

Zoning: IX-3, SHOD-1

CAC: South

Drainage Basin: Big Branch

Acreage: **1.74** Sq. Ft.: **10,000** 

Planner: Daniel Stegall
Phone: (919) 996-2712

Applicant: **BK Investments**,

LLC

Phone: (919) 691-1511



**AA#** 3654 **Case File: SR-48-17** 



City of Raleigh Development Plans Review Center One Exchange Plaza Raleigh, NC 27602 (919) 996-2626 www.raleighnc.gov

Case File / Name: SR-48-17 / Tri-Lift NC, Inc.

**General Location:** This site is located west of Virtuous Street and south of the intersection of

Virtuous Street and Generosity Court. This site is located inside the city limits.

CAC: South

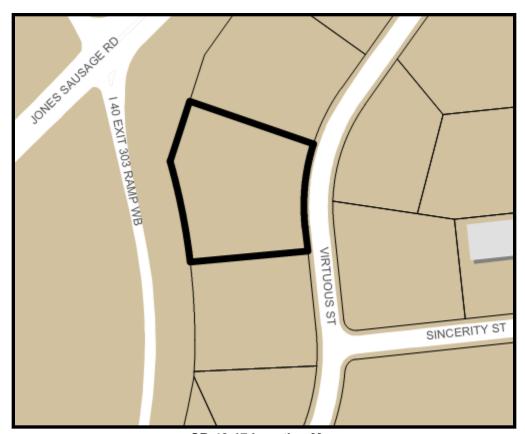
Request: Construction of a 10,000 square light industrial general building, located on a

1.74 acre parcel. The building height is 2-stories at 28' feet. The property is

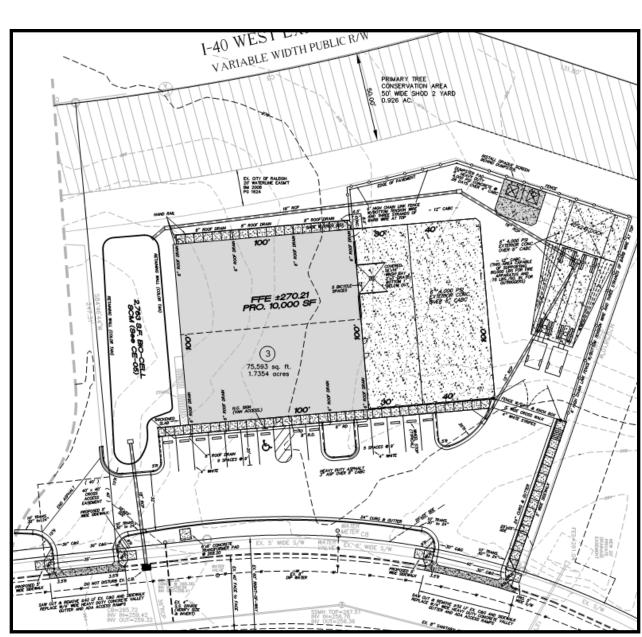
zoned Industrial Mixed Use, 3 stories (IX-3) with SHOD-1.

Cross-

Reference: SR-48-17, Transaction# 513926



**SR-48-17 Location Map** 



SR-48-17 Preliminary Site Plan

**AA#** 3654 Case File: SR-48-17

### **Design Adjustment Staff Response**



Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director, or designee, shall consult with the heads of other City Departments regarding the review of the request. The Development Services Director, or designee, shall approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or

if a detailed engineering study is submitted in conjunction with the request.						
PROJECT	Project Name Tri-Lift NC, Inc.	Date completed Application received 7/13/2017		received 7/13/2017		
PRO	Case Number SR-8-2017		Transaction Number 513926			
DEPARTMENT RESPONSE/RECOMMENDATION	right-of-way and should each of the sites. Thes UDO.  Staff is supportive of the easement required; a fe	REPRESENTATIVE SIGNATURE  REPRESENTATIVE SIGNATURE  KALLY Float  trees subdivision, S-41-2006, recorrects have been constructed and the reconsisting of a 3.5' grass stripe e design adjustments provide complete the signal of the signal prior to building permit to be paid prior to building permit.	DEPARTMENT  City Planning  Transportation  PRCR  rded lots fronting on commercial st d as more development occurs, the orand 5' sklewalks is requiring design insistency within the development the sidewalk (width) to supplement the it.	REPRESENTATIVE SIGNATURE  Irreets with 41' b-b streets on a e decision to maintain the gan adjustments be approved for which was developed prior to the no 5' general utility placement e 5' sidewalk to meet the 6'		
	4		,,,,,,,,,,,,,,,,,,,,,,,,,,,,,,	, <b>-</b>		
	-	NEWWORK W. A	erochie, pe	8/15/2017		
	orized Signature			Date /		
*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.						
CONDITIONS						
Appeal of the decision from the Development Services Director, or his or her designee, shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).						

PAGE 1 OF 1

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**REVISION 1.19.17** 

SR-48-17 Design Adjustment

Code Conformance:		Code Section(s)
Zoning District:	Industrial Mixed Use -3 (IX-3)	<u>2.1</u> , <u>3.1</u>
Overlay District:	SHOD-1: A 50 foot wide Tree Conservation Area of 0.926 acres at the rear of the site abuts the Interstate-40 West Ext Ramp. This area runs the entire length of the site in the rear.	5.1
Parking:	3,542 sqft of office space requires 6 spaces; 6,458 sqft of warehouse space requires 3 spaces; 5 long term bicycle spaces.	7.1.2
Street Type(s):	Virtuous Street is classified as an Industrial Street. A design adjustment was approved to keep consistency with other properties along virtuous street which have 60' of right of way width. No right-of-way will be required.	8.4
Streetscape:	Virtuous Street is a City of Raleigh maintained street. 5 Street trees are provided for 185 feet of road frontage. A fee-in-lieu of will be required for 1' of sidewalk along the entire frontage of Virtuous Street to meet the 6' sidewalk requirement per the Unified Development Ordinance.	8.5
Setbacks/Frontage:	Minimum Building Setbacks: Primary Street = 3' Side Street = 3' Side = 6' Rear = 6'	3.4, 3.2, 2.2
Neighborhood Transitions:	Neighborhood transitions are not required in at this site.	3.5
Transitional Protective Yards:	Transitional protective yards are not required in at this site.	7.2.4
Stormwater:	A proposed bioretention area will be used for both peak runoff rate control and nitrogen reduction with a onetime buydown payment. There are no flood hazards or Neuse Riparian Buffer areas located on site. The parcel is not located within a water supply protected watershed area.	9.2
Tree Conservation:	This site is 1.74 acres in size and therefore exempt from Article 9.1, Tree Conservation. This site is providing 0.926 acres of primary tree conservation area in place of the SHOD-1 yard required on site.	9.1

AA# 3654 Case File: SR-48-17

Variances, Design Adjustments, Administrative Alternates:	A Design Adjustment waiving dedication of right of way in order to maintain 60 feet of right of way without a general utility placement easement throughout the development.  A Design Adjustment permitting the required street trees for Virtuous Street in a planting strip less than 6' in width. (UDO Section 8.5.2 D.)	
Other:	0.21 acres of the site has been designated as amenity area.	

