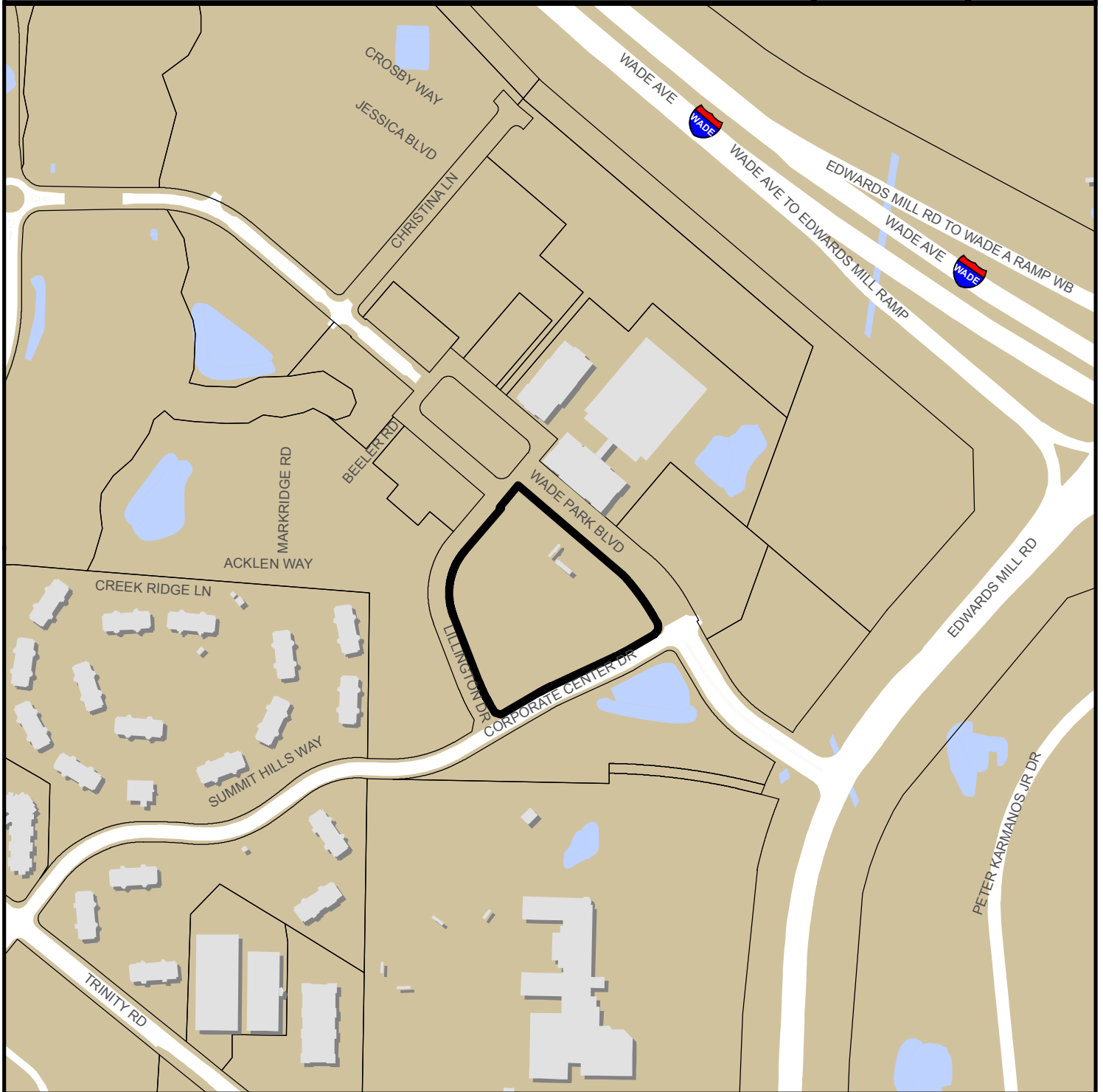


# POST PARKSIDE AT WADE PHASE 3 SR-54-2017



0 300 600 1,200 Feet

Zoning: **PD**  
CAC: **West**  
Drainage Basin: **Richard Creek**  
Acreage: **5.44**  
Sq. Ft.: **161,900**

Planner: **Michael Walters**  
Phone: **(919) 996-2636**  
Applicant: **Post Wade Tract M-2, LLC**  
Phone: **(404) 846-4481**





# Administrative Approval Action

SR-54-17 / Post Parkside at Wade, Phase III  
Transaction# 517500, AA# 3683

City of Raleigh  
Development Services  
One Exchange Plaza  
Raleigh, NC 27601  
(919) 996-2626  
DS.help@raleighnc.gov  
www.raleighnc.gov

**REQUEST:** Development of a 5.44 acre site (portion of tract M-2, Forty Wade Master Plan) zoned PD (Forty Wade Master Plan) into five separate apartment buildings, all on one parcel totaling 161,900 square feet and 150 (197 bedrooms) dwelling units.

**LOCATION:** 1501 Corporate Center Drive located on the southwest corner of the intersection of Wade Park Blvd. and Corporate Center Drive.

**DESIGN  
ADJUSTMENTS/  
ALTERNATES,  
ETC:**

An Administrative Alternate (AAD-17-17) was approved for this project allowing an alternative parking ratio or a 15% reduction in the required number of parking spaces, or 180 spaces.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by McAdams, dated 8/21/17.

## **CONDITIONS OF APPROVAL AND NEXT STEPS:**

***Note: This document must be applied to the second sheet of all future submittals with the exception of final plats.***

**Prior to issuance of a land disturbing permit for the site:**

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

**Prior to the issuance of any site permits or approval of concurrent review process, whichever is applicable:**

2. That a right-of-way obstruction permit is obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way;
3. That a stormwater control plan shall be submitted for approval by the Stormwater Engineer showing that the proposed development on the site is in accordance with overall stormwater plans for the approved Master Plan (MP-2-05) and approved Subdivision (S-99-07);
4. That in accordance with the master plan and with approval of the City of Raleigh Transit Division, a minimum of four transit easements are shown along main street/Wade Park Blvd.(p-11/public transit);

**Prior to issuance of building permits:**

5. That any required right of way for proposed and/or existing streets is dedicated to the City of Raleigh and a copy of the recorded plat is provided to the City prior to building permit issuance;



# Administrative Approval Action

SR-54-17 / Post Parkside at Wade, Phase III  
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6. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related public improvements on Wade Park Blvd, including streetscape trees, is paid to the Development Engineering Division prior to building permits;
7. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related public improvements on Lillington Dr, including streetscape trees, is paid to the Development Engineering Division prior to building permits;
8. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related public improvements on Corporate Center Drive, including streetscape trees, is paid to the Development Engineering Division prior to building permits;
9. That a sidewalk deed of easement for any public sidewalk on private property is approved by the City and that the location of the easement is shown on the map approved for recordation prior to building permit;
10. That construction approval is granted for the private sewer collection system created for this development;
11. That any and all utility easements must be shown on a plat for recordation and recorded in the Wake County Register of Deeds;
12. That a Unity of Development application is submitted to and approved by the City of Raleigh Development Services Department;

**Prior to issuance of building occupancy permit:**

13. That in accordance with Part 10A Section 9.2.2, an impervious surface as-built survey shall be reviewed and accepted by the City prior to final stormwater inspection approval.

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. To avoid allowing this plan approval to expire, the following must take place by the following dates:

**3-Year Expiration Date:** 9-26-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.



# Administrative Approval Action

SR-54-17 / Post Parkside at Wade, Phase III  
Transaction# 517500, AA# 3683

City of Raleigh  
Development Services  
One Exchange Plaza  
Raleigh, NC 27601  
(919) 996-2626  
DS.help@raleighnc.gov  
www.raleighnc.gov

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Bouson Date: 9/26/10  
(BSC)

Staff Coordinator: Michael Walters



# POST PARKSIDE AT WADE

ADMINISTRATIVE SITE PLAN FOR:  
POST PARKSIDE AT WADE-PHASE III  
RALEIGH, NORTH CAROLINA  
PROJECT NUMBER: PPS-17000

## PHASE III ADMINISTRATIVE SITE PLAN 1501 CORPORATE CENTER DRIVE RALEIGH, NORTH CAROLINA PROJECT NUMBER: PPS-17000

CITY OF RALEIGH TRANSACTION # 517500  
CITY OF RALEIGH CASE # SR-54-17 & MP-2-05  
DATE: JUNE 6, 2017  
REVISED: AUGUST 10, 2017

DEVELOPER:  
**POST WADE TRACT M2 LLC**  
4401 NORTHSIDE PARKWAY SUITE 800  
ATLANTA, GEORGIA 30327  
CONTACT: MATTHEW SMITH  
EMAIL: MATTHEW.SMITH@MAAC.COM  
PHONE: (404) 846-4481

### SHEET INDEX

C-1	EXISTING CONDITIONS
C-2	PROJECT NOTES
C-3	OVERALL DEVELOPMENT PLAN
C-4	SITE PLAN
C-5	GRADING PLAN
C-6	UTILITY PLAN
LS-1	LANDSCAPE PLAN
D-1	SITE DETAILS
D-2	SITE DETAILS
D-3	WATER DETAILS
D-4	SEWER DETAILS
A2.11	BUILDING 1000 FLOOR PLAN LEVEL 1
A2.21	BUILDING 2000 FLOOR PLAN LEVEL 1
A2.31	BUILDING 3000 FLOOR PLAN LEVEL 1
A2.41	BUILDING 4000 FLOOR PLAN LEVEL 1
A2.51	BUILDING 5000 FLOOR PLAN LEVEL 1
AE3.10	BUILDING 1000 EXTERIOR ELEVATIONS
AE3.20	BUILDING 2000 EXTERIOR ELEVATIONS
AE3.30	BUILDING 3000 EXTERIOR ELEVATIONS
AE3.31	BUILDING 3000 EXTERIOR ELEVATIONS
AE3.40	BUILDING 4000 EXTERIOR ELEVATIONS
AE3.41	BUILDING 4000 EXTERIOR ELEVATIONS
AE3.50	BUILDING 5000 EXTERIOR ELEVATIONS

### SOLID WASTE INSPECTION STATEMENT

1. THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
2. SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE.
3. SOLID WASTE COLLECTION TO BE HANDLED WITH COMPACTOR/DUMPSTERS ONSITE & WITHIN PARKING FIELD.

