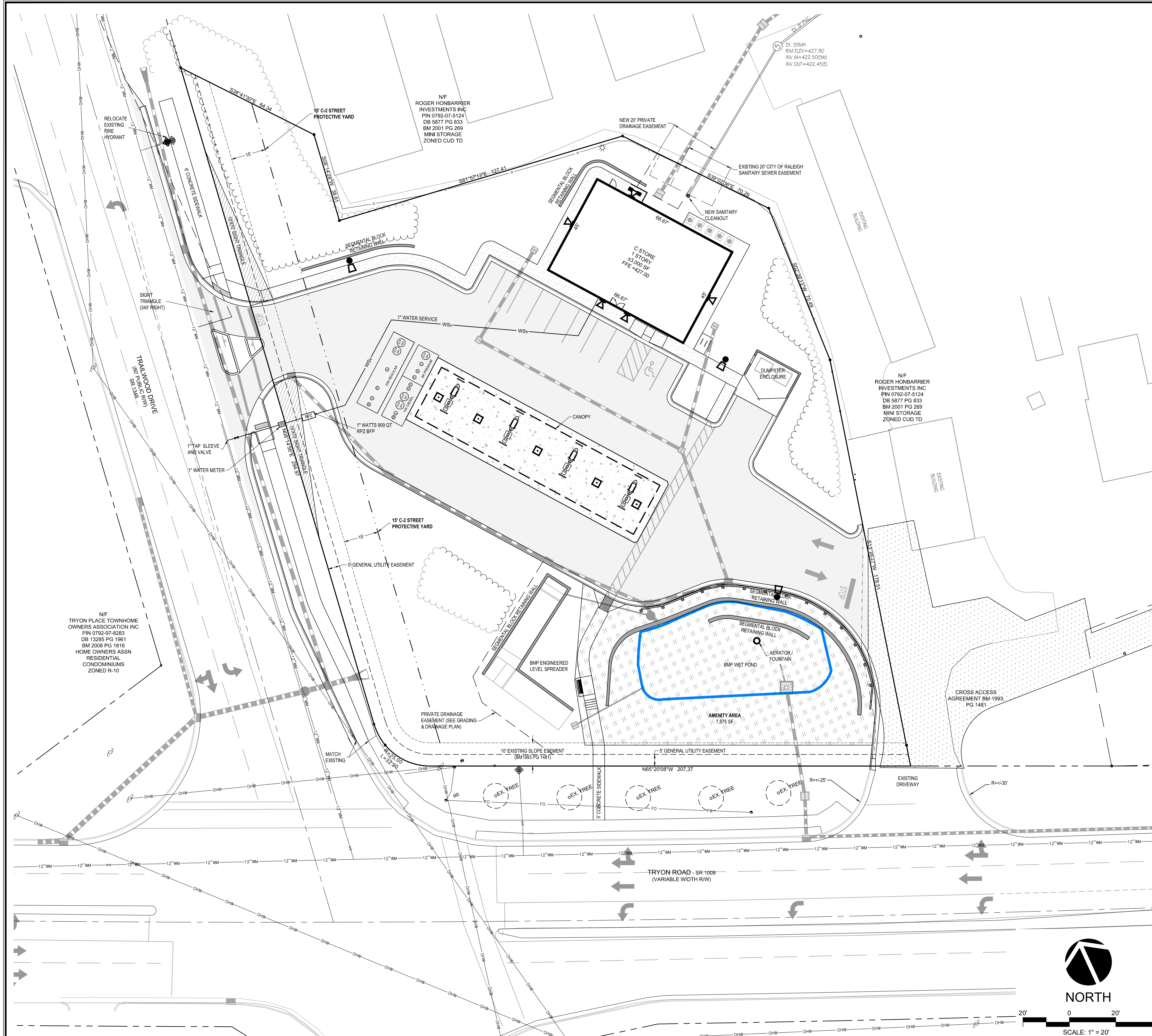
Project No: 127-192

Computer: Dwg. Name: 127-192 site plan-rev

Sheet No: 3

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ATTENTION CONTRACTORS
 THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2499, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION. FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE. FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

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 - ALL WORK WITHIN THE N.C.D.O.T. RIGHT-OF-WAY SHALL CONFORM TO N.C.D.O.T. STANDARDS AND SPECIFICATIONS.
 - THE SUBJECT PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA PER FEMA FIRM PANEL MAP NUMBER 372007200J EFFECTIVE MAY 2, 2006.