OFFICIAL ACTION: Approval with conditions

### CONDITIONS OF APPROVAL:

#### Prior to issuance of a mass land disturbing permit for the site:

- 1. That prior to issuance of a grading permit, in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;
- 2. That tree protection fencing protecting all tree conservation areas, be installed and inspected on site;

### <u>Prior to the issuance of any site permits, infrastructure construction plans or concurrent review</u> process, whichever is applicable;

- 3. That prior to Site Permitting, a stormwater control plan with a stormwater operations & maintenance manual & budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance;
- 4. That prior to Site Permitting, a nitrogen offset payment must be made to a qualifying mitigation bank;
- 5. That a cross access agreement between lot 4 (PIN #1721480269) owned by APSE40 LLC and lot 3 (PIN#1721480269) owned by Claud R. Bond of BK Investments of Southeast 40 Centre (BM2008 PG1624) subdivision is approved by the Development Services Department for recording in the Wake County Registry, and that a copy of the recorded cross access easement must be returned to the City after recordation;

### Prior to issuance of building permits:

- 6. That prior to Issuance of a building permit, in accordance with UDO 9.2.2, a surety equal to 125% of the cost of construction of a stormwater device shall be paid to the City;
- 7. That prior to Issuance of a building permit, in accordance with UDO 9.2.2, the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities;
- 8. A fee-in-lieu will be required for 1' sidewalk along the entire frontage on Virtuous Street to meet the 6' sidewalk requirement per the UDO;

Case File: SR-48-17

- 9. That a surety be paid to the City for all required street trees;
- 10. That a tree impact permit be approved and obtained from the City;

### Prior to issuance of building occupancy permit:

11. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification for any stormwater control device shall be reviewed and accepted by the City.

I hereby certify this administrative decision.

Signed:

(Planning Dir.) Kannath Bangar

\_ Date: 8/30/2017

Staff Coordinator: Daniel L. Stegall

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS:

City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated July 11, 2017, submitted by Jeff Carter of Stocks Engineering.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring reapproval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 8-30-2020

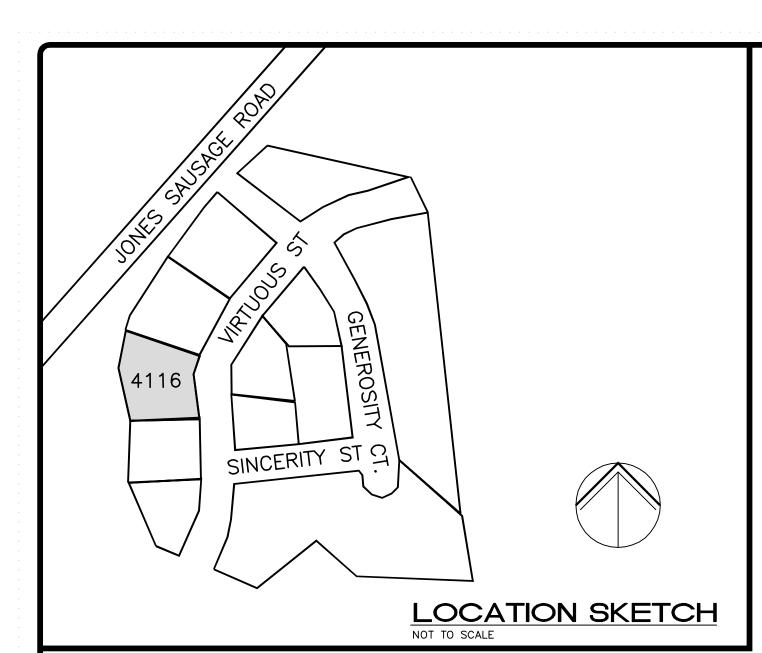
Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

#### WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.



## INDEX

COVER

A-01

CE-01 **EXISTING CONDITIONS** CE-02 SITE PLAN CE-03 UTILITY PLAN CE-04 GRADING/DRAINAGE PLAN **CE-05** SCM DETAIL **CE-06 EROSION CONTROL PLAN** CE-07 NPDES STABILIZATION PLAN **CE-08** LANDSCAPE PLAN TREE CONSERVATION PLAN 1 OF 2 **CE-09** CE-10 TREE CONSERVATION PLAN 2 OF 2 D-01 UTILITY DETAILS D-02 SITE DETAILS I SITE DETAILS II D-03 D-04 GRADING/DRAINAGE DETAILS LANDSCAPE and MISC. DETAILS D - 05D-06 **EROSION CONTROL DETAILS** D-07 MASTER NOTES D-08 **ELEVATION PLAN RENDERING** 

**ELEVATION COLOR RENDERING** 

**COVER SHEET** 

# TRI-LIFT, NC INC.

TRANSACTION #513926 (SR-48-17)

# 4116 VIRTUOUS STREET RALEIGH, N.C. 27529 GIS PARCEL ID# 1721480269

41. The Contractor shall refer to the architectural plans for exact locations and dimensions of

42. Information concerning underground utilities was obtained from available records and field

conditions when possible, but the Contractor must determine the exact location and

which ever is less, contact the Project Engineer prior to proceeding with construction.

43. The Contractor shall include in his contract price the removal and disposal of any excess topsoil he determines is not required to perform the final grading and landscaping

44. The Contractor is responsible for the design and implementation of all required/necessary

the drawings. BK Investments, LLC, City of Raleigh, & Stocks Engineering, P.A.

45. The Contractor shall include in the contract price daily record keeping of the as—built

47. The Land Disturbance Permit must be kept on the work site and shown upon request.

51. TESTING BY Contractor: Contractor shall employ at his expense an outside

condition of all of the underground utilities, construction stakeout associated with the

46. All water line and sewer line installation shall conform to the standards and details of the

48. The Contractor shall include in the contract price all material and labor associated with the

49. The Contractor shall include in the contract price any de—watering necessary to construct

testing of the water and sewer lines required by the State of North Carolina Department of

50. Natural gas is available. Coordinate with City of Raleigh to determine existing location & cost

inspection service for quality control testing during earthwork operations. Copies of results of

Structural Engineer. ——The Testing Service will classify proposed on—site and borrow soils to

the Contractor shall re-compact that layer. The Soil Testing Service shall perform additional

tests at the Contractor's expense to show that the failed layer has reached the required

expense to show that the failed layer has reached the required compaction.

52. COMPACTION: Compact each layer of backfill and fill soil materials and the top 12" lpha

slabs, and pavements and 90% of maximum density for lawns or unpaved areas.

53. The building Contractor and the site work Contractor are to coordinate the installation of

or damage to landscaping. These will be the responsibility of the Developer/Owner.