THIS PROJECT WILL ACCEPT RESPONSIBILITY FOR OFF-SITE SEWER UPGRADES DETERMINED TO BE DIRECTLY RELATED TO THIS PROJECT, IF ANY, THAT ARE REQUIRED AS PER A DOWNSTREAM SEWER STUDY BY THE DEVELOPER AND IN ACCORDANCE WITH SUFFICIENCY OF INFRASTRUCTURE AS DEFINED IN SECTION 8.1.1(B) AND 2.1(C) OF THE UNIFIED DEVELOPMENT ORDINANCE. IN THE EVENT UPGRADES ARE REQUIRED, THIS PROJECT RESERVES ITS RIGHTS FOR CITY REIMBURSEMENT AS ALLOWED FOR UNDER THE URBAN REDEVELOPMENT MAIN REIMBURSEMENT PROGRAM. SCHEDULE AND TIMING OF WORK TO BE MUTUALLY AGREED UPON BY ALL PARTIES INVOLVED TO ENSURE NO DISRUPTION TO THE PROJECT SCHEDULE AND/OR TO MINIMIZE THE IMPACT TO OPERATIONS OF OTHER IMPACTED FACILITIES.

### FORTY WADE MASTER PLAN ZONING CONDITIONS:

1. DEVELOPMENT OF THE PROPERTY SHALL BE IN ACCORDANCE WITH THE FORTY WADE MASTER PLAN AMENDMENT APPROVED IN Z-54-05 AND MP-2-05.

### NOTES:

1. THE MINIMUM CLEARANCE FROM THE CURB LINE OR EDGE OF PAVEMENT INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE INTERSECTION OF THE RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. THE RADIUS OF THE DRIVEWAY SHALL NOT ENROACH ON THE MINIMUM CORNER CLEARANCE.
2. WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.
3. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

### ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 998-2408 and the Public Utilities Department at (919) 998-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

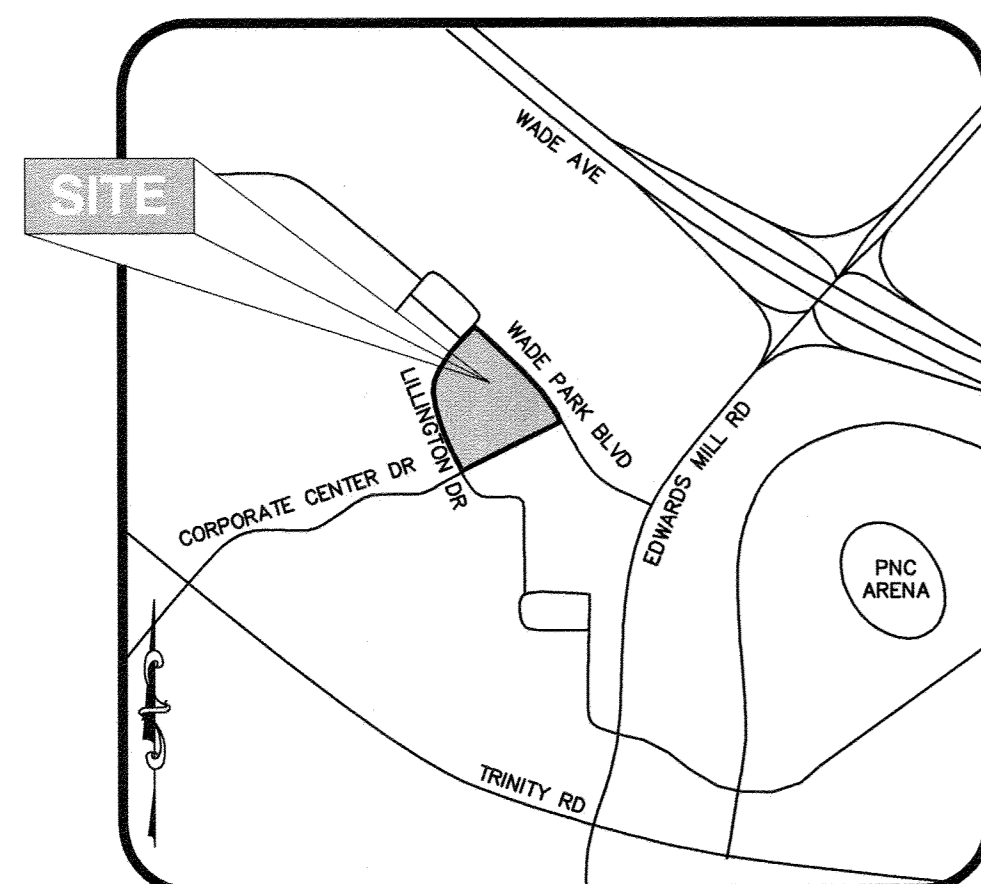


Know what's below.  
Call before you dig.



THE JOHN R. McADAMS COMPANY, INC.

2905 Meridian Parkway  
Durham, North Carolina 27713  
License No.: C-0293  
(800) 733-5646 ■ McAdamsCo.com  
Contact: Andy Padiak  
padiak@mcadamsco.com



VICINITY MAP

1"=1000'

**Administrative Site Review Application**  
(for UDO Districts only)

Development Services Customer Service Center | Exchange Plaza, Suite 600 | Raleigh, NC 27601 | (919) 996-2095 | fax (919) 996-1831  
Litchford Satellite Office | 8329 - 1301 Litchford Road | Raleigh, NC 27601 | (919) 996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

**BUILDING TYPE**

Detached  
 Attached  
 Apartment  
 Townhouse

General  
 Mixed Use  
 Open Lot

**FOR OFFICE USE ONLY**

Transaction Number  
Assigned Project Coordinator  
Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

**GENERAL INFORMATION**

Development Name: **Post Parkside at Wade, Apartments Phase III**

Zoning District: **Forty Wade PD** Overlay District (if applicable): \_\_\_\_\_ Inside City Limits?  Yes  No

Proposed Use: **Apartments**

Property Address(es): **1501 Corporate Center Drive** Major Street Locator: **Wade Park Drive**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N.: **0784082387** P.I.N.: \_\_\_\_\_ P.I.N.: \_\_\_\_\_

What is your project type?  Apartment  Elderly Facilities  Hospitals  Hotels/Motels  Office  
 Mixed Residential  Non-Residential Condo  School  Shopping Center  Banks  Industrial Building  
 Duplex  Telecommunication Tower  Religious Institution  Residential Condo  Retail  Cottage Court  
 Other: If other, please describe: \_\_\_\_\_

**WORK SCOPE**

Per City Code Section 10.2.2.B.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  
**Site work associated with construction of apartment buildings and parking lots**

**DESIGN ADJUSTMENT OR ADMIN ALTERNATE**

Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Alternate to not construct street facing entrances from Corporate Center Drive

**CLIENT/DEVELOPER/OWNER**

Company: **Post Wade Tract M2 LLC** Name (s): **Matt Smith**  
Address: **4401 Northside Parkway NW Suite 880, Atlanta, GA 30327**  
Phone: **404-846-4481** Email: **Matthew.Smith@maac.com** Fax: \_\_\_\_\_

**CONSULTANT**  
(Contact Person for Plans)

Company: **McAdams** Name (s): **Andy Padiak, PE**  
Address: **2905 Meridian Parkway, Durham, NC 27713**  
Phone: **(919) 361-5000** Email: **padiak@mcadamsco.com** Fax: **(919) 361-2269**

PAGE 1 OF 3 [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) REVISION 05.13.16

