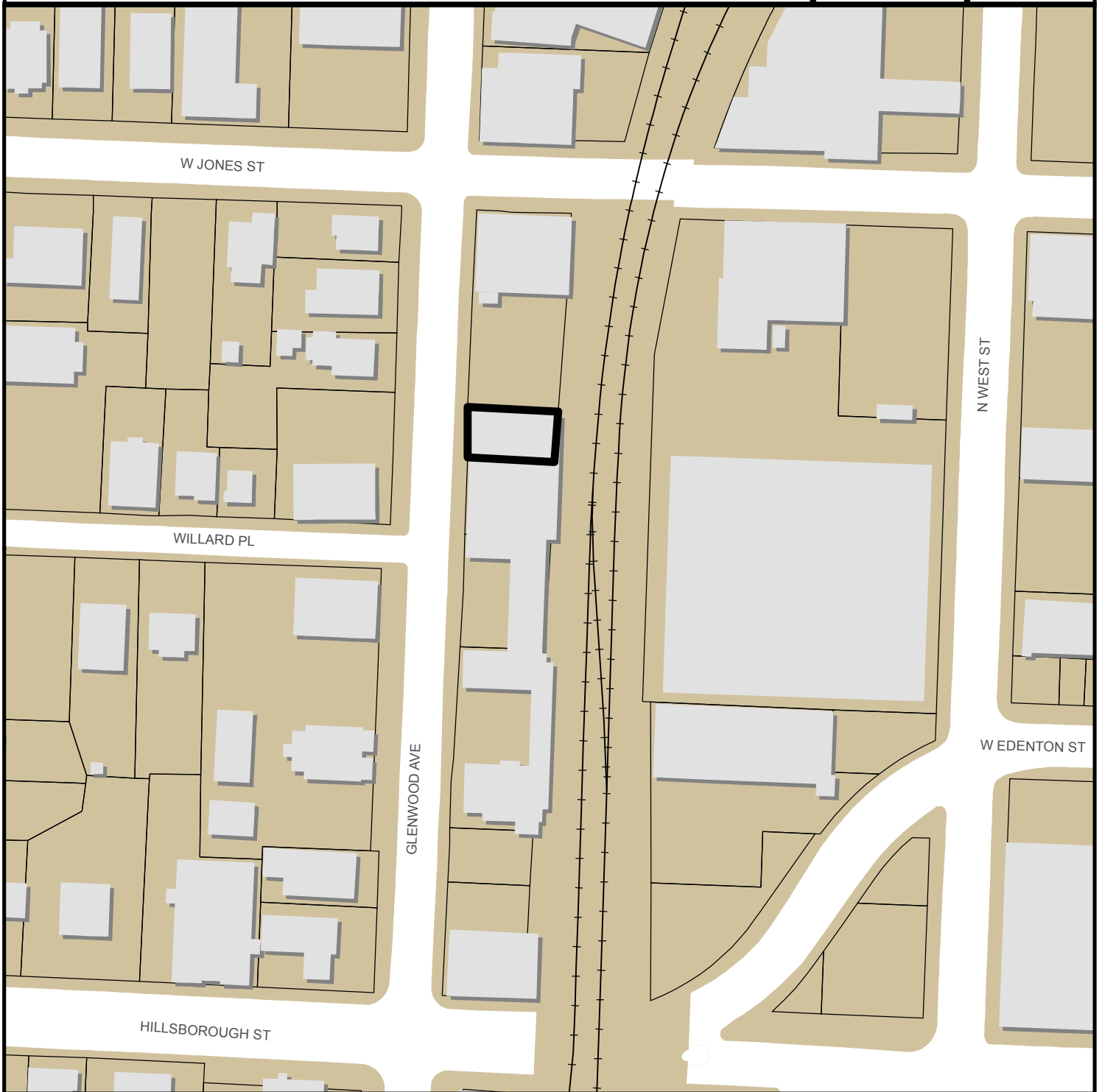


# ASKEW-TAYLOR BUILDING SR-52-2017



Zoning: **DX-7-SH**

CAC: **Hillsborough**

Drainage Basin: **Pigeon House**

Acreage: **0.08**

Sq. Ft.: **5,394**

Planner: **Martha Lobo**

Phone: **(919) 996-2664**

Applicant: **Hometown Sotries,  
LLC**

Phone: **(919) 632-2852**





# Administrative Approval Action

Askew Taylor Building: SR-52-17,  
Transaction# 515959, AA#3728

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site, addressed as 110 Glenwood Avenue, is located on the east side of Glenwood Avenue, north of Hillsborough Street.

**REQUEST:** Change of use, expansion and renovation of an existing 5,394 square foot 2-story building, located on a .08 acre tract of land, zoned Downtown Mixed Use-7-Shopfront (DX-7-SH) . The proposed use for Suite 100 and Suite 200 will be for a bar.

**DESIGN ADJUSTMENT(S)/ALTERNATES, ETC:** Design Adjustment-5-2018 / Staff supports the request not to dedicate additional right-of-way on Glenwood Avenue with this project as the existing building face is on the existing right-of-way line and additional dedication would create an encroachment.

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Matthew Konar Architect.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

### **PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:**

#### **ENGINEERING**

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

### **PRIOR TO ISSUANCE OF BUILDING PERMITS:**

#### **ENGINEERING**

1. A sidewalk deed of easement for any public sidewalk on Private Property shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department.
2. Next Step: In accordance with Part 10A Section 8.1.3, a public infrastructure surety is provided to the City of Raleigh Development Services – Development Engineering program.
3. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.



# Administrative Approval Action

Askew Taylor Building: SR-52-17,  
Transaction# 515959, AA#3728

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

- An encroachment agreement shall be obtained for the steps and any other private improvements in the public right-of-way.