57. Disturbed area is in excess of 1 acre and formal Sedimentation & Erosion Control plan

approved erosion control plan must be kept on site at all times. The approved

approval was required as a condition of construction plan approval. A copy of the

Sedimentation & Erosion Control Plan should be regarded as minimum requirements;

58. (Construction/Site Plans) Water and Sewer permit applications have been approved by the

59. Copies of all permits and approved plans must be kept on site in a permit box that is

conspicuously located and easily accessible during construction. This includes approved

60. All construction shall be in accordance with all City of Raleigh and NCDENR Standards and Specifications.

construction plans, approved erosion control plans, encroachment agreements, driveway

64. Reference NC 15A, 18C, .0906 for additional crossing information. This criteria shall be met

tests shall be submitted by the Testing Service directly to the Contractor, the Architect, and the

verify that soils comply with specified requirements and to perform required field and laboratory

and building slab areas, the Testing Service shall make at least one field density test for each

testing. (Minimum required soil bearing capacity is noted on the structural drawings). ——In paved

2000 square feet of fill in each compacted fill layer. If a test should fail to meet required density.

compaction. --In foundation wall areas, the Testing Service shall make at least one field density

test for each 100 feet or less of wall length of fill in each compacted fill layer, with no less than

two tests along a wall face. If a test should fail to meet required density, the Contractor shall re-

compact that layer. The Soil Testing Service shall perform additional tests at the Contractor's

subgrade in cut areas to 98% of maximum density as determined by ASTM D698 for structures,

54. Any relocation of existing utilities will be at the cost of the Developer/Owner. The City will not accept

responsibility for damages to curb and gutter or street improvements installed prior to underground

55. Fire department vehicular access to all structures under construction shall be provided at all times. In

56. Address Numbers, both Commercial and Residential, must be posted on the front of the structure nearest to the main entrance in a position to be plainly legible, visible, and unobstructed from the

additional measures shall be put in place as needed to ensure that no sediment is released

services, nor will the City absorb the cost for borings to install underground service, pavement patching

areas where ground surfaces are soft or likely to become soft, hard all weather surface roads shall be

independent Soil Testing Service (approved by the Architect) to perform soil testing and

State of North Carolina Department of Health Construction Permit and City of Raleigh.

sheeting, shoring, and special excavation measures required on the Project to meet OSHA.

Federal, State and Local regulations pursuant to the installation of the work indicated on

elevation of all existing utilities by digging test pits by hand at all utility crossings well in

advance of trenching. If the clearances are less than specified on the plans or 12 inches,

precise building dimensions and exact utility entrance points.

accept no responsibility for the design to install said items.

Health & City of Raleigh.

to bring gas to site.

the Project as shown on the plans.

drainage pipes around the building structure.

provided and maintained.

from the site.

62. Where Waterline Crosses:

crossina.

at all crossinas.

street or road fronting the property.

DENR. Permit numbers are as follows:

permits, water/sewer permits, etc.

Water Permit Number: N/A - Services Only

61. Maintain minimum 3' cover for all water pipe.

minimum of 10' each side of crossing.

63. Where sanitary sewer crosses storm maintain 2' separation.

If this separation cannot be maintained sanitary sewer shall

be class 50 ductile iron pipe for minimum of 10' each side of

A. Sanitary Sewer: Waterline shall cross above and maintain 2'

vertical separation or 10' of horizontal separation. If this separation

cannot maintain or if waterline passes below sewer line then both

waterline and sewer line shall be class 50 ductile iron pipe for a

separation. If this separation cannot be maintained waterline shall

B. Storm Sewer: Where waterline crosses above maintain 1' vertical

separation, where waterline crosses below maintain 2' vertical

be class 50 ductile iron pipe for minimum of 10' each side of

Sewer Permit Number: N/A - Services Only

- 1. Existing Condition and Topographical survey performed by True Line Surveying. Contours shown hereon are from an actual field survey.
- 2. The Contractor shall notify and cooperate with all utility companies or firms having facilities on or adjacent to the site before disturbing, altering, removing, relocating, adjusting or connecting to said facilities. The Owner shall pay all costs in connection with alteration of or relocation of any existing facilities.
- 3. All excavation is unclassified and shall include all materials encountered. 4. All structural fill material shall be free of all sticks, rocks, and clumps of mud. 5. Unusable excavated materials and all waste resulting from clearing and grubbing shall be
- disposed of off-site by the Contractor in an approved solid waste landfill. 6. The proposed building will not be sprinkled.

