

BOOKER NORTH PARK SR-41-2017



0 300 600 Feet

Zoning: **RX-3**
CAC: **North Central**
Drainage Basin: **Crabtree Basin**
Acreage: **2.27**
Sq. Ft.: **78,179**

Planner: **Martha Lobo**
Phone: **(919) 996-2664**
Applicant: **J Davis Architects -**
Ken Thompson
Phone: **(919) 835-1500**





Administrative Action Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

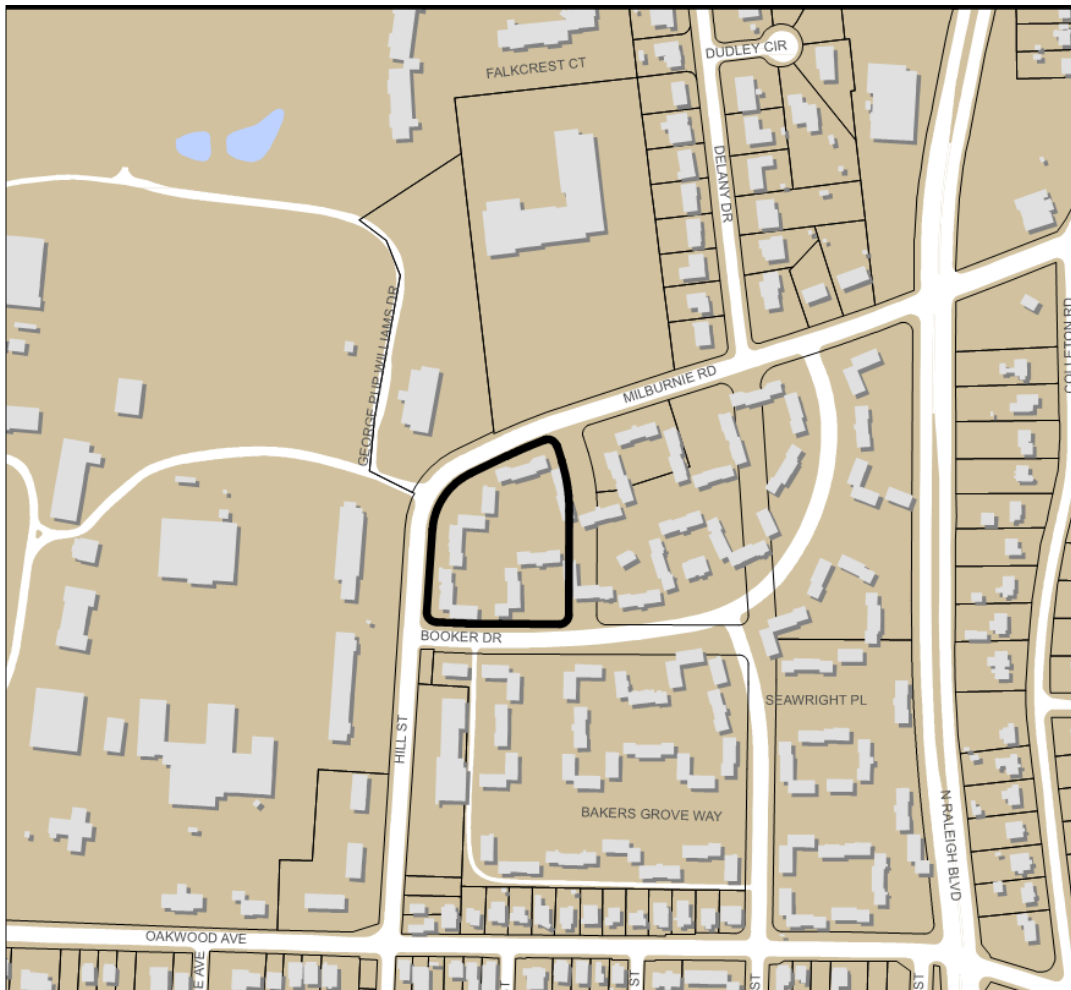
Case File / Name: SR-41-17 / Booker Park North at Washington Terrace (transaction # 510424)

General Location: This site is located on the corner of Hill Street/Milburnie Road and Booker Drive

CAC: North Central

Request: Development of a 78,179 square foot, Civic Building/Congregate Care facility with a maximum height of 50 feet zoned Residential Mixed Use-3 Stories (RX-3). The total number of congregate care dwelling units is 72. This site is located inside of the City limits.

Cross-Reference: S-18-2016 /Washington Terrace Subdivision



SR-41-17 Location Map

Code Conformance:		Code Section(s)
Zoning District:	Residential Mixed-3 Stories (RX-3)	2.1 , 3.1
Overlay District:	N/A	5.1
Parking:	<p><u>Congregate Care</u></p> <p>1 vehicle space required per 3 units + 1 per 400 SF administrative, employee, staff work area</p> <p><u>Group Living: Congregate Care</u> 72 Units x 1 space per 3 units = 24 required parking spaces</p> <ul style="list-style-type: none"> • 24 spaces required <p><u>Administrative</u> 7,500 SF / 1 space per 400 SF of administrative, employee, staff work area = 18.75 required parking spaces</p> <ul style="list-style-type: none"> • 19 spaces required <p><u>Total Vehicle Parking Spaces</u></p> <ul style="list-style-type: none"> • Spaces required = 43 • Spaces proposed = 63 <ul style="list-style-type: none"> - Includes 12 accessible spaces - Includes 51 standard spaces <p>No short-term bicycle parking spaces or long-term bicycle parking spaces required</p> <ul style="list-style-type: none"> • 0 required • 4 provided 	7.1.2
Street Type(s):	<p>Milburnie Road = Avenue 2-Lane Undivided Sunglow Lane = Neighborhood Local Booker Drive = Neighborhood Local</p>	8.4
Streetscape:	<p>Milburnie Road = Residential (Sidewalk and Tree Lawn) Sunglow Lane = Residential (Sidewalk and Tree Lawn) Booker Drive = Residential (Sidewalk and Tree Lawn)</p>	8.5
Setbacks/Frontage:	<p>Booker Drive / Primary Street 10 ft (minimum) - 23.86 ft provided -</p> <p>Milburnie Road / Side Street 10 ft (minimum) - 27.86 ft provided -</p> <p>Sunglow Lane / Side Street 10 ft (minimum) - 19.78 ft provided</p>	3.4 , 3.2 , 2.2