SITE DATA

CURRENT OWNER: SM45278 ENTERPRISES LLC
 SITE ADDRESS: 3428 TRYON ROAD, RALEIGH NC 27603
 PIN: 0792-06-4828
 DEED BOOK / PAGE: 16083 / 1889
 CURRENT USE: VACANT
 PROPOSED USE: GAS STATION & CONVENIENCE STORE
 ZONED: CX-3-CU (COMMERCIAL MIXED USE)
 OVERLAY DISTRICT: SWIFT CREEK OVERLAY DISTRICT AND SPECIAL RESIDENTIAL PARKING OVERLAY DISTRICT
 SITE AREA: ±51,433 SF / 1.1410 AC

AMENITY AREA REQUIRED (@ 10%) = 6,143 SF
 AMENITY AREA PROVIDED = 7,866 SF (12.8%)

BUILDING SETBACKS:
 FRONT STREET: 5'
 SIDE STREET: 5'
 SIDE LOT LINE: 0' OR 6'
 REAR LOT LINE: 0' OR 6'

PARKING SETBACKS:
 FRONT STREET: 10'
 SIDE LOT LINE: 0' OR 3'
 REAR LOT LINE: 0' OR 3'
 BUILDING HEIGHT: 3 STORIES MAX; 45' MAX (Z-19-90)

EXISTING IMPERVIOUS AREA: ±380 SF / 0.009 AC
 PROPOSED IMPERVIOUS AREA: ±3,000 SF / 0.069 AC
 BUILDING AREA: ±3,000 SF / 0.069 AC
 VEHICLES USE AREA: ±23,076 SF / 0.530 AC
 SIDEWALK / CONCRETE AREA: ±2,637 SF / 0.061 AC
 FUTURE: ±191 SF / 0.004 AC
 TOTAL IMPERVIOUS AREA: ±28,904 SF / 0.664 AC

WATERSHED TREE PRESERVATION/PLANTED REQUIRED: ±15,368 SF (25% OF NET SITE AREA)
 PROVIDED: ±15,407 SF

PARKING CALCULATION (RETAIL)
 REQUIRED (1 SPACE PER 300 SF GFA)
 1 SPACE / 3,000 SF = 10 SPACES
 PROVIDED: 10 SPACES INCLUDING 1 ACCESSIBLE SPACE
 4 BIKE SPACES

- STANDARD UTILITY NOTES (AS APPLICABLE):**
- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION)
 - UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN UNBOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10'. IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN OR STEEL ENCASUREMENT EXTENDED 10' ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS. WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE GRADE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL 3/4" COPPER WATER SERVICES WITH METERS LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL 4" PVC SEWER SERVICES @ 1.0% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR timothy.beasley@raleighnc.gov FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR joanie.hartley@raleighnc.gov FOR MORE INFORMATION.

NO.	REVISIONS	DATE
1	REVISED PER CITY OF RALEIGH 1ST REVIEW COMMENTS	09/26/17
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License # C-1739

**TRYON ROAD CONVENIENCE STORE
 ADMINISTRATIVE SITE PLAN
 UTILITY PLAN**

3428 TRYON ROAD
 RALEIGH, NORTH CAROLINA

Date: February 20, 2018
 Scale: 1" = 20'
 Drawn: RHJ
 Checked: AJF
 Project No: 127-192
 Computer Dwg. Name: 127-192 utility plan
 Sheet No: 4 of 11



SCALE: 1" = 20'