**DEVELOPMENT TYPE & SITE DATA TABLE** (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) <b>Forty Wade PD</b>	Proposed building use(s) <b>Apartments</b>
If more than one district, provide the acreage of each:	Existing Building(s) sq. ft. gross <b>0 sf</b>
Overlay District:	Proposed Building(s) sq. ft. gross <b>161,900</b>
Total Site Acres <input checked="" type="checkbox"/> Inside City Limits <input type="checkbox"/> No <b>5.44 acres</b>	Total sq. ft. gross (existing & proposed) <b>161,900</b>
Off street parking: Required <b>212</b> Provided <b>191</b>	Proposed height of building(s) <b>49' - 10"</b>
COA (Certificate of Appropriateness) case # <b>N/A</b>	# of stories <b>3</b>
BOA (Board of Adjustment) case # <b>A-N/A</b>	Celling height of 1 <sup>st</sup> Floor <b>10' - 10"</b>
CUD (Conditional Use District) case # <b>N/A</b>	
<b>Stormwater Information</b>	
Existing Impervious Surface _____ acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface _____ acres/square feet	If Yes, please provide: Alluvial Soil: <b>N/A</b> Flood Study _____
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>FOR RESIDENTIAL DEVELOPMENTS</b>	
1. Total # of Apartment, Condominium or Residential Units <b>150</b>	5. Bedroom Units: 1br <b>109</b> 2br <b>35</b> 3br <b>6</b> 4br or more <b>0</b>
2. Total # of Congregate Care Or Life Care Dwelling Units <b>0</b>	6. Infill Development 2.2.7 <b>No</b>
3. Total Number of Hotel Units <b>N/A</b>	7. Open Space (only) or Amenity <b>Yes</b>
4. Overall Total # of Dwelling Units (1-6 Above) <b>150</b>	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
<b>SIGNATURE BLOCK</b> (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate <b>Andrew R. Padiak, PE</b> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: <b>Matthew Smith</b>	Date: <b>5-26-17</b>
Printed Name: <b>Matthew Smith</b>	
Signed: _____	Date: _____
Printed Name: _____	

PAGE 2 OF 3 [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) REVISION 05.13.16

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I HEREBY CERTIFY THAT THE TOPOGRAPHIC SURVEY SHOWN HEREON IS BASED ON AN ACTUAL FIELD SURVEY MADE UNDER MY SUPERVISION AND ACCURATELY REPRESENTS THE PHYSICAL FEATURES THEREON AT THE TIME OF THIS SURVEY.

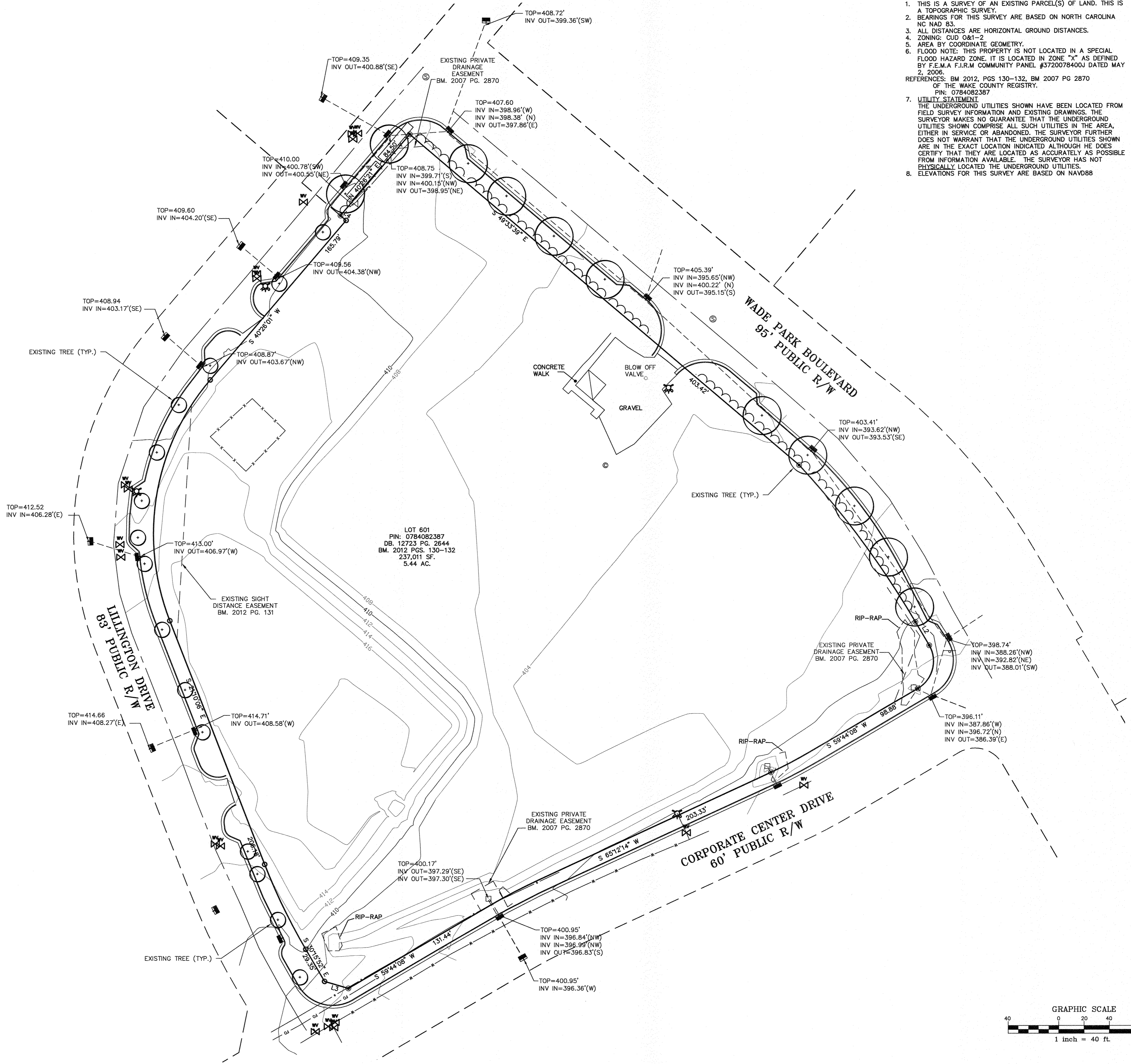
RONALD T. FREDERICK, P.L.S. L-4720

DATE

**PRELIMINARY PLAN  
NOT FOR RECORDATION  
CONVEYANCES OR SALES**

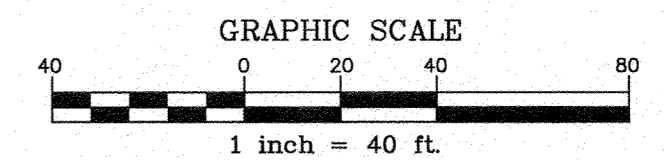
**LEGEND**

- EXISTING IRON PIPE
  - IRON PIPE SET
  - ▲ CALCULATED POINT
  - ⊙ BORE HOLE
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ SANITARY SEWER CLEANOUT
  - ⊙ WATER VALVE
  - ⊙ WATER METER
  - ⊙ FIRE HYDRANT
  - ⊙ TELEPHONE PEDESTAL
  - ⊙ TELEPHONE MANHOLE
  - ⊙ ELECTRIC BOX
  - ⊙ LIGHT POLE
  - ⊙ POWER POLE
  - ⊙ CURB INLET
  - ⊙ STORM DRAINAGE MANHOLE
  - ⊙ YARD INLET
- 
- STORM DRAIN PIPE
  - OU OVERHEAD UTILITY LINES
  - W WATER LINE
  - SS SANITARY SEWER LINE
  - T TELEPHONE LINE
  - G GAS LINE
  - UE UNDERGROUND ELECTRIC
  - UT UNDERGROUND TELEPHONE
  - X—X— FENCE LINE



**GENERAL NOTES**

1. THIS IS A SURVEY OF AN EXISTING PARCEL(S) OF LAND. THIS IS A TOPOGRAPHIC SURVEY.
2. BEARINGS FOR THIS SURVEY ARE BASED ON NORTH CAROLINA NC NAD 83.
3. ALL DISTANCES ARE HORIZONTAL GROUND DISTANCES.
4. ZONING: CUD O&T-2
5. AREA BY COORDINATE GEOMETRY.
6. FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE. IT IS LOCATED IN ZONE "X" AS DEFINED BY F.E.M.A. F.I.R.M. COMMUNITY PANEL #3720078400J DATED MAY 2, 2006.
- REFERENCES: BM 2012, PGS 130-132, BM 2007 PG 2870 OF THE WAKE COUNTY REGISTRY. PIN: 0784082387
7. UTILITY STATEMENT  
THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES.
8. ELEVATIONS FOR THIS SURVEY ARE BASED ON NAVD88



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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

**THE JOHN R. MCADAMS  
COMPANY, INC.**  
2905 Meridian Parkway  
Durham, North Carolina 27713  
(800) 733-5646 • McAdamsCo.com



REVISIONS:

2	2017-07-10	REVISED PER FIRST REVIEW COMMENTS
1	2017-08-21	REVISED PER SECOND REVIEW COMMENTS

DEVELOPER:  
**POST WADE TRACT M2 LLC**  
4401 NORTHSIDE PARKWAY  
SUITE 800  
ATLANTA, GEORGIA 30327

**POST PARKSIDE AT WADE - PHASE III  
ADMINISTRATIVE SITE PLAN**  
RALEIGH, NORTH CAROLINA  
EXISTING CONDITIONS

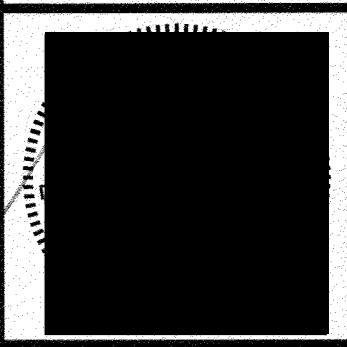
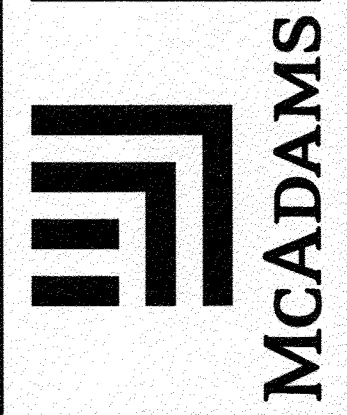
PROJECT NO.	PPS-17000
FILENAME	PPS17000-XC1
CHECKED BY:	RTF
DRAWN BY:	JBT
SCALE:	1"=40'
DATE:	02-21-2013
SHEET NO.	C-1