	<p>- Rear yard 0 ft or 6 ft (minimum) - 26.29 ft provided</p> <p>Building height 3 stories/50 ft (maximum) - 47.5 feet provided</p>	
Neighborhood Transitions:	N/A	3.5
Transitional Protective Yards:	<p>Booker Drive: Type C3 Protective Yard at Parking Area Only</p> <p>Sunglow Lane: Type C3 Protective Yard at Parking Area Only</p> <p>Milburnie Road: Type C3 Protective Yard at Parking Area Only</p>	7.2.4
Stormwater:	<p>Site is subject to Stormwater Control Regulations under Article 9.2 of the UDO. In accordance with the approved Subdivision plan (S-18-16) any impervious coverage over the existing allocation will require the site to address runoff and water quality. The site will utilize an underground detention system for runoff control compliance. Site is proposing an underground sand filter with buydown to comply with water quality requirements. No Floodplain or Neuse Buffers exist on the site.</p>	9.2
Tree Conservation:	<p>The subject parcel is 2.27 acres and is subject to Article 9.1, Tree Conservation. Tree Conservation was accounted for through the approval of S-18-16 /Washington Terrace Subdivision, which was required to pay a fee-in-lieu for 1,547.9 square feet of tree conservation.</p> <p>The fee-in-lieu was paid on 01-06-2017 receipt # 444353, prior to plat recordation.</p>	9.1
Variances, Design Adjustments, Administrative Alternates:	N/A	
Other:	N/A	

OFFICIAL ACTION: Approval with conditions

**CONDITIONS OF
APPROVAL:**

Prior to issuance of a land disturbing permit for the site:

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:

2. That a stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, prior to grading or the approval of construction drawings whichever event comes first;
3. That a nitrogen offset payment must be made to a qualifying mitigation bank;
4. That an encroachment agreement for the 15" RCP that ties to the existing catch basin in Booker Street located within the public right-of-way is approved by the City Council by separate action. An application for encroachment into the public right of way as indicated on the preliminary plan, shall be submitted to the City's Encroachment Coordinator in the Development Services Department for review, and that the City Council approve the encroachment request. Following City Council approval of the encroachment, an encroachment agreement, prepared in accordance with Raleigh City Code Sections 12-1001 and 12-1021(a), shall be filed with the Development Services Department, and the encroachment agreement is to be recorded with the Wake County Register of Deeds. Maintenance of the encroachment shall be the responsibility of the owner;

Prior to issuance of building permits:

5. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans;
6. That in accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device is paid to the Public Works Department;
7. That a tree impact permit is obtained from the urban forester in the Parks and Recreation Department for landscaping in the public right-of-way;
8. That a lighting plan showing compliance with UDO Sec 7.1.7.G. and Article 7.4 Site Lighting and Parking Lot Lighting be approved;
9. That a public waterline easement be dedicated to the City of Raleigh as shown on the preliminary plan and a copy of the recorded easement dedication plat be provided prior to building permit issuance;
10. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as

private drainage easements and the plats shall contain the following note: "All private storm drainage easements & stormwater measures will be maintained by the property owner";

11. That a fire flow analysis, sealed by an engineer, is required with a hydrant flow test using either NCFC Appendix B or other approved method;

Prior to issuance of building occupancy permit:

12. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate;
13. That acceptance of downstream water and sewer systems for maintenance by the City of Raleigh shall occur.

I hereby certify this administrative decision.

Signed: (Planning Director) Kenneth Bauer Date: 8/29/2017
(25)

Staff Coordinator: Martha Y Lobo

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS: City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 8/21/2017, submitted by Jdavis Architects.

EXPIRATION DATES: **The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan.** If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 8-29-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

SR-41-17 / TA# 510424

References: S-18-2016 & BM2017, PG 701

Administrative Site Review

1st Submittal: April 12, 2017
2nd Submittal: May 26, 2017

Booker Park North

at Washington Terrace

1901 Booker Drive
Raleigh, North Carolina 27610

Application

Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | ext. 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

Form with fields for Building Type (Detached, Attached, Apartment, Townhouse, General, Mixed Use, Open Lot) and For Office Use Only (Transaction Number, Assigned Project Coordinator, Assigned Team Leader).

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name Booker Park North

Zoning District RX-3 Overlay District (if applicable) N/A Inside City Limits? Yes No

Proposed Use CONGREGATE CARE SENIOR LIVING

Property Address(es) 1901 BOOKER DR Major Street Locator: Booker Dr/Milburnie Rd

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N. 1714317309 P.I.N. P.I.N. P.I.N.

Form with fields for What is your project type? (Mixed Residential, Duplex, Other, Apartment, Non-Residential Condo, Telecommunication Tower, Elderly Facilities, Religious Institutions, Hospitals, Shopping Center, Residential Condo, Hotels/Motels, Banks, Retail, Office, Industrial Building, Cottage Court)

WORK SCOPE Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.