9. Contractor to furnish all pavement markings as shown.

- 8. Concrete Sub shall be responsible for all score joints and expansion joints. Should a question arise about the proposed pattern consult with the Engineer prior to pouring.
- 10. Location of underground utilities are approximate and must be field verified. Contact the NC One Call Center at least 48 hours prior to digging @ 1.800.632.4949. True Line Surveying surveying has only located the utilities that are above ground at the time of field survey. Underground lines shown hereon are approximate or as reported by various responsible parties. The surveyor does not guarantee that any underground structures such as utilities, tanks and pipes are located hereon.
- 11. All pipe lengths are horizontal distances and are approximate. 12. All work shall comply with all applicable codes, regulations, and/or local standards imposed
- by local utility, & City of Raleigh. 13. All construction and materials shall meet City of Raleigh Public Utility Specifications and Standards, latest edition. All work within NCDOT right-of-way shall meet the specifications
- and standards of NCDOT. 14. All concrete pipe is to be ASTM C-76, Class III with ram-nek.
- 15. Property is located in Flood "X" unshaded per FEMA FIRM PANEL 3720172100J dated May 2, 2006. City of Raleigh — Basin 30 Stream 3.
- 16. All lot dimensions shown are approximate. Consult the boundary survey of actual site
- boundary information. 17. Wetlands and ponds are not present on site.
- 18. The Contractor shall be responsible for all work zone traffic control in or adjacent to NCDOT right-of-way. All signs, pavement markings and other traffic control devices shall conform to the Manual on Uniform Traffic Control Devices (MUTCD), latest edition.
- 19. Prior to placing CABC stone base, the Contractor should notify the Project Engineer to inspect and proof roll the subgrade. Any stone placed without prior approval will be the sole responsibility of the Contractor.
- 20. DESIGN/FIELD CONDITIONS quite easily may vary from that represented in the initial soils report and/or topographical report. Isolated areas may show up weak and adverse soils or groundwater conditions may be discovered that were not revealed during the initial soils investigation. Therefore, the Owner/Client is to be aware that Stocks Engineering, P.A. will not and cannot be held responsible for any failures to either a street or parking lot pavement design unless we can be fully and totally involved in the construction process density, engaging the Design Engineer for the evaluation of the subgrade and for the observation of proof rolling subgrade and base at various steps of construction, opportunity for the Design Engineer to call in a soils Engineer for consultation and advice, etc. — steps which taken altogether with the initial design shown on the plans, constitute the complete design of the road, street of parking area (private or public). The Design Engineer must be given the full latitude and opportunity to complete the design by fully participating in the construction process. Plan design is a small portion of the Design and cannot be separated from the construction process if the Owner's/Client's desire is to have the Design
- Engineer stand behind the completed designed Project. 21. All utility services, (power, telephone, cable, etc.) are proposed to be underground. Do not permanently seed or mulch disturbed areas until all underground utilities have been installed.
- 23. Property is to be served by the City of Raleigh.
- 24. The building setback lines shown on this plat are for the Engineer's use in establishing minimum lot frontages at the setback line and for reserving sufficient building area.
- Building Contractors are to verify lot line setbacks before setting forms or digging footings. 25. Regulatory signs, stops signs and street name signs shall be manufactured from high intensity reflective materials.
- 26. All excess topsoil and unclassified excavation is to be hauled off-site, unless otherwise
- directed by the Owner. 27. All site construction must be inspected by The Project Engineer at the following stages: A. Completion of grading subgrade prior to placing Stone Base.
- B. Completion of Stone placement prior to paving. C. Final inspection when all work is complete. 28. The surveyor did not visibly see any cemeteries in any open areas unless otherwise noted
- 29. This property does not depict encumbrances that are found during a thorough title search. 30. All HVAC units for the proposed building will be screened from public right of way. 31. All curb and gutter to be 24" standard curb and gutter. All curb and Gutter within NCDOT or R/W shall be 30" standard.
- 32. All curb and gutter and sidewalk concrete is to be minimum 3,000 psi at 28 days, air entrained.
- 33. All dimensions are to face of curb unless indicated otherwise. 34. Provide handicap signs, marking and ramps as shown.
- 35. Handicap ramps are to meet "ADA Accessibility Guidelines for Buildings and Facilities" as detailed in the Federal Register, Volume 56, Number 144 dated July 26, 1991, rules and regulations activated January 26, 1992. For additional information, refer to the NC State Building Code Volume 1—C, "Making Buildings and Facilities Accessible to the Useable by the Physically Handicapped", 1991 edition. All street returns to have H.C. Ramps.
- 36. Contractor SHALL NOT POUR any concrete before forms are inspected by the Project Engineer and/or Owner. Any concrete that has not been approved by the Engineer and/or Owner will be the responsibility of the Contractor.
- 37. All areas not covered by building or parking shall be covered with 4" minimum of topsoil, free of root matter and rocks and grassed
- 38. Contractor shall saw-cut to provide smooth transitions where existing asphalt and/or curb and gutter is to be removed.
- 39. The Contractor shall provide all the material and appurtenances necessary for the complete installation of the utilities. All pipe and fittings shall be inspected prior to being covered.
- 40. All handicap spaces are to receive a handicap sign and handicap symbol painted on the asphalt. Note stalls to receive 'van accessible' signage.

### Contractor

Alexander Design Build 205 West Main Street Clayton, N.C. 27520

Phone: 919.324.9261 (Office) Phone: 919.625.0963 (Direct) Contact: Kent Alexander

kent@alexanderdesignbuild.com

## Owner/Developer

BK INVESTMENTS. LLC 3212 Old Sedgefield Way Greensboro, N.C. 27407

Phone: 336.691.1511 Contact: Claud R. Bond bbondetri-liftnc.com

# Civil Engineering:

Stocks Engineering, P.A. 801 East Washington Street Nashville, NC 27856

Phone: 252.459.8196 252.459.8197

Contact: J. Michael Stocks, PE mstocks@stocksengineering.com

# Surveying:

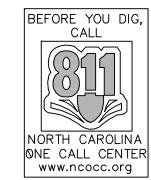
True Line Surveying 205 West Main St. Clayton, N.C. 27520

Phone: 919.359.0427

Contact: Curk Lane, PLS curk \* true line surveying.com

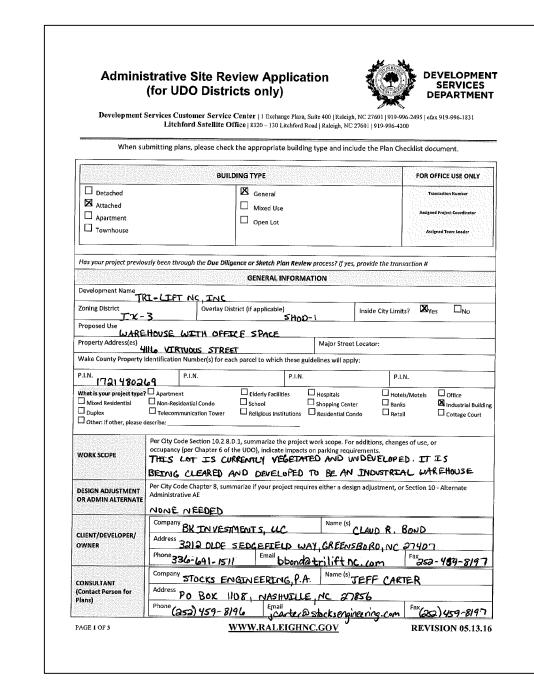
A FEE-IN-LIEU WILL BE REQUIRED FOR 1' SIDEWALK ALONG 155 LF FRONTAGE TO MEET THE 6' SIDEWALK REQUIREMENT.





SOLID WASTE COMPLIANCE STATEMENT

SOLID WASTE WILL BE IN ACCORDANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLD WASTE DESIGN MANUAL AND PER THE CITY OF RALEIGH CODE



DEVELOPMENT TYPE & SITE DATA	DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)					
Zoning information	Building Information					
Zoning District(s) TX-3	Proposed building use(s) WAREHOUSE WOFFICE					
If more than one district, provide the acreage of each: 1,74						
Overlay District SHOD-1	Proposed Building(s) sq. 16 gross 10,000 5F					
Total Site Acres Inside City Limits 2 Yes No	Total sq. lt, gross lexisting & proposed)					
Off street parking: Required 9 Provided 16	Proposed height of building(s)  # of stories  Celling height of 1" Floor # 10"					
COA (Certificate of Appropriateness) case #						
BOA (Board of Adjustment) case # A-						
CUD (Conditional Use District) case # 2-						
	ater information					
Existing Impervious Surface O AC acros/square feet	Flood Rezard Area 🗀 Yes 💹 No					
Proposed Impervious Surface 1.00 acres/square feet	if Ves, please provide:					
Neuse River Buffer Yos 🛭 No Wetlands 🗆 Yes 🖼 N	No FEMA Map Panel fl					
POR RESIDENTY	TAL DEVELOPMENTS					
1. Total # Of Apartment, Condominium or Residential Units	5, Bedroom Units: 1br 2br 3br 4br of more					
2. Total # Of Congregate Care Or Life Care Owelling Units	6, Infill Development 2.2,7					
3. Yotal Number of Hotel Units	7. Open Space (only) or Amenity					
4. Overall Total # Of Dwelling Units (1-6 Above)	8, is your project a cottage court?  Yes No					
	licable to all developments)					
hereby designate <u>STOCKS</u> ENGINEERING, P. A. receive and respond to administrative comments, to result plans on application.	my behalf and to represent me in any public meeting regarding this					
New have read, acknowledge and all Irm that this project is conforming use.  Claud R. Bond  Printed Name  Claud R. Bond  Other Reports	to all application requirements applicable with the proposed development  Date					
Nowe have read, acknowledge and affirm that this project is conforming use.  Signed	Date <u>5/9/17</u>					