# FORTY/WADE MASTER PLAN

THE JOHN R. MCADAMS COMPANY, INC.  
 2905 Meridian Parkway  
 Durham, North Carolina 27713  
 (800) 733-5646 • McAdamsCo.com



REVISIONS:

2017-07-10	REVISED PER FIRST REVIEW COMMENTS
2017-08-21	REVISED PER SECOND REVIEW COMMENTS

DEVELOPER:  
 POST WADE TRACT M2 LLC  
 4401 NORTHSIDE PARKWAY  
 SUITE 800  
 ATLANTA, GEORGIA 30327

## POST PARKSIDE AT WADE - PHASE III ADMINISTRATIVE SITE PLAN

RALEIGH, NORTH CAROLINA  
 OVERALL DEVELOPMENT PLAN

PROJECT NO. PPS-17000  
 FILENAME: PPS17000-0ADP1  
 CHECKED BY: LAW  
 DRAWN BY: LRS  
 SCALE: 1"=200'  
 DATE: 06-06-2017  
 SHEET NO. C-3

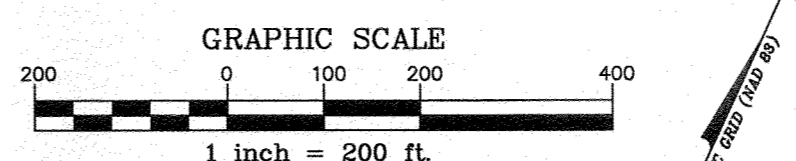


SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

FORTYWADE MASTER PLAN DEVELOPMENT DATA - TRACT M-2			
STREETYARDS AND BUILDING SETBACK DATA			
PDD REQUIRED	MIN. BUILDING	MIN. PARKING SETBACK	MINIMUM STREETYARD
WADE AVENUE	100 ft	75 ft	75 ft
I-40	135 ft	75 ft	75 ft
EDWARDS MILL ROAD	200 ft	200 ft	75 ft
WADE PARK DRIVE	15 ft	15 ft	15 ft (20 ft avg)
PRIVATE/PUBLIC STREET IN TRACT M-2	15 ft	10 ft	10 ft avg/10' min
PROPOSED PHASE III DEVELOPMENT			
WADE AVENUE	960 ft	1,030 ft	75 ft
I-40	2,548 ft	2,716 ft	75 ft
EDWARDS MILL ROAD	510 ft	625 ft	90 ft
WADE PARK DRIVE	23 ft	98 ft	23 ft
PRIVATE/PUBLIC STREET IN TRACT M-2	SEE SHEET C-4		
BUILDING HEIGHT DATA			
PDD REQUIRED			
MAX. BUILDING HEIGHT (NON-HOTEL)	70 ft		
MAX. BUILDING HEIGHT (HOTEL)	150 ft		
PROPOSED PHASE III DEVELOPMENT			
MAX. BUILDING HEIGHT (NON-HOTEL)	49.8 ft		
MAX. BUILDING HEIGHT (HOTEL)	N/A		
USE DATA			
RETAIL			
PDD REQUIRED			
MINIMUM GFA	90,000 sf		
MAXIMUM GFA	175,000 sf		
BUILT/PROPOSED DEVELOPMENT			
PHASE I DEVELOPMENT	24,673 sf		
FUTURE RETAIL/RESTAURANT DEVELOPMENT	66,000 sf		
TOTAL	90,673 sf		
RESIDENTIAL			
PDD REQUIRED			
MINIMUM D.U.	350 units		
MAXIMUM D.U.	600 units		
BUILT/PROPOSED DEVELOPMENT			
PHASE I DEVELOPMENT	397 units		
LOT 604 DEVELOPMENT	15 units		
PHASE III DEVELOPMENT	150 units		
TOTAL	562 units		
HOTEL			
PDD REQUIRED			
MAXIMUM ROOMS	300 rooms		
BUILT/PROPOSED DEVELOPMENT			
FUTURE WEXFORD PROPERTY DEVELOPMENT	< 300 rooms		
SITE DATA			
SITE AREA	5.44 ac		
IMPERVIOUS AREA	2.95 ac		
% IMPERVIOUS	54.2%		
ALLOWABLE % IMPERVIOUS PER MASTER PLAN	80.0%		

NOTE:  
 THE OVERALL PARCEL WILL PROVIDE THE REQUIRED FRONTAGE REQUIREMENTS, PER THE FORTY/WADE PARK MASTER PLAN (Z-54-05, MP-02-05), ONCE SUBDIVIDED AND FULLY DEVELOPED WITH FUTURE RETAIL USE. PER COORDINATION WITH CITY STAFF, THE PARCEL CAN REMAIN IN ITS CURRENT FORM, WITHOUT SUBDIVISION, AND BE APPROVED FOR PERMITTING WITH THE RETAIL USE AND SUBDIVISION TO BE PROVIDED IN THE FUTURE. UPON SUBDIVISION AND SUBSEQUENT RETAIL DEVELOPMENT, ALL FRONTAGE REQUIREMENTS WILL BE REQUIRED AND PROVIDED PRIOR TO THE APPROVAL OF THE RETAIL USE.



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X:\Projects\PPS-17000\Land\Site Plan\Current Drawings\PPS17000-S1.dwg, 8/24/2017, 3:37:11 PM, Bates, Nathan

SITE AREA = 5.44 AC

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- FENCE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT

PARKING TABULATION FOR APARTMENTS		CODE REQUIREMENT	SPACES
ONE BEDROOM	109	1.0 SPACE PER UNIT	109
TWO BEDROOM	35	2.0 SPACES PER UNIT	70
THREE BEDROOM	6	3.0 SPACES PER UNIT	18
FOUR BEDROOM	0	4.0 SPACES PER UNIT	0
<b>TOTAL UNITS</b>	<b>150</b>		
GUEST PARKING		1.0 SPACE PER 10 UNITS	15
CITY REQUIRED PARKING			212
REQUIRED PARKING PER JUNE 5, 2017 OTP MEMORANDUM			180
SURFACE PARKING PROVIDED			134
GARAGE PARKING PROVIDED			51
<b>TOTAL PARKING PROVIDED</b>			<b>185</b>
PARKING/DU RATIO PROPOSED			1.23
REQUIRED HANDICAPPED ACCESSIBLE SPACES			6
PROVIDED HANDICAPPED ACCESSIBLE SPACES (SURFACE)			6
PROVIDED HANDICAPPED ACCESSIBLE SPACES (GARAGE)			2
<b>TOTAL PROVIDED HANDICAPPED ACCESSIBLE SPACES</b>			<b>8</b>
CITY REQUIRED SHORT-TERM BICYCLE PARKING (MIN.)		1 BICYCLE SPACE PER 20 UNITS	8
CITY REQUIRED LONG-TERM BICYCLE PARKING (MIN.)		N/A	0
<b>TOTAL BICYCLE PARKING PROVIDED</b>			<b>12</b>

NOTE:  
 1. A PARKING STUDY WAS PREPARED BY RAMEY KEMP AND ASSOCIATED ON MAY 5, 2017 SUPPORTING A REDUCTION IN THE REQUIRED NUMBER OF PARKING SPACES. IN A MEMORANDUM DATED JUNE 4, 2017, KEN BOWERS, PLANNING DIRECTOR FOR THE CITY OF RALEIGH, ISSUED AN OPINION IN SUPPORT OF THIS REDUCTION TO 180 PARKING SPACES.  
 2. AFTER COORDINATION WITH CITY TRANSPORTATION STAFF, NO TRANSIT EASEMENTS WILL BE REQUIRED ON SITE WITH THE ADMINISTRATIVE SITE REVIEW. FURTHER COORDINATION WITH TRANSIT PLANNING STAFF WILL OCCUR THROUGH CONCURRENT SITE PLANS TO ENSURE THAT ANY TRANSIT EASEMENT THAT MAY BECOME REQUIRED IS ADDED TO THE APPROPRIATE PLANS.

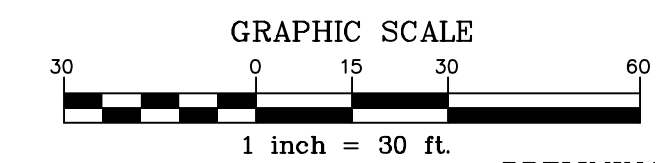
WEXFORD DEVELOPMENT LLC  
 PIN: 0784087554  
 DB. 14061 PG. 1578

SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

EACH UNIT SHALL HAVE ROLL CARTS FOR RECYCLING AND TRASH COLLECTION. RESIDENTS WILL ROLL THEIR CARTS TO COLLECTION AREA.