Development of Congregate Care facility within Washington Terrace.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act

CLIENT/DEVELOPER/OWNER Company DHIC, INC. Name (s) Michael Rodgers

Address 113 S. Wilmington St., Raleigh, NC 27601

Phone (919) 832-4345 Email Michael@dhic.org Fax

CONSULTANT (Contact Person for Plans) Company JDavis Architects Name (s) Ken Thompson

Address 510 S. Wilmington St., Raleigh, NC 27601

Phone 919-835-1500 Email kent@jdavisarchitects.com Fax 919-835-1510

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information Building Information

Zoning District(s) RX-3 Proposed building use(s) Congregate Care (Civic)

If more than one district, provide the acreage of each: 2.27 AC Existing Building(s) sq. ft. gross 0 SF

Overlay District N/A Proposed Building(s) sq. ft. gross 78,179 SF

Total Site Acres Inside City Limits Yes No Total sq. ft. gross (existing & proposed) 78,179 SF

Off street parking: Required 43 Provided 63 Proposed height of building(s) 50 FT

COA (Certificate of Appropriateness) case # N/A # of stories 3 Stories

BOA (Board of Adjustment) case # A- N/A Ceiling height of 1st Floor 8 FT

CUD (Conditional Use District) case # Z: N/A

Stormwater Information

Existing Impervious Surface 32,228 SF acres/square feet Flood Hazard Area Yes No

Proposed Impervious Surface 60,500 SF acres/square feet If Yes, please provide: Allowal Soils FEMAP Map # Flood Study

Neuse River Buffer Yes No Wetlands Yes No

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units 0 5. Bedroom Units: 1br 58 2br 14 3br 0 4br or more 0

2. Total # of Congregate Care Or Life Care Dwelling Units 72 6. Infill Development 2.2.7 N/A

3. Total Number of Hotel Units 0 7. Open Space (only) or Amenity 0

4. Overall Total # of Dwelling Units (1-6 Above) 72 8. Is your project a cottage court? Yes No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate Ken Thompson to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

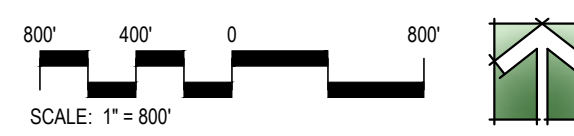
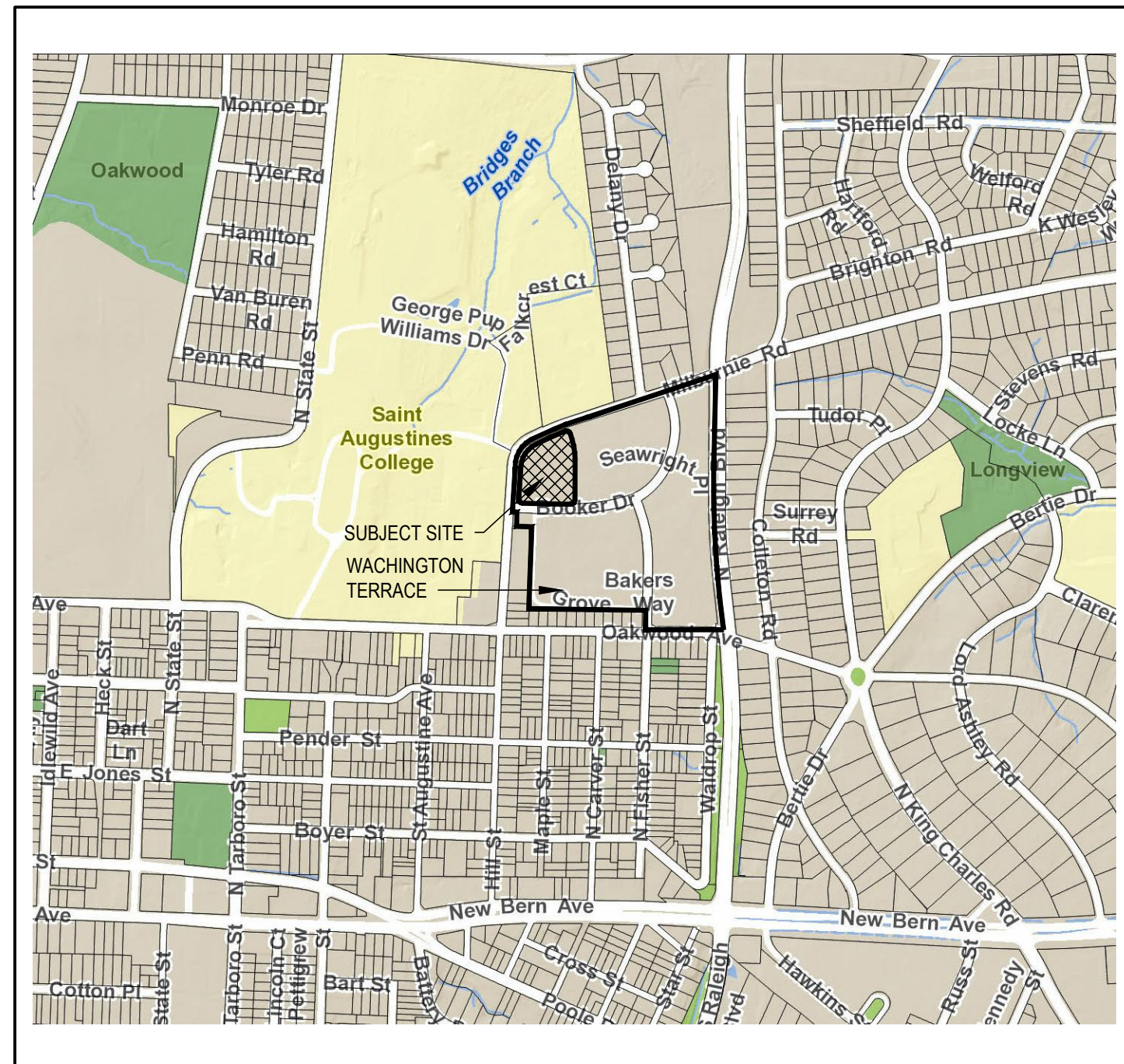
Signed [Signature] Date April 5, 2017