**GOVERNING AGENCIES:** 

PLANNING/ZONING:

CONTACT: MICHAEL WALTERS

EMAIL: michael.walters@raleighnc.gov

**ENG./EROSION CONTROL:** 

CITY OF RALEIGH

RALEIGH, NC 27601

CITY OF RALEIGH

ONE EXCHANGE PLAZA

919-516-2168 CONTACT: KEVIN KIDD

EMAIL: kevin.kidd@raleighnc.gov

RALEIGH, NC 27601

919-996-2636

ONE EXCHANGE PLAZA

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COVER

6-12-17 COR COMMENTS

7-11-17 COR COMMENTS

REVISIONS

ELECTRIC: DUKE ENERGY BUSINESS SERVICES

PO BOX 1551 RALEIGH, NC 27602 866-582-6345

UTILITY AGENCIES:

WATER AND SEWER:

CITY OF RALEIGH

919-996-3484

RALEIGH, NC 27601

NATURAL GAS:

PSNC ENERGY - SCANA

COLUMBIA, SC 29202

CONTACT: MIKE KASOPSKI

919-367-2728

ONE EXCHANGE PLAZA

CONTACT: CEASAR SANCHEZ

EMAIL: ceasar.sanchez@raleighnc.gov

FILE NO.	2017-016
HORZ. SCALE:	NONE
VERT. SCALE:	NONE

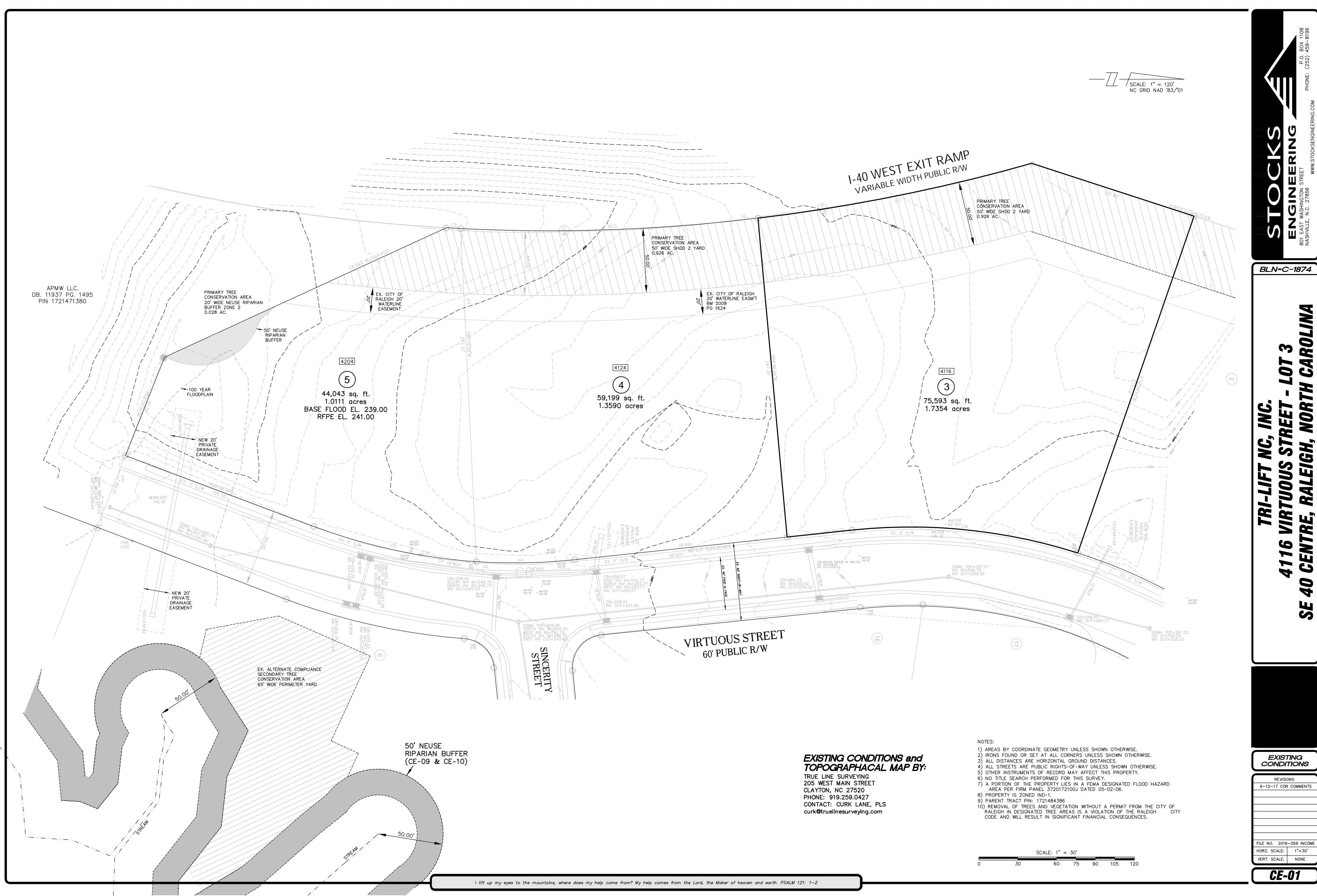
**COVER** 

I lift up my eyes to the mountains, where does my help come from? My help comes from the Lord, the Maker of heaven and earth. PSALM 121: 1-2