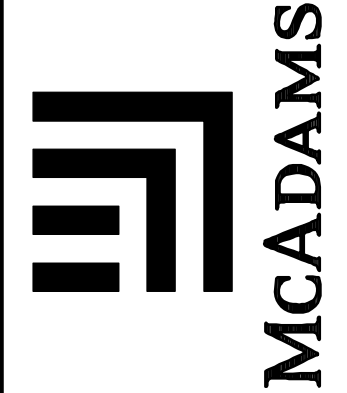
COMPACTOR OR DUMPSTER TO BE COLLECTED TWICE PER WEEK.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION



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 Durham, North Carolina 27713  
 Phone: 919.487.1100  
 Fax: 919.487.1101  
 Website: www.mcadams.com  
 (800) 733-5646



REVISIONS:  
 1. 2017-07-10 REVISED PER FIRST REVIEW COMMENTS  
 2. 2017-08-21 REVISED PER SECOND REVIEW COMMENTS

DEVELOPER:  
 POST WADE TRACT M2 LLC  
 4401 NORTHSIDE PARKWAY  
 SUITE 800  
 ATLANTA, GEORGIA 30327

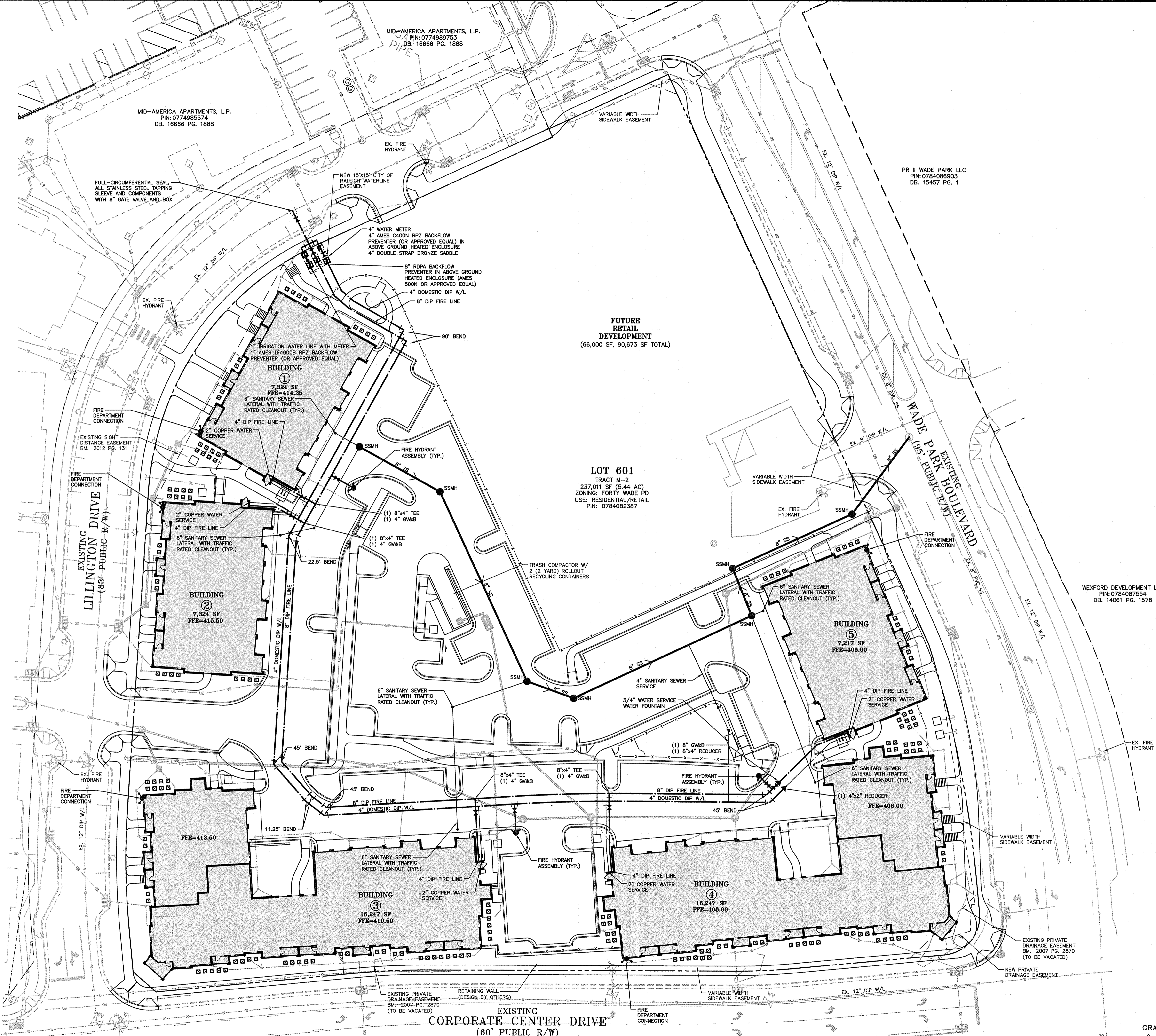
**POST PARKSIDE AT WADE - PHASE III ADMINISTRATIVE SITE PLAN**

PROJECT NO: PPS-17000  
 FILENAME: PPS17000-S1  
 CHECKED BY: LAW  
 DRAWN BY: LRS  
 SCALE: 1"=30'  
 DATE: 06-06-2017  
 SHEET NO: C-4





X:\Projects\PPS-17000\Lead\Site Plan\Current Drawings\PPS17000-U1.dwg, 8/22/2017 3:58:02 PM, Suter, Rick



**UTILITY LEGEND**

	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER VALVE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	SEWER FLOW DIRECTION ARROW
	YARD LIGHTS
	LIGHT POLE
	WATERLINE
	WATER SERVICE LINE
	SANITARY SEWER
	SEWER SERVICE LINE
	EASEMENT LINE

**ATTENTION CONTRACTORS**

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409 and the Public Utilities Department at (919) 996-4540 at least **twenty four hours** prior to beginning any of their construction.

Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure.

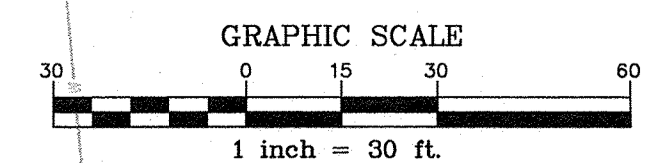
Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the jobsite, or any other Violation of City of Raleigh Standards will result in a **Fine and Possible Exclusion** from future work in the City of Raleigh.

**NOTE:**  
DOMESTIC WATER AND FIRE SERVICE LINES TO BE CONSTRUCTED TO ONE FOOT INSIDE BUILDING AND TURNED UP THROUGH BUILDING SLAB.

**NOTE:**  
CITY OF RALEIGH STANDARD CATCH BASINS SHALL BE USED WITHIN PUBLIC RIGHT-OF-WAYS AND DOT STANDARD CATCH BASINS SHALL BE USED IN PRIVATE AREAS.

SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



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REVISIONS:

2017-07-10	REVISED PER FIRST REVIEW COMMENTS
2017-08-21	REVISED PER SECOND REVIEW COMMENTS

DEVELOPER:  
POST WADE TRACT M2 LLC  
4401 NORTHSIDE PARKWAY  
SUITE 800  
ATLANTA, GEORGIA 30327

**POST PARKSIDE AT WADE - PHASE III  
ADMINISTRATIVE SITE PLAN  
UTILITY PLAN**

PROJECT NO.	PPS-17000
FILENAME	PPS17000-U1
CHECKED BY	LAW
DRAWN BY	LRS
SCALE	1"=30'
DATE	06-06-2017
SHEET NO.	C-6





PLANT SCHEDULE

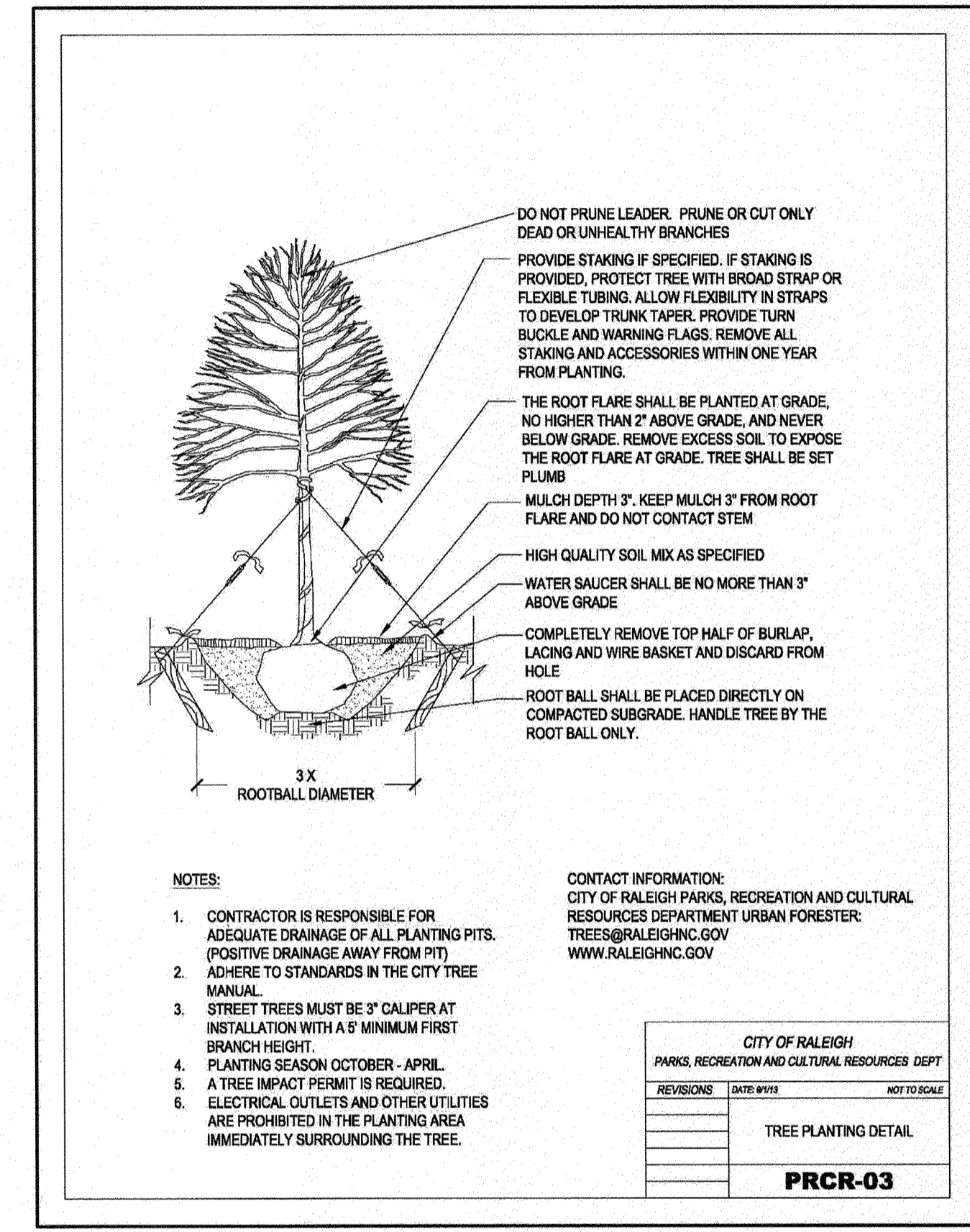
TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HGT
	QUN	4	Nuttall Oak	Quercus nuttallii	3"	10'
	QNN	9	Highpoint Nuttall Oak	Quercus nuttallii 'QNTA'	3"	10'
	UPA	19	Princeton Elm	Ulmus americana 'Princeton'	3"	10'
	ZSA	14	Autumn Glow Japanese Zelkova	Zelkova serrata 'Autumn Glow'	3"	10'
	ZGV	2	Musashino Zelkova	Zelkova serrata 'Musashino'	3"	10'
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	HGT	QC
	ICCC	128	Carissa Holly	Ilex cornuta 'Carissa'	18"	
	ICDB	121	Dwarf Burford Holly	Ilex cornuta 'Dwarf Burford'	18"	
	IGNN	27	Nigra Inkberry	Ilex glabra 'Nigra'	18"	
	IPAT	9	Anise Tree	Illicium parviflorum	18"	
	LCPD	12	Fringe Flower	Loropetalum chinense 'Purple Diamond'	18"	

LANDSCAPE CALCULATIONS

STREET TREES	510 LF
CORPORATE CENTER DR:	13 (1/40 LF)
TREES REQUIRED:	14 (MIN.)
TREES PROVIDED:	
LILLINGTON DR:	760 LF
TREES REQUIRED:	19 (1/40 LF)
TREES PROVIDED:	19 (MIN.)
WADE PARK BLVD:	520 LF
TREES REQUIRED:	13 (1/40 LF)
TREES PROVIDED:	13 (MIN.)
VEHICLE USE AREA	55,200 SF
LOT 1:	28 (1/2,000 LF)
TREES REQUIRED:	29
TREES PROVIDED:	
C-3 STREET PROTECTIVE YARD	60 LF
CORPORATE CENTER DR:	18 (30/100 LF)
SHRUBS REQUIRED:	18
SHRUBS PROVIDED:	

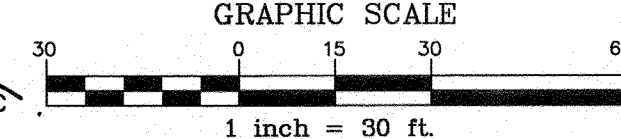
NOTES:

- NO TREES SHALL BE PLANTED WITHIN 10' OF A FIRE HYDRANT (AT MATURE GROWTH).
- NO TREES SHALL BE PLANTED WITHIN 20' OF A PARKING LOT LIGHT FIXTURE.
- ALL TREES LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LIMBED TO A MINIMUM 8' ABOVE FINISHED GRADE.
- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
- A TREE IMPACT PERMIT IS REQUIRED PRIOR TO SUBDIVISION OR ISSUANCE OF BUILDING PERMITS, WHICHEVER OCCURS FIRST, FOR TREES INSTALLED IN THE PUBLIC RIGHTS-OF-WAY.



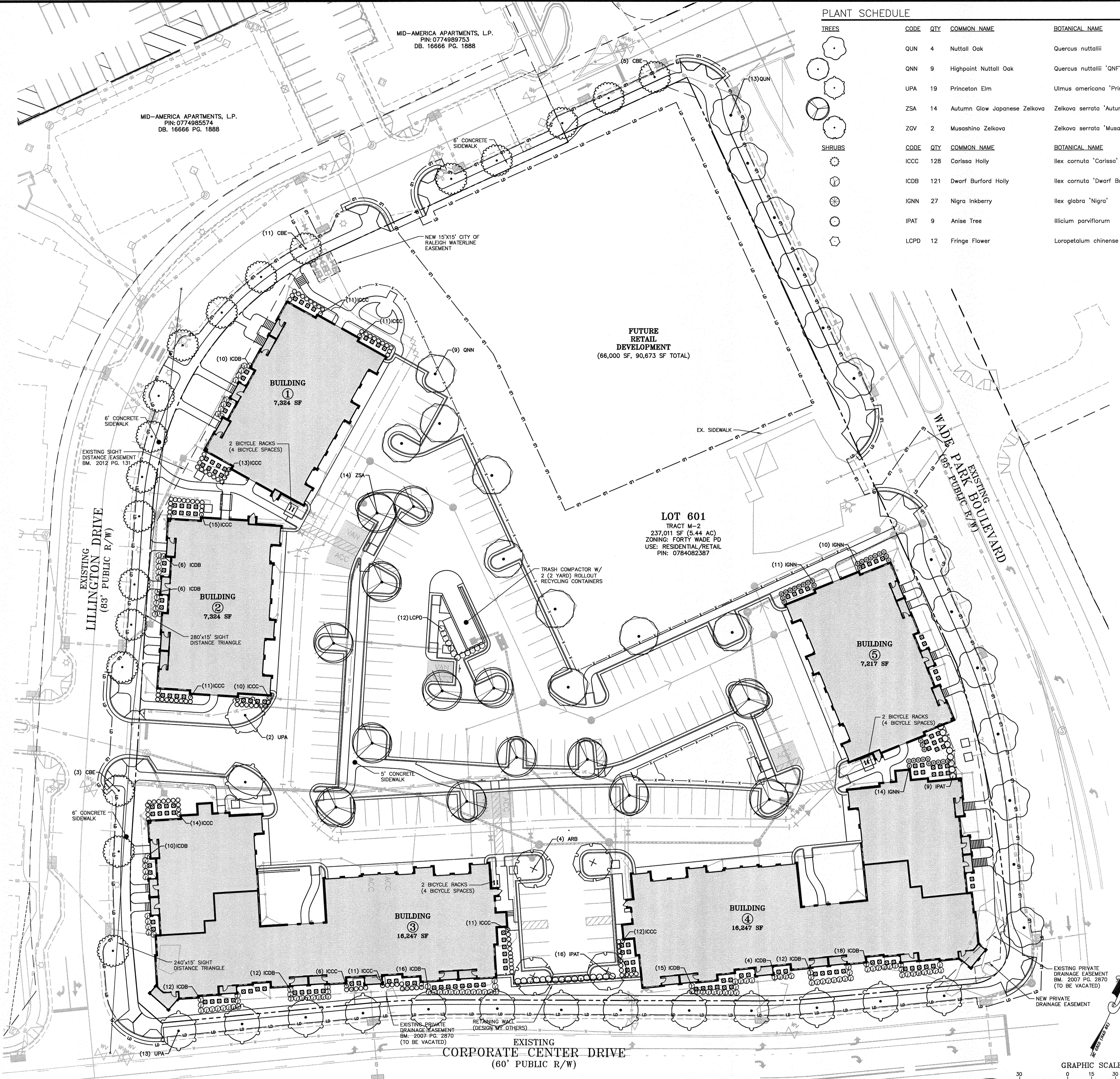
GENERAL LANDSCAPING NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION. CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
- ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
- THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
- VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
- CONTRACTOR SHALL ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
- LANDSCAPE MATERIAL SHALL BE WELL FORMED, VIGOROUS, GROWING SPECIMENS WITH TYPICAL VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF "AMERICAN STANDARDS FOR NURSERY STOCK" AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
- ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
- ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
- CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOIL IF NOT SPECIFICALLY SHOWN ON PLANS.
- CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
- PROPOSED TREES TO BE PLANTED A MINIMUM 20 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
- PROPOSED TREES TO BE PLANTED A MINIMUM 10 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
- CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ADJUST PH AND FERTILITY BASED UPON THE SOIL TEST RESULTS.
- TOPSOIL SHALL BE FROZEN, ALDUT, OR EXCESSIVELY WET.
- TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEIOUS MATERIAL.
- LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 8 INCHES AND APPLY MULCH AMENDMENTS AND FERTILIZERS AS ORDERED BY THE SOIL TEST RESULTS TO ACHIEVE A HEALTHY GROWING MEDIA AND MIX THOROUGHLY INTO TOP 12 INCHES OF SOIL.
- SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER ANNUAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, ALDUT, OR EXCESSIVELY WET.
- IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
- PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- ALL TREE PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIFTLINE. MULCH OR MULCH MIX SHALL COVER THE ROOT FLARE, AND NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
- DO NOT PRUNE TREES BEFORE THE END OF THE PLANTING SEASON. PRUNE BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWAITING, WINDING, OTHER HANDLING AND TYING DAMAGE. DO NOT BEND OR BIND-TIE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
- DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALLED IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UPRIGHT, PROPERLY STAKE TREES AND STANDING UNLINED AND SHAKED. IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE, PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
- SEE LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
- EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
- CONTRACTOR SHALL REMOVE GRUBS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
- REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
- FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTHING SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND RAKE, REMOVE ROGUES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.