Printed Name Natalie Pitt, Vice President

Signed Date

Printed Name

Vicinity Map



5/26/2017 8:40 AM P:\land\1619-W_Booker_North\leg-LP\1619-Cover01.dwg

Project Team

OWNER: College Park Collaborative
c/o DHIC, Inc.
113 South Wilmington Street
Raleigh, North Carolina 27601
919-832-4345
Michael@dhic.org

CONSULTANTS: landscape architect
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510 South Wilmington Street
Raleigh, North Carolina 27601
919-835-1500
919-835-1510 (fax)
kent@jdavisarchitects.com

engineer
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919-438-3694
sean@grounded-engineering.com

DEVELOPER: DHIC, Inc.
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Michael@dhic.org

architect
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510 Glenwood Avenue, Suite 201
Raleigh, North Carolina 27603
919-835-1500
919-835-1510 (fax)
noahm@jdavisarchitects.com

surveyor
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919-851-4422
919-851-8968 (fax)
robbie.bell@bnkinc.com

Sheet Index

Table with 2 columns: Description and Sheet Number. Includes COVER (0), EXISTING RECORDED MAP (1), PROJECT NOTES (C-001), EXISTING CONDITIONS (C-100), SITE PLAN (LS1.1), LANDSCAPE PLAN (LP1.1), DUMPSTER AND LANDSCAPE DETAILS (LP3.1), GRADING & STORM PLAN (C-500), STORMWATER SAND FILTER (C-600), STORMWATER DETENTION VAULT (C-610), UTILITY PLAN (C-700), BUILDING EXTERIOR ELEVATIONS (A3.01).

Tree Conservation

- 1. TREE CONSERVATION PLAN WAS APPROVED DURING WASHINGTON TERRACE - PHASE 1, CONCURRENT REVIEW TA # 484082.
2. FEE-IN-LIEU PAYMENTS FOR 1,547.9 SQUARE FEET OF TREE CONSERVATION AREA WAS PAID ON JANUARY 06, 2017, TAG #49836, RECEIPT # 444333.

Solid Waste Inspection Statement

- 1. SOLID WASTE SERVICES ARE TO BE PROVIDED BY PRIVATE VENDOR.
2. THE DEVELOPER WILL COMPLY WITH ALL REQUIREMENTS SET FORTH IN THE SOLID WASTE MANUAL.
3. THIS PROJECT HAS SHARED DUMPSTERS AND RECYCLING FACILITY FOR SOLID WASTE AND SINGLE-STREAM RECYCLING.

General Notes

- 1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INTERFERENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCD (MOST CURRENT EDITION).
4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
6. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED 2 WEEKS PRIOR MINIMUM TO THE START OF THE WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGH.GOV AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGH.GOV.
7. ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK, PRIOR TO THE START OF THE WORK.
8. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
9. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
10. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
11. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).
12. IF UNDESIRABLE CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES ENGINEERING INSPECTORS AT (919) 996-2409.
13. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING WITH THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMITTING COORDINATOR AT (919) 996-2403.
14. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THE DEVELOPMENT.
15. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
16. ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY BASS, NIXON & KENNEDY, IN (BNK) IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN JANUARY 2015, MARCH 2015, AND JANUARY 2016. SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN FEBRUARY 2016 AND APRIL 2017.
17. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED ON WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
18. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28 MINIMUM.
19. UNLESS NOTED, ALL DIMENSIONS SHOWN ARE TO BACK OF CURB.
20. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
21. GROUND-MOUNTED MECHANICAL EQUIPMENT MUST ADHERE TO THE SCREENING REQUIREMENT OF SEC. 7.2.5.D.4. AND IS NOT LIMITED TO BEING VISIBLE FROM THE PUBLIC RIGHT OF WAY.
22. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
23. HANDICAP PARKING SPACE(S) AND HC ACCESSIBLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) (PITCH) IN ANY DIRECTION(S) AS PER ADA STANDARDS.
24. PROVIDE SIGNAGE AND STRIPPING OF HANDICAP SPACES AS PER ADA STANDARDS.
25. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
26. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENROACH ON THIS MINIMUM CORNER CLEARANCE.
27. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROVIDE STANDARDS AND ADA SPECIFICATIONS.
28. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS AND SHALL BE COMPLY WITH 2012 ICCSBC AND ICC A117.1-2009.
29. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.

Vertical sidebar containing logos for JDAVIS, dhic, and DHIC Inc. Booker Park North at Washington Terrace, Raleigh, North Carolina 27610. Includes a PRELIMINARY stamp and a table for project details: PROJECT: DHIC-16049, ISSUE: Admin. Site Review, DATE: 04.07.2017, 04.12.2017, REVISIONS: 1st Review Comments, 05.26.2017, DRAWN BY: KT, SB, CHECKED BY: KT, CONTENT: SITE PLAN, and a large number 0 at the bottom.

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
REFER TO SHEET C-001 FOR PROJECT AND SHEET SPECIFIC NOTES.