## URBAN FORESTRY

- A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

### Prior to issuance of building occupancy permit:

**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 4/6/2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Director/Designee)

Date: 4/6/18

Staff Coordinator: Martha Y. Lobo


# Design Adjustment Staff Response



**DEVELOPMENT  
SERVICES  
DEPARTMENT**

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.

<b>PROJECT</b>	Project Name	Askew Taylor Building
	Development Case Number	SR-52-2017
	Transaction Number	515959
	Design Adjustment Number	DA - 5 - 2018
<b>STAFF RESPONSE</b>	<b>Staff recommendation based upon the findings in the applicable code(s):</b>	
	<input type="checkbox"/> UDO Art. 8.3 Blocks, Lots, Access	<input checked="" type="checkbox"/> UDO Art. 8.5 Existing Streets
	<input type="checkbox"/> UDO Art. 8.4 New Streets	<input type="checkbox"/> Raleigh Street Design Manual
	Staff <b>SUPPORTS</b> <input checked="" type="checkbox"/> <b>DOES NOT SUPPORT</b> <input type="checkbox"/> the design adjustment request.	
	<b>DEPARTMENTS</b>	
	<input type="checkbox"/> Dev. Services Planner	<input type="checkbox"/> City Planning
	<input checked="" type="checkbox"/> Development Engineering	<input type="checkbox"/> Transportation
	<input type="checkbox"/> Engineering Services	<input type="checkbox"/> Parks & Recreation and Cult. Res.
	<input type="checkbox"/> Public Utilities	
	<b>CONDITIONS:</b>	
Staff supports the request not to dedicate additional right-of-way on Glenwood Avenue with this project as the existing building face is on the existing right-of-way line and additional dedication would create an encroachment.		
Development Services Director or Designee Action: <input checked="" type="checkbox"/> APPROVE <input type="checkbox"/> APPROVE WITH CONDITIONS <input type="checkbox"/> DENY		


DANIEL KING, PE  
ENGINEERING REVIEW MANAGER
4/6/18  
Date

\*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature. Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).