CAROLINA INC. NOR NC, TRI-LIF 00 ZE Ш

BLN=C-1874

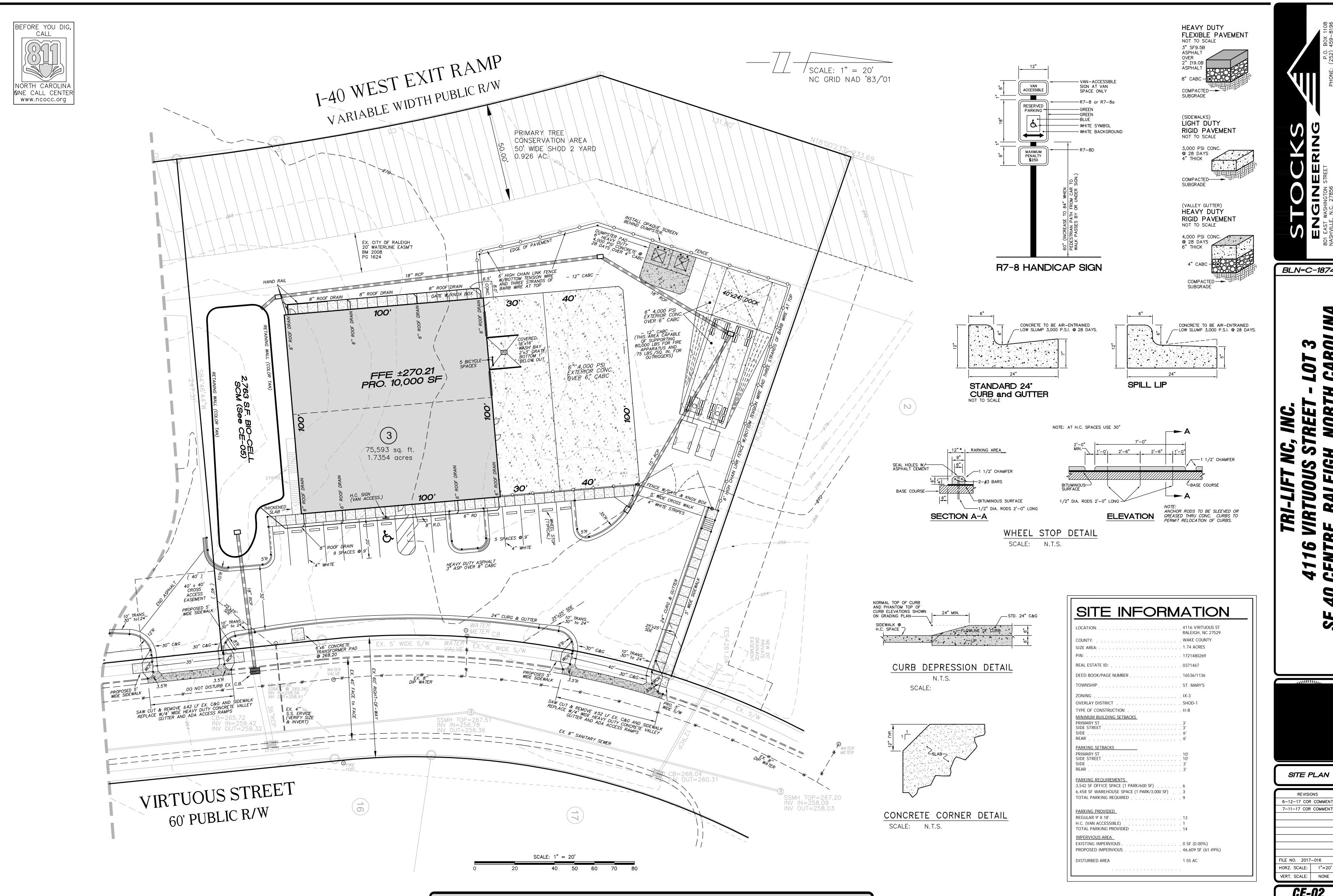
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EXISTING CONDITIONS

6-12-17 COR COMMENTS

FILE NO. 2016-059 INCOME VERT. SCALE: NONE



I lift up my eyes to the mountains, where does my help come from? My help comes from the Lord, the Maker of heaven and earth. PSALM 121: 1-2