4909 Lees Road
Raleigh, NC 27606
919.438.3691 (O)
Firm License C-8898

grounded
ENGINEERING

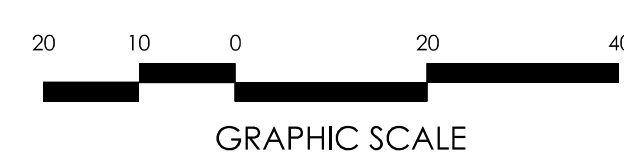
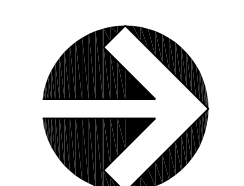
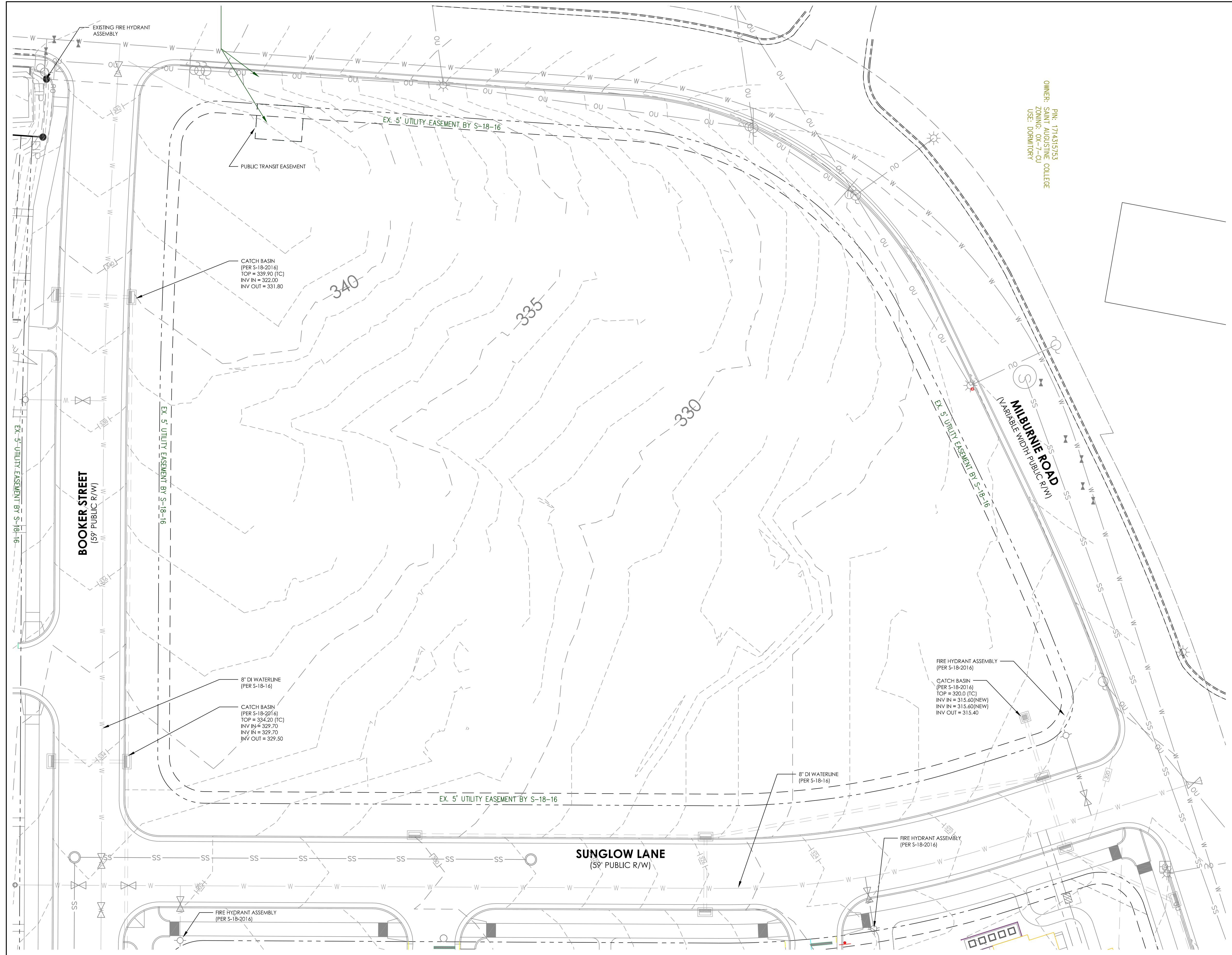
BOOKER PARK NORTH
ADMINISTRATIVE SITE REVIEW
EXISTING CONDITIONS PLAN