# Staff Response

## Article 8.5 Existing Streets



DEVELOPMENT  
SERVICES  
DEPARTMENT

- A. The requested design adjustment meets the intent of this Article;  
YES  NO
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;  
YES  NO
- C. The requested design adjustment does not increase congestion or compromise safety;  
YES  NO
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and  
YES  NO
- E. The requested design adjustment has been designed and certified by a Professional Engineer.  
YES  NO

### STAFF FINDINGS

Staff supports the request not to dedicate additional right-of-way on Glenwood Avenue with this project as the existing building face is on the existing right-of-way line and additional dedication would create an encroachment. No additional maintenance or safety concerns are presented as this is an existing condition that is to remain.

# Design Adjustment Application



**DEVELOPMENT SERVICES DEPARTMENT**

The purpose of this request is to seek a Design Adjustment from the Development Services Director, or designee, for a specific project only and, if granted, may be approved with special conditions and provisions. This application and all further action shall be consistent with Section 10.2.18 in the Unified Development Ordinance (UDO). The consideration and decision of this request shall be based solely on the conformance of the findings, as outlined in Sec. 8.3.6, Sec. 8.4.1.E and Sec. 8.5.1.G of the UDO or the Raleigh Street Design Manual.

<b>PROJECT</b>	<b>Project Name</b> Askew-Taylor Building	
	<b>Case Number</b>	
	<b>Transaction Number</b> 515959	
<b>OWNER</b>	<b>Name</b> Andrew Martin, Attorney + Agent for Property Owner	
	<b>Address</b> 110 Glenwood Ave	<b>City</b> Raleigh
	<b>State</b> North Carolina	<b>Zip Code</b> 27603
<b>CONTACT</b>	<b>Name</b> Jennifer Truman	<b>Firm</b> Matthew Konar Architect
	<b>Address</b> 611 W Club Blvd	<b>City</b> Durham
	<b>State</b> NC	<b>Zip Code</b> 27701
<b>REQUEST</b>	<b>Phone</b>	
	I am seeking a Design Adjustment from the requirements set forth in the following:	
	<input type="checkbox"/> <b>UDO Art. 8.3 Blocks, Lots, Access</b>	See page 2 for findings
	<input type="checkbox"/> <b>UDO Art. 8.4 New Streets</b>	See page 3 for findings
	<input checked="" type="checkbox"/> <b>UDO Art. 8.5 Existing Streets</b>	See page 4 for findings
<input type="checkbox"/> <b>Raleigh Street Design Manual</b>	See page 5 for findings	
<b>Provide details about the request; (please attach a memorandum if additional space is needed):</b>		
The property owner is requesting a design adjustment to be relieved from dedicating right of way per UDO 8.4.5, UDO 8.3.6. Glenwood Ave. is classified as a Main Street Parallel Parking requiring a 41' curb-curb street on 73' right of way. The existing right of way is recorded as 66'. The existing building at 110 Glenwood Ave, which is proposed to remain and be renovated via Interior Completion fronts along the property line. The front of the existing building is on the existing property line. Therefore the property owner is requesting a design adjustment to be relieved from dedicating additional right of way.		

It is the responsibility of the applicant to provide all pertinent information needed for the consideration of this request. Applicant must be the Property Owner.

By signing this document, I hereby acknowledge the information on this application is, to my knowledge, accurate.

Owner/Owner's Representative Signature

Date

*Andrew S. Martin, Attorney + Agent* *2/12/18*  
*Andrew S. Martin, Attorney and Agent for Property Owner*

### CHECKLIST

Signed Design Adjustment Application	<input checked="" type="checkbox"/> Included
Page(s) addressing required findings	<input checked="" type="checkbox"/> Included
Plan(s) and support documentation	<input type="checkbox"/> Included
Notary page (page 6) filled out; Must be signed by property owner	<input checked="" type="checkbox"/> Included
First Class stamped and addressed envelopes with completed notification letter	<input type="checkbox"/> Included

Submit all documentation, with the exception of the required addressed envelopes and letters to [designadjustments@raleighnc.gov](mailto:designadjustments@raleighnc.gov).