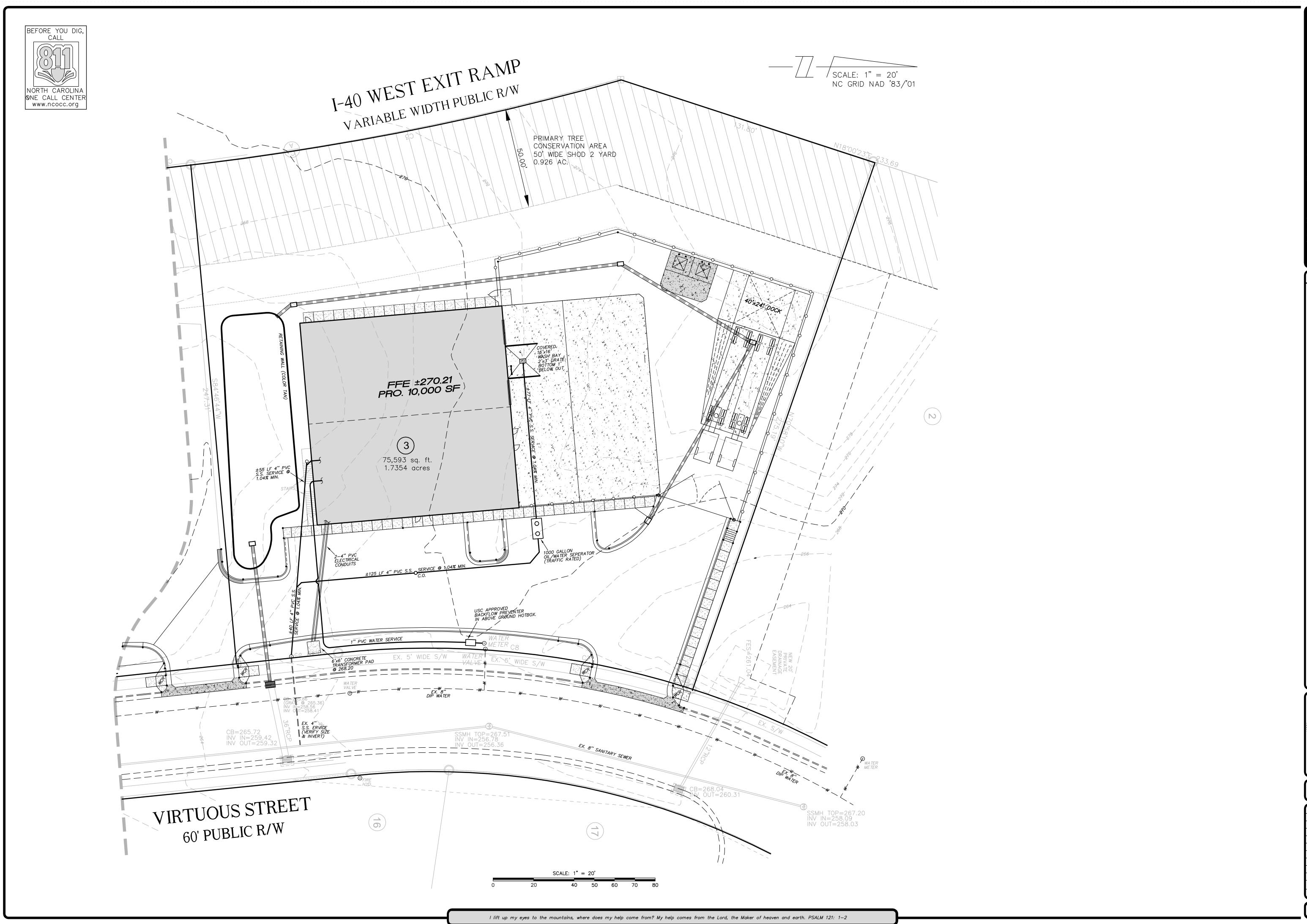
BLN=C-1874

LOT 3 CAROLINA TRI-LIFT Virtuou

SITE PLAN

6-12-17 COR COMMENTS 7-11-17 COR COMMENTS FILE NO. 2017-016

**CE-02** 





BLN=C-1874

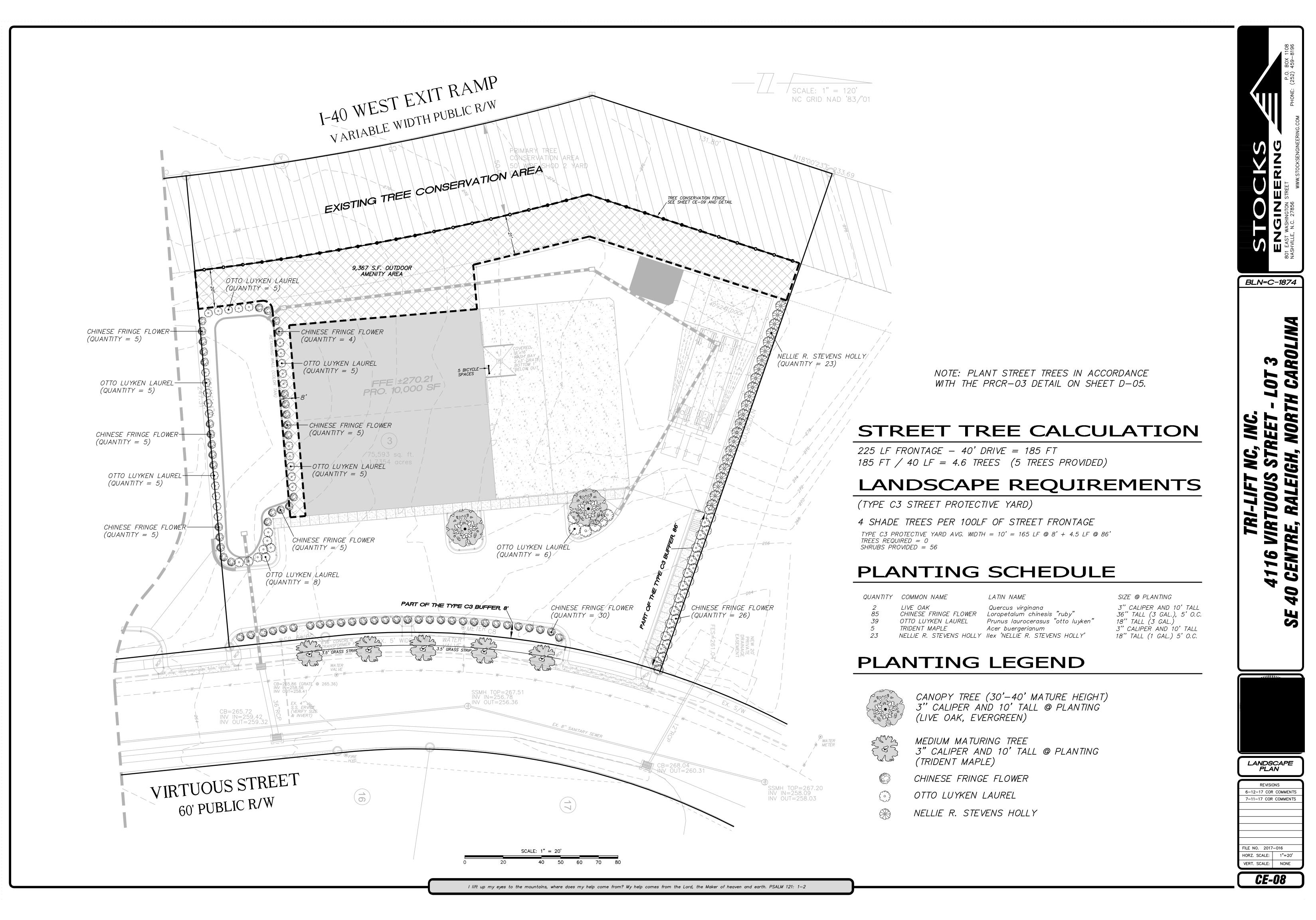
TRI-LIFT NC, INC. 4116 VIRTUOUS STREET - LOT 3 SE 40 CENTRE, RALEIGH, NORTH CAROLINA