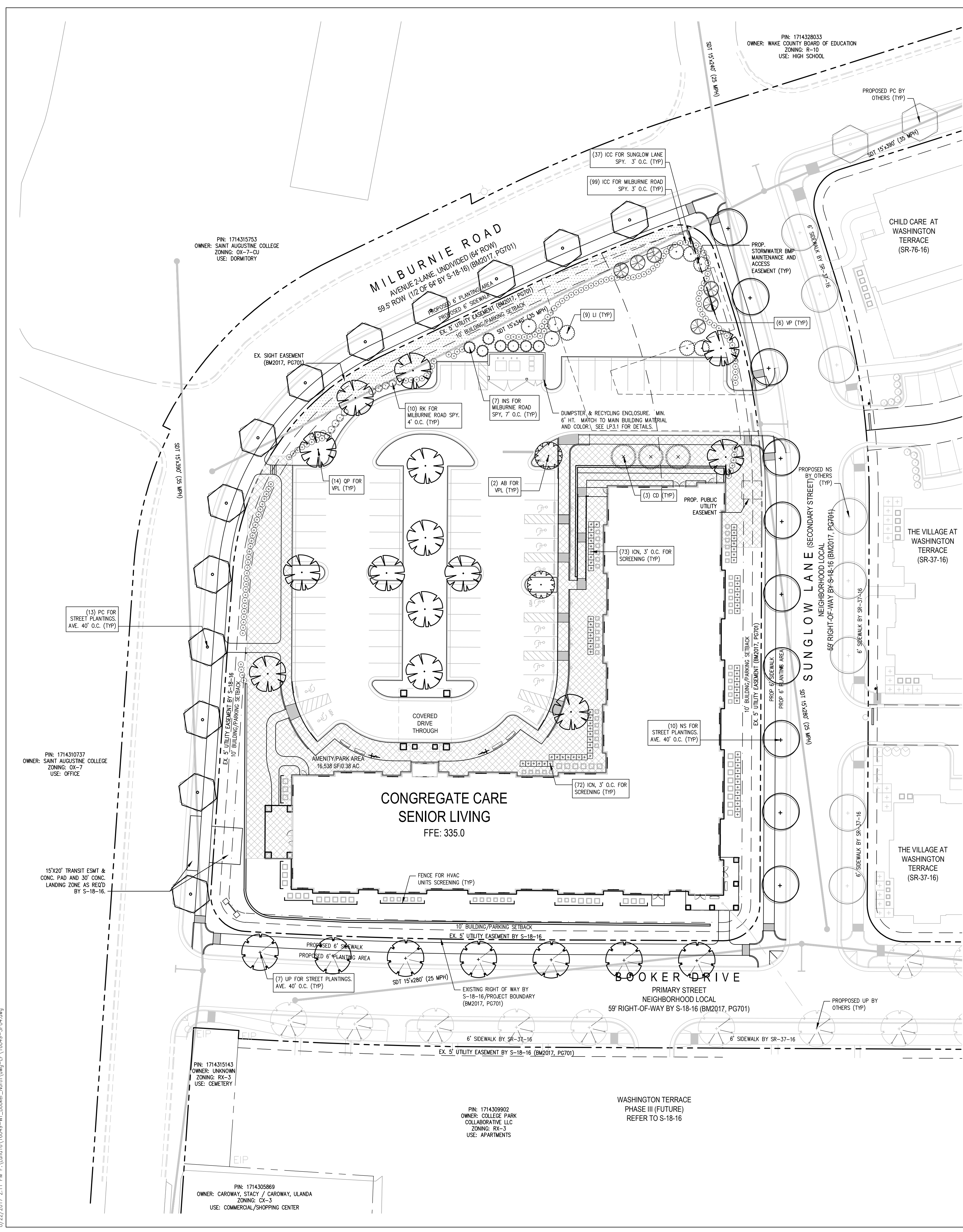
ISSUE DATE	SUBMITTAL DESCRIPTION
04.07.2017	0 - INITIAL SUBMITTAL TO CITY OF RALEIGH
05.26.2017	1 - REV. PER CITY OF RALEIGH REVIEW

PROJECT #
16036
SHEET #
C-100

LEGEND

— W —	EXISTING WATERLINE
— SS —	EXISTING SANITARY SEWER
- - - - -	EXISTING STORM DRAINAGE
- - - - - G - - - - -	EXISTING GAS LINE/SERVICE
- - - - - FO - - - - -	EXISTING FIBER OPTIC LINE
- - - - -	EXISTING UNDERGROUND ELECTRICAL LINE/SERVICE
— OU —	EXISTING OVERHEAD UTILITY LINE
- - - - -	EXISTING CONTOUR LINE (MAJOR)
- - - - -	EXISTING CONTOUR LINE (MINOR)
- X -	EXISTING FENCE
○	EXISTING SANITARY SEWER MANHOLE
⊕	EXISTING FIRE HYDRANT
⊕	EXISTING WATERLINE VALVE
⊕	EXISTING WATER METER
⊕	EXISTING GAS VALVE
⊕	EXISTING UTILITY POLE
⊕	EXISTING LIGHT POLE
— GW —	EXISTING GUY WIRE
⊕	EXISTING SIGN
○	EXISTING PROPERTY CORNER





- LANDSCAPE NOTES**
- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION
 - THE PLAN DEPICTS REQUIRED PLANTINGS REQUIRED BY THE CITY OF RALEIGH.
 - ALL PLANT MATERIAL TO COMPLY WITH AMERICAN STANDARD FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
 - LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
 - ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE CITY OF RALEIGH.
 - ALL PLANTING BEDS ARE TO BE MULCHED TO A MINIMUM DEPTH OF 3".
 - ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
 - ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.
 - A TREE IMPACT PERMIT IS REQUIRED PRIOR TO ISSUANCE OF ANY BUILDING PERMITS.
 - STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.

SEE LS.3.1 FOR CITY OF RALEIGH LANDSCAPE DETAILS AND NOTES.

City of Raleigh UDO Landscape & Screening Requirements
 Project: Booker Park North
 Date: 04.06.2017 (Rev. 05.25.2017)