Deliver the addressed envelopes and letters to:  
 Development Services, Development Engineering  
 One Exchange Plaza, Suite 500  
 Raleigh NC, 27601

<b>For Office Use Only</b>	<b>RECEIVED DATE:</b>	<b>DA -</b>
----------------------------	-----------------------	-------------

# Article 8.5 Existing Streets

## Administrative Design Adjustment Findings



DEVELOPMENT  
SERVICES  
DEPARTMENT

---

The Development Services Director may in accordance with *Sec. 10.2.18*, approve a design adjustment, subject to all of the following findings. Describe how each item is met:

- A. The requested design adjustment meets the intent of this Article;  
**without dedicating additional right of way. The intent of the project is to preserve the existing building. No addition or changes to the footprint of the existing building are proposed, therefore the existing right of way of 66' will be maintained.**
- B. The requested design adjustment conforms with the Comprehensive Plan and adopted City plans;  
**the Comprehensive Plan respects the maintenance of existing conditions. Further, this portion Glenwood Ave maintains the 'active frontage and mixed commercial use' as well as parallel street parking of the Main Street typology as outlined in RSDM 4.3.3 with the existing right of way width.**
- C. The requested design adjustment does not increase congestion or compromise safety;  
**the design adjustment requests that existing conditions of right of way remain.**
- D. The requested design adjustment does not create additional maintenance responsibilities for the City; and  
**the design adjustment requests that existing conditions of right of way remain.**
- E. The requested design adjustment has been designed and certified by a Professional Engineer.  
**No design is being proposed, only maintenance of the existing conditions of right of way. A survey by a licensed Professional Land Surveyor is enclosed in the application for reference.**

# Individual Acknowledgement



DEVELOPMENT  
SERVICES  
DEPARTMENT

STATE OF NORTH CAROLINA

INDIVIDUAL

COUNTY OF Wake

I, Cheri A. Reyna, a Notary Public do hereby certify that  
Andrew S. Martin personally appeared before me this day and  
acknowledged the due execution of the forgoing instrument.

This the 12 day of February, 2018.

(SEAL) **CHERIA. REYNA**  
NOTARY PUBLIC  
JOHNSTON COUNTY, N.C.  
My Commission Expires 7-22-2022.

Notary Public Cheri A Reyna

My Commission Expires: \_\_\_\_\_





# Administrative Site Plan Askew Taylor Building 110 Glenwood Avenue Raleigh North Carolina 27603

# #SR-52-17, transaction no. 515959

Drawing List

A0001	Project Information
A0002A	Cover Sheet
A0002A	Interior Completion, Suite 100 and Common Area: Appendix B, Vicinity Map, Site Diagram . FOR REFERENCE ONLY
A0002C	Interior Completion, Suite 210: Appendix B, Vicinity Map, Suite Diagrams . FOR REFERENCE ONLY
A0003	Egress and Life Safety Diagrams and Building Section; UL Detail . FOR REFERENCE ONLY
A0004	Abbreviations and Symbols, Occupancy Diagrams, ANSI Door Clearances . FOR REFERENCE ONLY
Civil Engineering	
no scope of work	
Landscape Architecture	
L0001	Survey
LX101	Existing Site Conditions
LD101	Site Demolition Plan
L0101	Proposed Site Plan
L0201	Exterior Elevation and Section
L0701	Exterior Details
Plumbing	
P2.1	Plumbing Floor Plan . Ground Level . Domestic Water . FOR REFERENCE ONLY

2 Per City of Raleigh, Unified Development Ordinance, Section 1.5.3.C.5:  
'Required outdoor amenity area cannot be parked or driven upon, except for emergency access and permitted temporary events.'