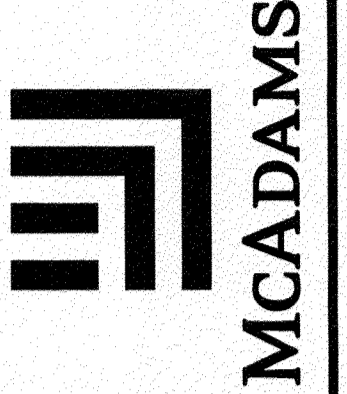


WADE MASTER ASSN INC  
PIN: 0784075929  
DB: 12723 PG: 2650

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REVISIONS:

2017-07-10	REVISED PER FIRST REVIEW COMMENTS
2017-08-21	REVISED PER SECOND REVIEW COMMENTS

DEVELOPER:  
POST WADE TRACT M2 LLC  
4401 NORTHSIDE PARKWAY  
SUITE 800  
ATLANTA, GEORGIA 30327

POST PARKSIDE AT WADE - PHASE III  
ADMINISTRATIVE SITE PLAN  
RALEIGH, NORTH CAROLINA  
LANDSCAPE PLAN

PROJECT NO. PPS-17000  
FILENAME: PPS17000-LS1  
CHECKED BY: LAW  
DRAWN BY: LRS  
SCALE: 1"=30'  
DATE: 06-06-2017  
SHEET NO. LS-1  
McADAMS



NUMBER	DESCRIPTION	COLOR
1	QUEEN BRICK	EARTH-TONE BRICK 1 (DARK)
2	QUEEN BRICK	EARTHTONE BRICK 2 (LIGHT)
3	FIBER CEMENT LAP SIDING	NEUTRAL PAINT 1
4	FIBER CEMENT LAP SIDING	NEUTRAL PAINT 2
5	ARCHITECTURAL ROOF SHINGLE	DARK EARTH-TONE
6	METAL CANOPY	DARK BRONZE
7	FIBER CEMENT PANEL COLUMNS	WHITE, PAINT
8	FIBER CEMENT TRIM BAND	WHITE, PAINT
9	GARAGE DOOR	EARTH-TONE PAINTED METAL
10	D.H. SINGLE WINDOW	WHITE VINYL
11	D.H. DOUBLE WINDOW	WHITE VINYL
12	42" ALUMINUM GUARDRAIL	POWDER COAT BLACK
13	CASED OPENING	WHITE, PAINT
14	FIBER CEMENT METER CENTER	WHITE, PAINT
15	FIBER CEMENT FRIEZE BOARD	WHITE, PAINT
16	D.H. TRIPLE WINDOW	WHITE VINYL

PRELIMINARY  
NOT FOR CONSTRUCTION

POST PARKSIDE AT WADE - PHASE III  
RALLEIGH, NORTH CAROLINA



CONSULTANT LOGO

REV DATE DESCRIPTION

SHEET TITLE  
BUILDING 1 - EXTERIOR ELEVATIONS

DATE  
SCHEMATIC DESIGN  
JUNE 12, 2017

DRAWN	CHECKED	APPROVED
Author	Checker	Approver

PROJECT NO.  
17-110

DRAWING NO.

AE3.10



2 BUILDING 1 - LILLINGTON DRIVE ELEVATION - CE  
AE3.10 SCALE: 1/8" = 1'-0"



3 BUILDING 1 - SOUTH ELEVATION - CE  
AE3.10 SCALE: 1/8" = 1'-0"



4 BUILDING 1 - SURFACE PARKING ELEVATION - CE  
AE3.10 SCALE: 1/8" = 1'-0"



1 BUILDING 1 - NORTH ELEVATION - CE  
AE3.10 SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND		
NUMBER	DESCRIPTION	COLOR
1	QUEEN BRICK	EARTH-TONE BRICK 1 (DARK)
2	QUEEN BRICK	EARTH-TONE BRICK 2 (LIGHT)
3	FIBER CEMENT LAP SIDING	NEUTRAL PAINT 1
4	FIBER CEMENT LAP SIDING	NEUTRAL PAINT 2
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15	FIBER CEMENT FRIEZE BOARD	WHITE, PAINT
16	D.H. TRIPLE WINDOW	WHITE VINYL

PRELIMINARY  
NOT FOR CONSTRUCTION

POST PARKSIDE AT WADE - PHASE III  
RALIEGH, NORTH CAROLINA



CONSULTANT LOGO

REV DATE DESCRIPTION

SHEET TITLE  
BUILDING 2 - EXTERIOR ELEVATIONS

DATE  
SCHEMATIC DESIGN  
JUNE 12, 2017

DRAWN	CHECKED	APPROVED
Author	Checker	Approver

PROJECT NO.  
17-110

DRAWING NO.

AE3.20



1 BUILDING 2 - LILLINGTON DRIVE ELEVATION - CE  
SCALE: 1/8" = 1'-0"



3 BUILDING 2 - SOUTH ELEVATION - CE  
SCALE: 1/8" = 1'-0"



2 BUILDING 2 - SURFACE PARKING ELEVATION - CE  
SCALE: 1/8" = 1'-0"



4 BUILDING 2 - NORTH ELEVATION - CE  
SCALE: 1/8" = 1'-0"



NUMBER	DESCRIPTION	COLOR
1	QUEEN BRICK	EARTH-TONE BRICK 1 (DARK)
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3	FIBER CEMENT LAP SIDING	NEUTRAL PAINT 1
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15	FIBER CEMENT FRIEZE BOARD	WHITE, PAINT
16	D.H. TRIPLE WINDOW	VINYL WINDOW

PRELIMINARY  
NOT FOR CONSTRUCTION

POST PARKSIDE AT WADE - PHASE III  
RALIEGH, NORTH CAROLINA



CONSULTANT LOGO

REV DATE DESCRIPTION

SHEET TITLE  
BUILDING 3 - EXTERIOR ELEVATIONS

DATE  
DESIGN DEVELOPMENT  
JULY 10, 2017

DRAWN	CHECKED	APPROVED
Author	Checker	Approver

PROJECT NO.  
17-110

DRAWING NO.

AE3.30



2 BUILDING 3 - GARAGE PARKING ELEVATION - CE  
SCALE: 1/8" = 1'-0"



1 BUILDING 3 - CORPORATE CENTER DRIVE ELEVATION - CE  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND		
NUMBER	DESCRIPTION	COLOR
1	QUEEN BRICK	EARTH-TONE BRICK 1 (DARK)
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10	D.H. SINGLE WINDOW	WHITE VINYL
11	D.H. DOUBLE WINDOW	WHITE VINYL
12	42" ALUMINUM GUARDRAIL	POWDER COAT BLACK
13	CASED OPENING	WHITE, PAINT
14	FIBER CEMENT METER CENTER	WHITE, PAINT
15	FIBER CEMENT FRIEZE BOARD	WHITE, PAINT
16	D.H. TRIPLE WINDOW	VINYL WINDOW

PRELIMINARY  
NOT FOR CONSTRUCTION

POST PARKSIDE AT WADE - PHASE III  
RALIEGH, NORTH CAROLINA



CONSULTANT LOGO

REV DATE DESCRIPTION

SHEET TITLE  
BUILDING 3 - EXTERIOR ELEVATIONS

DATE  
DESIGN DEVELOPMENT  
JULY 10, 2017

DRAWN	CHECKED	APPROVED
Author	Checker	Approver

PROJECT NO.  
17-110

DRAWING NO.