UTILITY PLAN

REVISIONS
6-12-17 COR COMMENTS
7-11-17 COR COMMENTS

FILE NO. 2017-016
HORZ. SCALE: 1"=20'
VERT. SCALE: NONE

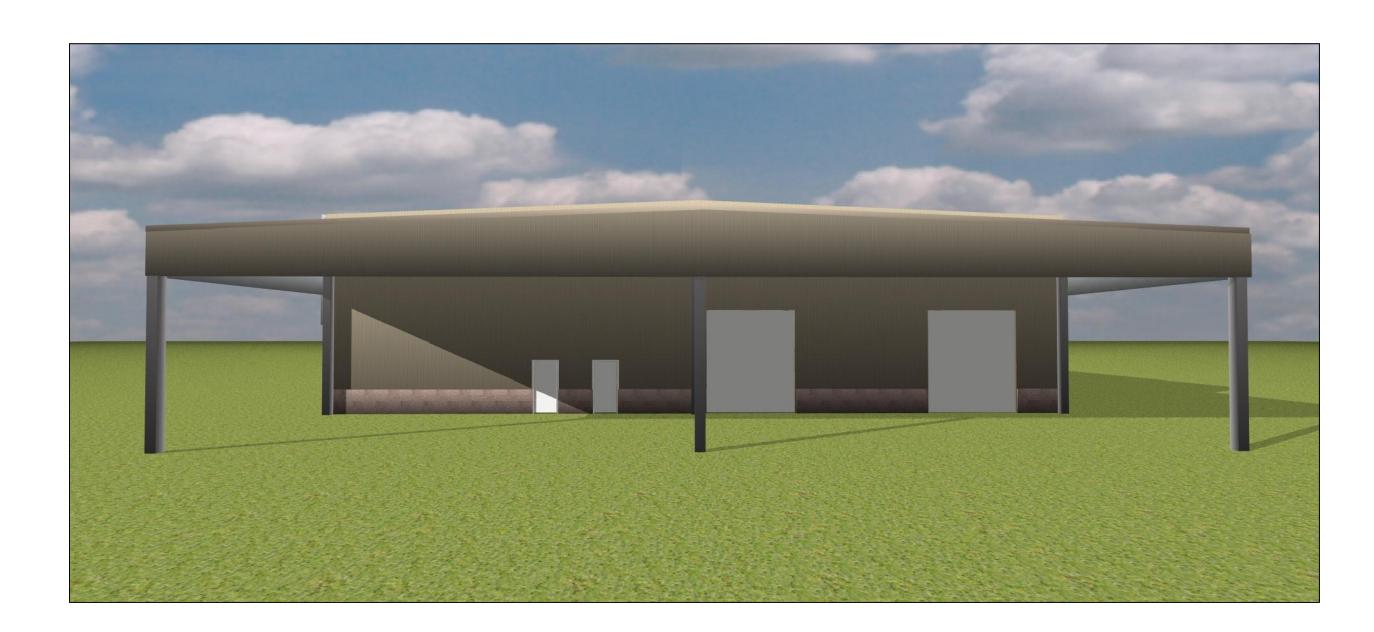
CE-03



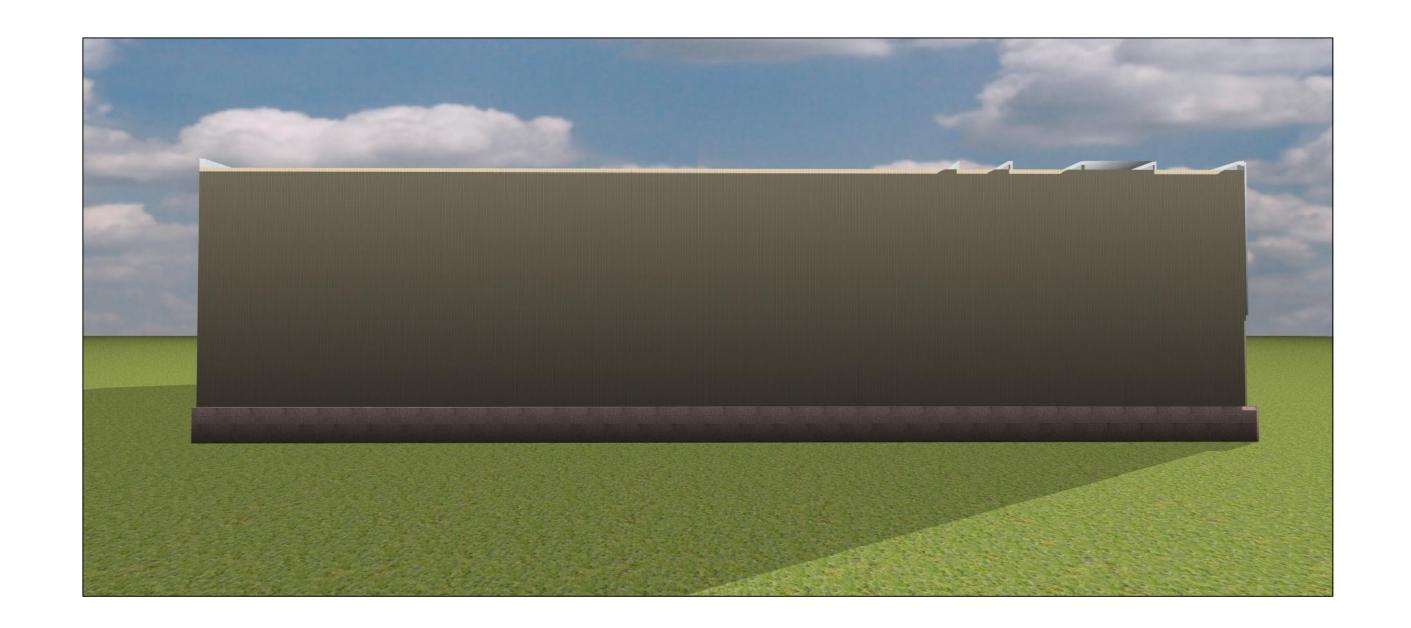
# EAST SIDE



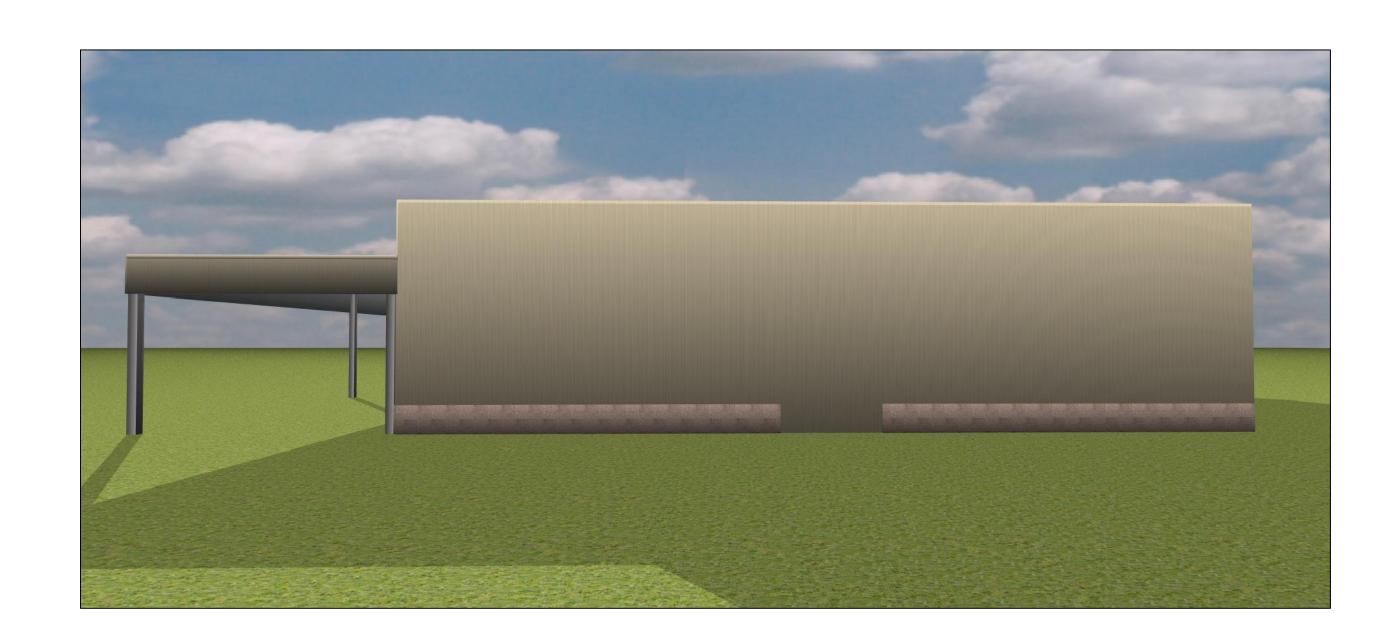
# NORTH SIDE



SOUTH SIDE



WEST SIDE



NOTE: PROPOSED BUILDING HEIGHT IS ±24'.



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4116 VIRTUOUS STREET - LOT 3
CENTRE PAIEIGH MORTH CAROLIN

ELEVATION PLAN RENDERING

FILE NO. 2017-016

D-08