Matthew Konar Architect  
The Farmhouse  
611 W Club Boulevard  
Durham  
North Carolina  
27701  
matthewk@matthewkonar.com  
919.801.9736  
www.matthewkonar.com  
@matthewkonar.com

#SR-52-17  
transaction no. 515959  
PRELIMINARY SET

## Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext: 919-996-1831  
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4290

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE		FOR OFFICE USE ONLY	
<input type="checkbox"/> Detached	<input checked="" type="checkbox"/> General	Transaction Number	
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use	Assigned Project Coordinator	
<input type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot	Assigned Team Leader	
<input type="checkbox"/> Townhouse			
Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #			
GENERAL INFORMATION			
Development Name: <b>Askew-Taylor Building</b>			
Zoning District: <b>DX-7-SH</b>	Overlay District (if applicable):	Inside City Limits? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	
Proposed Use: <b>Bar per UDO; Assembly (A-2) and Business (B) per NCBC</b>			
Property Address(es): <b>110 Glenwood Ave. Raleigh NC, 27603</b> Major Street Locator:			
Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:			
P.I.N. <b>1703496820</b>	P.I.N.	P.I.N.	P.I.N.
What is your project type? <input type="checkbox"/> Apartment <input type="checkbox"/> Elderly Facilities <input type="checkbox"/> Hospitals <input type="checkbox"/> Hotels/Motels <input type="checkbox"/> Office			
<input type="checkbox"/> Mixed Residential <input type="checkbox"/> Non-Residential Condo <input type="checkbox"/> School <input type="checkbox"/> Shopping Center <input type="checkbox"/> Banks <input type="checkbox"/> Industrial Building			
<input type="checkbox"/> Duplex <input type="checkbox"/> Telecommunication Tower <input type="checkbox"/> Religious Institutions <input type="checkbox"/> Residential Condo <input type="checkbox"/> Retail <input type="checkbox"/> Cottage Court			
<input checked="" type="checkbox"/> Other: if other, please describe: <b>Mixed Beverage Private Club</b>			
WORK SCOPE	Per City Code Section 10.2.8.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements. <b>Interior Completion of Suites 100 and 210</b>		
DESIGN ADJUSTMENT OR ADMIN ALTERNATE	Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE.		
CLIENT/DEVELOPER/OWNER	Company: <b>Glenwood 100, LLC</b>		Name (s):
	Address: <b>500 Westover Drive 17443, Sanford, NC 27330</b>		
	Phone: <b>302.645.7400</b>	Email: <b>rbell@delawareinc.com</b>	Fax:
	CONSULTANT (Contact Person for Plans)		
Company: <b>Matthew Konar Architect</b>		Name (s): <b>Matthew Konar</b>	
Address: <b>611 W Club Blvd. Durham, NC 27701</b>			
Phone: <b>919.801.9736</b>	Email: <b>matthewk@matthewkonar.com</b>	Fax:	

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)			
Zoning Information		Building Information	
Zoning District(s) <b>DX-7-SH</b>		Proposed building use(s) <b>Assembly (A-2), Business (B)</b>	
If more than one district, provide the acreage of each:		Existing Building(s) sq. ft. gross <b>4,368 sf</b>	
Overlay District:		Proposed Building(s) sq. ft. gross <b>1,026 sf</b>	
Total Site Acres	Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <b>0.08 acres</b>	Total sq. ft. gross (existing & proposed) <b>5,394 sf</b>	
Off street parking: Required <b>0</b> Provided <b>0</b>		Proposed height of building(s) +/- 30 ft, existing	
COA (Certificate of Appropriateness) case #		# of stories <b>2</b>	
BOA (Board of Adjustment) case # A-		Ceiling height of 1 <sup>st</sup> floor <b>9'-0"</b>	
CUD (Conditional Use District) case # Z-			
Stormwater Information			
Existing Impervious Surface <b>0.08</b> <small>acres/square feet</small>		Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
Proposed Impervious Surface <b>0.08</b> <small>acres/square feet</small>		If Yes, please provide:	
Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No		Alluvial Soils <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
		FEMA Map Panel #	
		Flood Study	
FOR RESIDENTIAL DEVELOPMENTS			
1. Total # Of Apartment, Condominium or Residential Units		5. Bedroom Units: 1br 2br 3br 4br or more	
2. Total # Of Congregate Care Or Life Care Dwelling Units		6. Infill Development 2.2.7	
3. Total Number of Hotel Units		7. Open Space (only) or Amenity	
4. Overall Total # Of Dwelling Units (1-6 Above)		8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	
SIGNATURE BLOCK (Applicable to all developments)			
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.			
I hereby designate <b>Matthew Konar</b> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.			
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.			
Signed: <i>Richard H. Bell, II</i>		Date: <b>19 Feb 2018</b>	
Printed Name: <b>Richard H. Bell, II, Authorized Agent</b>			
Signed: _____		Date: _____	
Printed Name: _____			