AE3.31



2 BUILDING 3 - SURFACE PARKING ELEVATION - CE  
SCALE: 1/8" = 1'-0"



1 BUILDING 3 - LILLINGTON DRIVE ELEVATION - CE  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND		
NUMBER	DESCRIPTION	COLOR
1	QUEEN BRICK	EARTH-TONE BRICK 1 (DARK)
2	QUEEN BRICK	EARTH-TONE BRICK 2 (LIGHT)
3	FIBER CEMENT LAP SIDING	NEUTRAL PAINT 1
4	FIBER CEMENT LAP SIDING	NEUTRAL PAINT 2
5	ARCHITECTURAL ROOF SHINGLE	DARK EARTH-TONE
6	METAL CANOPY	DARK BRONZE
7	FIBER CEMENT PANEL COLUMNS	WHITE, PAINT
8	FIBER CEMENT TRIM BAND	WHITE, PAINT
9	GARAGE DOOR	EARTH-TONE PAINTED METAL
10	D.H. SINGLE WINDOW	WHITE VINYL
11	D.H. DOUBLE WINDOW	WHITE VINYL
12	42" ALUMINUM GUARDRAIL	POWDER COAT BLACK
13	CASED OPENING	WHITE, PAINT
14	FIBER CEMENT METER CENTER	WHITE, PAINT
15	FIBER CEMENT FRIEZE BOARD	WHITE, PAINT
16	D.H. TRIPLE WINDOW	WHITE VINYL

PRELIMINARY  
NOT FOR CONSTRUCTION

POST PARKSIDE AT WADE - PHASE III  
RALIEGH, NORTH CAROLINA



CONSULTANT LOGO

REV DATE DESCRIPTION

SHEET TITLE  
BUILDING 4 - EXTERIOR ELEVATIONS

DATE  
SCHEMATIC DESIGN  
JULY 06, 2017

DRAWN	CHECKED	APPROVED
Author	Checker	Approver

PROJECT NO.  
17-110

DRAWING NO.

AE3.40



3 BUILDING 4 - GARAGE PARKING ELEVATION - CE  
SCALE: 1/8" = 1'-0"



2 BUILDING 4 - CORPORATE CENTER DRIVE ELEVATION - CE  
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH LEGEND		
NUMBER	DESCRIPTION	COLOR
1	QUEEN BRICK	EARTH-TONE BRICK 1 (DARK)
2	QUEEN BRICK	EARTHTONE BRICK 2 (LIGHT)
3	FIBER CEMENT LAP SIDING	NEUTRAL PAINT 1
4	FIBER CEMENT LAP SIDING	NEUTRAL PAINT 2
5	ARCHITECTURAL ROOF SHINGLE	DARK EARTH-TONE
6	METAL CANOPY	DARK BRONZE
7	FIBER CEMENT PANEL COLUMNS	WHITE, PAINT
8	FIBER CEMENT TRIM BAND	WHITE, PAINT
9	GARAGE DOOR	EARTH-TONE PAINTED METAL
10	D.H. SINGLE WINDOW	WHITE VINYL
11	D.H. DOUBLE WINDOW	WHITE VINYL
12	42" ALUMINUM GUARDRAIL	POWDER COAT BLACK
13	CASED OPENING	WHITE, PAINT
14	FIBER CEMENT METER CENTER	WHITE, PAINT
15	FIBER CEMENT FRIEZE BOARD	WHITE, PAINT
16	D.H. TRIPLE WINDOW	WHITE VINYL

PRELIMINARY  
NOT FOR CONSTRUCTION

POST PARKSIDE AT WADE - PHASE III  
RALIEGH, NORTH CAROLINA



CONSULTANT LOGO

REV DATE DESCRIPTION

SHEET TITLE  
BUILDING 4 - EXTERIOR ELEVATIONS

DATE  
SCHEMATIC DESIGN  
JULY 06, 2017

DRAWN Author CHECKED Approver APPROVED

PROJECT NO.  
17-110

DRAWING NO.

AE3.41



5 BUILDING 4 - WADE PARK BOULEVARD ELEVATION - CE  
SCALE: 1/8" = 1'-0"



1 BUILDING 4 - SURFACE PARKING ELEVATION - CE  
SCALE: 1/8" = 1'-0"

NUMBER	DESCRIPTION	COLOR
1	QUEEN BRICK	EARTH-TONE BRICK 1 (DARK)
2	QUEEN BRICK	EARTHTONE BRICK 2 (LIGHT)
3	FIBER CEMENT LAP SIDING	NEUTRAL PAINT 1
4	FIBER CEMENT LAP SIDING	NEUTRAL PAINT 2
5	ARCHITECTURAL ROOF SHINGLE	DARK EARTH-TONE
6	METAL CANOPY	DARK BRONZE
7	FIBER CEMENT PANEL COLUMNS	WHITE, PAINT
8	FIBER CEMENT TRIM BAND	WHITE, PAINT
9	GARAGE DOOR	EARTH-TONE PAINTED METAL
10	D.H. SINGLE WINDOW	WHITE VINYL
11	D.H. DOUBLE WINDOW	WHITE VINYL
12	42" ALUMINUM GUARDRAIL	POWDER COAT BLACK
13	CASED OPENING	WHITE, PAINT
14	FIBER CEMENT METER CENTER	WHITE, PAINT
15	FIBER CEMENT FRIEZE BOARD	WHITE, PAINT
16	D.H. TRIPLE WINDOW	WHITE VINYL

PRELIMINARY  
NOT FOR CONSTRUCTION

POST PARKSIDE AT WADE - PHASE III  
RALIEGH, NORTH CAROLINA



CONSULTANT LOGO

REV DATE DESCRIPTION

SHEET TITLE  
BUILDING 5 - EXTERIOR ELEVATIONS

DATE  
SCHEMATIC DESIGN  
JUNE 12, 2017

DRAWN	CHECKED	APPROVED
Author	Checker	Approver

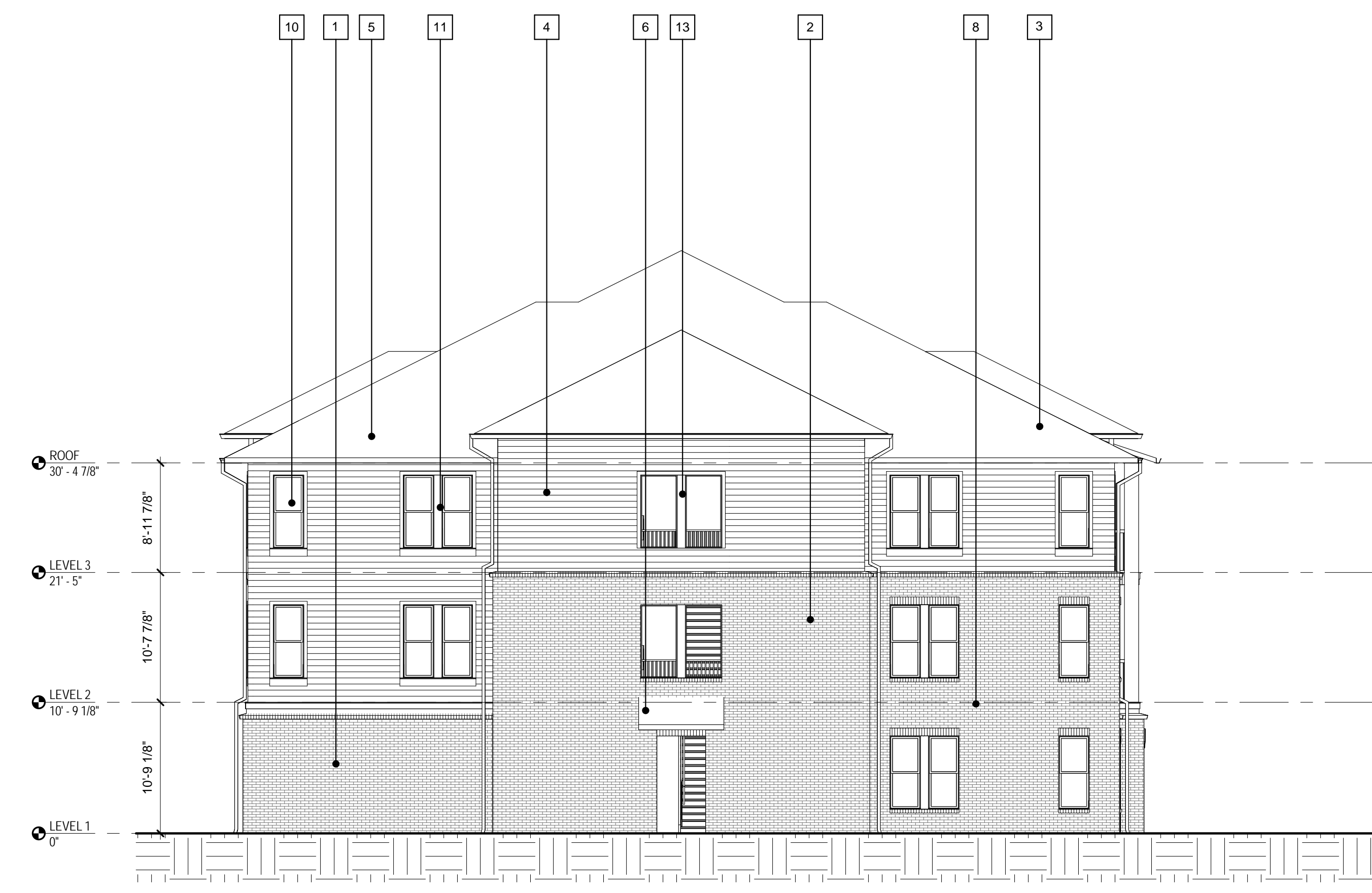
PROJECT NO.  
17-110

DRAWING NO.

AE3.50



1 BUILDING 5 - WADE PARK BOULEVARD ELEVATION - CE  
SCALE: 1/8" = 1'-0"



4 BUILDING 5 - SOUTH ELEVATION - CE  
SCALE: 1/8" = 1'-0"



2 BUILDING 5 - SURFACE PARKING ELEVATION - CE  
SCALE: 1/8" = 1'-0"



3 BUILDING 5 - NORTH ELEVATION - CE  
SCALE: 1/8" = 1'-0"