Street Typology	Neighborhood Local	Avenue 2-Lane
Street Plantings & Street Protective Yard - Booker Drive		
Yard Type:	C3 @ Parking Area Only	
Length of Parking Area	94 LF	
Shrubs Required (Min. 18" H. 30 shrubs/100 LF = 0.3 /1LF)	0 x 0.30 =	0 EA
Length of Right of Way	263 LF	
less driveways	263 LF	
net length	263 LF	
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average)	263 / 40 =	6.6 EA
Shade Trees Provided (3" cal. 10' ht. @ 40' o.c. average)		7 EA
Street Plantings & Street Protective Yard - Sunslow Lane		
Yard Type:	C3 @ Parking Area Only	
Length of Parking Area	112 LF	
Shrubs Required (Min. 18" H. 30 shrubs/100 LF = 0.3 /1LF)	112 x 0.30 =	33.6 EA
Shrubs Provided		37 EA
Length of Right of Way	363 LF	
less driveways	25 LF	
net length	338 LF	
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average)	338 / 40 =	8.5 EA
Shade Trees Provided (3" cal. 10' ht. @ 40' o.c. average)		10 EA
Street Plantings & Street Protective Yard - Milburnie Road		
Yard Type:	C3 @ Parking Area Only	
Length of Parking Area	348 LF	
Shrubs Required (Min. 18" H. 30 shrubs/100 LF = 0.3 /1LF)	348 x 0.30 =	104.4 EA
Shrubs Provided		114 EA
Length of Right of Way	499 LF	
less driveways	0 LF	
net length	499 LF	
Shade Trees Required (3" cal. 10' ht. @ 40' o.c. average)	499 / 40 =	12.5 EA
Shade Trees Provided (3" cal. 10' ht. @ 40' o.c. average)		13 EA
Vehicle Surface Area		
Vehicle Surface Area	26,049 SF	
Shade Trees Required (3" cal. 10' ht. per 2,000 sf)	26049 / 2000 =	13.0 EA
Shade Trees Provided (3" cal. 10' ht.)		16 EA

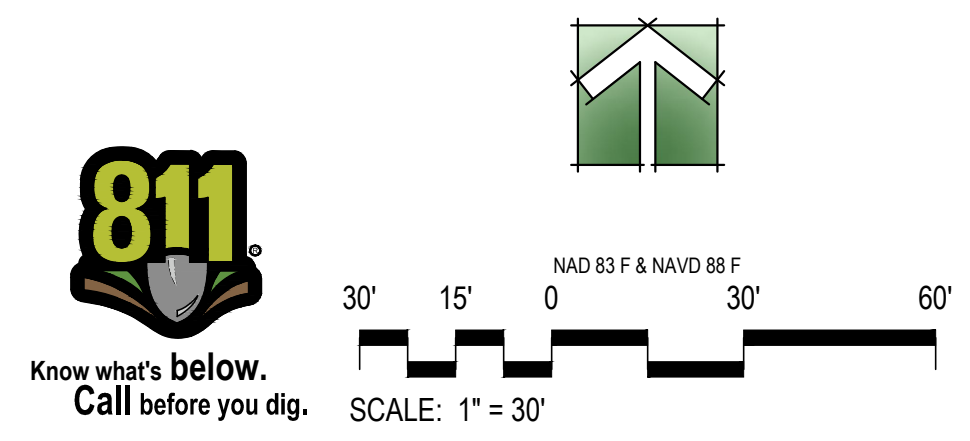
- SHADE TREES**
- (AB) Acer buergerianum FOR WPL PLANTINGS
 - (NS) Nyssa sylvatica FOR STREET TREE PLANTINGS
 - (PC) Platycodon grandiflorus FOR STREET TREE PLANTINGS
 - (QP) Quercus phellos FOR WPL PLANTINGS
 - (UP) Ulmus parvifolia FOR STREET TREE PLANTINGS
- SMALL TREES**
- (CD) Cedrus deodara
 - (LI) Lagerstroemia indica 'Catawba'
- SHRUBS**
- (RK) Rosa 'Knock Out' FOR STREET PROTECTIVE YARD
 - (ICC) Ilex cornuta 'Carissa' FOR STREET PROTECTIVE YARD
 - (INP) Ilex 'Needle Point' FOR STREET PROTECTIVE YARD
 - (INS) Ilex 'Nellie R. Stevens' FOR STREET PROTECTIVE YARD & SCREENING
 - (VP) Viburnum plicatum tomentosum 'Summer Snowflake'

PLANT LIST

QTY	SYM	BOTANICAL NAME	COMMON NAME	CALIPER	HEIGHT	ROOT	REMARKS
TREES							
2	AB	Acer buergerianum	Trident Maple	3" MIN.	12'	B&B	
9	LI	Lagerstroemia indica 'Catawba'	Catawba Crape Myrtle			B&B	Not for UDO
3	PSS	Prunus semulata 'Snow Goose'	Snow Goose Flowering Cherry	2"	8' - 10'	B&B	Not for UDO
10	NS	Nyssa sylvatica 'Wildfire'	Wildfire Black Gum	3" MIN.	12'	B&B	Clear trunk to 8'
14	QP	Quercus phellos	Willow Oak	3" MIN.	12'	B&B	H for Sight
7	UP	Ulmus parvifolia 'Bosque'	Bosque Elm	3" MIN.	12'	B&B	Distance
13	ZS	Zelkova serrata 'Musashino'	Musashino Zelkova	3" MIN.	12'	B&B	Clearance
SHRUBS / ORNAMENTAL GRASSES							
136	ICC	Ilex cornuta 'Carissa'	Carissa Holly		24"	3 Gallon	
7	INS	Ilex 'Nellie R. Stevens'	Nellie R Stevens Holly		8"	B&B	
72	LJEB	Ligustrum japonicum 'East Bay'	Wax Leaf Privet		24"	3 Gallon	
10	RK	Rosa 'Knock Out'	Knock Out Rose		24"	3 Gallon	
6	VP	Viburnum plicatum tomentosum 'Summer Snowflake'	Summer Snowflake Viburnum		42"	10 Gallon	Not for UDO

SR-41-17

LANDSCAPE PLAN



JDAVIS
 510 South Wilmington Street | Raleigh, NC 27601 | Tel: 919.835.1500
 1518 Walnut St. Suite 1308 | Philadelphia, PA 19102 | Tel: 215.545.0121
SR-41-17
 TRANSACTION NO. 510424 (Administrative Site)

dhic
 HOME TO OPPORTUNITY

DHIC Inc.
Booker Park North
 at Washington Terrace
 Raleigh, North Carolina 27610

PRELIMINARY

FOR REVIEW ONLY
 NOT FOR
 CONSTRUCTION

PROJECT:	DATE
DHIC-16049	04.07.2017
Admin. Site Review	04.12.2017
REVISIONS:	
1st Review Comments	05.26.2017
Final Admin. Site	08.21.2017
DRAWN BY: KT, SB	
CHECKED BY: KT	
CONTENT: LANDSCAPE PLAN	
LP1.1	

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
REFER TO SHEET C-001 FOR PROJECT AND SHEET SPECIFIC NOTES.