Cover Sheet

project no. 0241

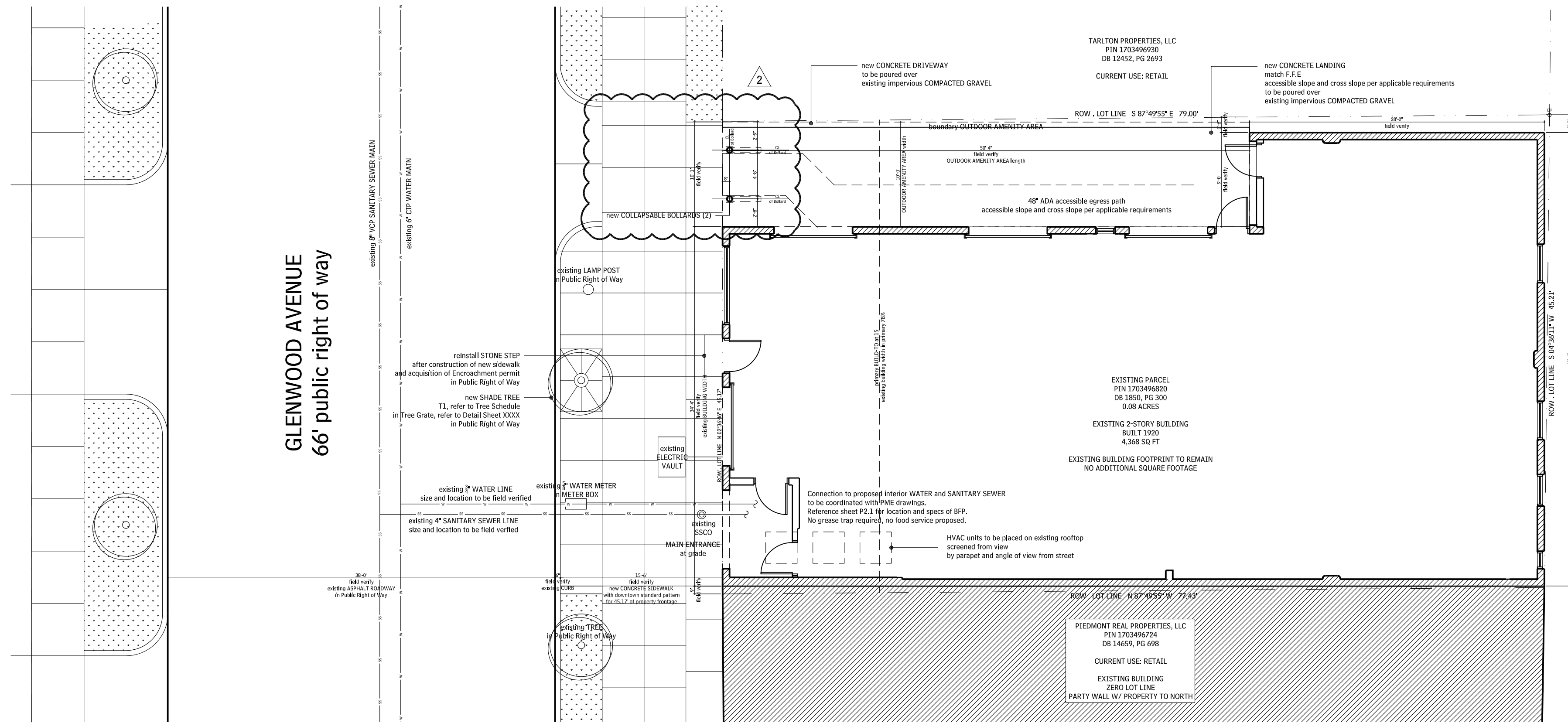
PROJECT  
ASR for Askew Taylor Building  
ADDRESS  
110 Glenwood Avenue  
Raleigh  
North Carolina  
27603

REVISIONS  
20 Feb 2017: Express Review  
16 March 2017: Raleigh Review

SCALE

DATE  
Friday 16 March 2018

A0001

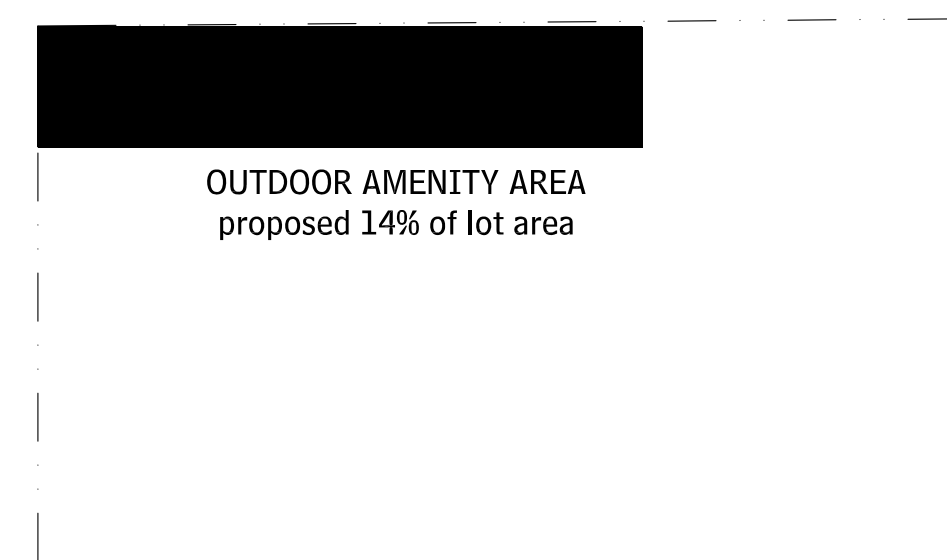


01 Architectural Plot Plan . Proposed  
scale: 1/8" = 1'-0"

TREE SCHEDULE				
#	TYPE	Species	Quantity	Notes
T1	Shade	Queen Elizabeth Hedge Maple	1	in grate
		Acer Campestre		

All trees to be installed and maintained per details on Sheet L0701 and all applicable regulations of City of Raleigh Tree Manual.

03 Tree Schedule  
not to scale



02 Outdoor Amenity Diagram  
scale: 1/16" = 1'-0"

SITE NOTES	
GENERAL NOTES	
1. All work to conform to applicable zoning and building codes, including but not limited to City of Raleigh Unified Development Ordinance, City Tree Manual, Raleigh Street Design Manual, North Carolina Building Code and North Carolina Accessibility Codes (ANSI 117.1 2009 and Chapter 11 NCBC).	
2. General Contractor is responsible for field verification of existing conditions and coordination of discovered discrepancies between proposed drawings and field conditions with Owner, Architect, and City Officials.	
UTILITY NOTES	
1. Utility service areas located outside of the public right-of-way that exceed 42 inches in height and 42 inches in any other dimension must be screened from the public right-of-way, as required per UDO Sec 7.2.5.E..	
2. No exterior lighting, except required egress lighting to be submitted at time of building permit, is proposed in this site plan.	

LEGEND	
	street tree
	grass
	fence
	water line
	sanitary sewer line
	sanitary sewer cleanout
	water meter

SITE NOTES	
EXISTING ZONING USE	PROPOSED ZONING USE
Suite 100 Personal Services: 2,470 sf	Suite 100 Bar: 2,470 sf
Suite 200 Bar: 1,232 sf	Suite 200 Bar: 1,232 sf (no change)
Suite 210 unoccupied	Suite 210 Bar: 1,026 sf
EXISTING PARKING	
Suite 100 Personal Services: 1 parking space per 400 sf Calculated Parking Spaces: 7 parking spaces	
Suite 200 Restaurant/Bar: 1 parking space per 150 sf Calculated Parking Spaces: 9 parking spaces or Seats Shown: 24 total seats Restaurant/Bar: 1 parking space per 5 seats Calculated Parking Spaces: 5 parking spaces Maximum Calculated Parking Spaces: 9 parking spaces TOTAL Calculated Parking Spaces: 16 parking spaces. 0 vehicle spaces required per UDO Section 7.1.3.A.1.d.	
EXISTING SPACES PROVIDED: 0 PARKING SPACES	
PROPOSED PARKING	
Suite 100 Restaurant/Bar: 1 parking space per 150 sf Calculated Parking Spaces: 16 parking spaces or Seats Shown: 64 total seats Restaurant/Bar: 1 parking space per 5 seats Calculated Parking Spaces: 5 parking spaces Maximum Calculated Parking Spaces: 16 parking spaces	
Suite 200 No Change	
Suite 210 Restaurant/Bar: 1 parking space per 150 sf Calculated Parking Spaces: 7 parking spaces or Seats Shown: 44 total seats Restaurant/Bar: 1 parking space per 5 seats Calculated Parking Spaces: 9 parking spaces Maximum Calculated Parking Spaces: 9 parking spaces TOTAL Calculated Parking Spaces: 25 parking spaces. 0 vehicle spaces, required per UDO Section 7.1.3.A.1.d.	
PROPOSED SPACES PROVIDED: 0 PARKING SPACES	
STORMWATER PLAN	
N/A per UDO Section 9.2.2.A.2. Lot is 0.08 acres, recorded in 1968	
N/A per UDO Sect. 9.2.2.A.7. New impervious substituted for old.	
Existing Impervious Area: 3,481 sf or 0.08 acres Proposed Impervious Area: 3,481 sf or 0.08 acres	
GRADING PLAN	
no scope of work	
TREE CONSERVATION PLAN	
N/A per UDO Section 9.1.2. Lot is 0.08 acres.	
LANDSCAPE PLAN	
N/A per UDO Section 7.2.2.B. No additional improved areas.	
N/A per UDO Section 7.2.2.C. Change in Use only.	
OUTDOOR AMENITY AREA	
Required: 10%	
Provided: 503 sf / 3,557 sf = 14%	
EXISTING TRANSPARENCY	PROPOSED TRANSPARENCY
Ground Story Required: 50%	Ground Story Required: 50%
Provided: 109 sf / 355 sf or 31%	Provided: 183 sf / 355 sf or 52%
Upper Story Required: 20%	Upper Story Required: 20%
Provided: 39 sf / 211 sf or 18%	Provided: 39 sf / 211 sf or 18%

Matthew Konar Architect  
The Farmhouse  
611 W Club Boulevard  
Durham  
North Carolina  
27701  
matthewk@matthewkonar.com  
919.801.9736  
www.matthewkonar.com  
@matthewkonar.com

#SR-52-17  
transaction no. 515959  
PRELIMINARY SET

Architectural Site Plan  
Proposed

project no. 0241

PROJECT  
ASR for Askew Taylor Building

ADDRESS  
110 Glenwood Avenue  
Raleigh  
North Carolina  
27603

REVISIONS  
1 20 Feb 2017: Express Review

2 16 March 2017: Raleigh Review

SCALE

DATE  
Friday 16 March 2018

L0101