4909 Lees Road
Raleigh, NC 27606
919.438.3674 (O)
Firm License C-8898

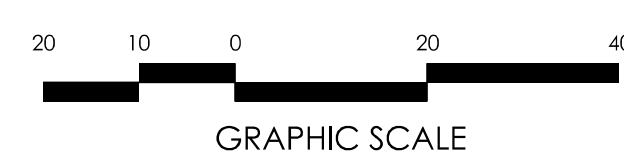
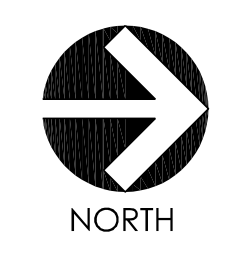
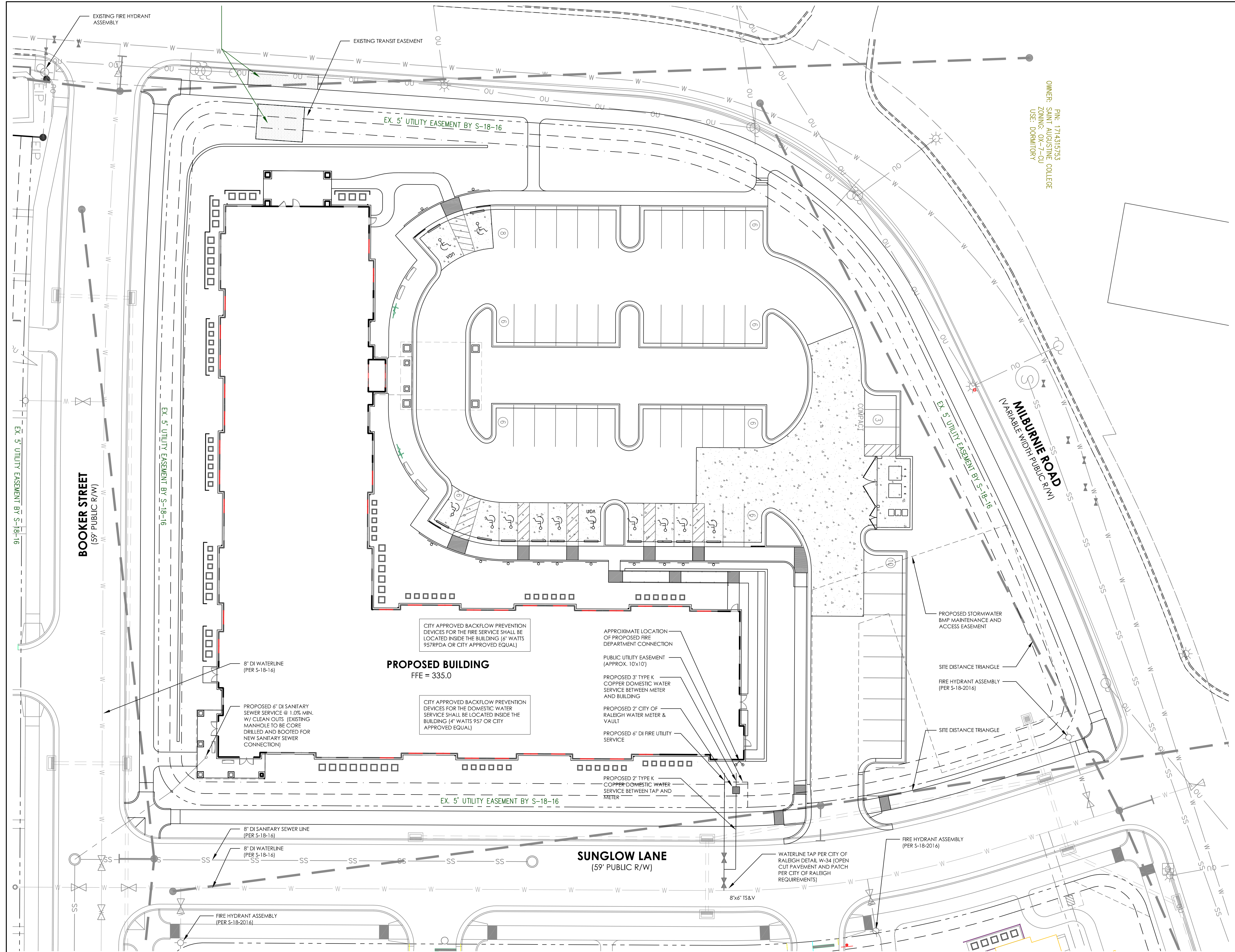
grounded
ENGINEERING

BOOKER PARK NORTH
ADMINISTRATIVE SITE REVIEW
PRELIMINARY UTILITY PLAN

ISSUE DATE	04.07.2017
0 - INITIAL SUBMITTAL TO CITY OF RALEIGH	
1 - REV. PER CITY OF RALEIGH REVIEW	
05.26.2017	
PROJECT #	16036
SHEET #	C-700

LEGEND

	EXISTING WATERLINE
	EXISTING SANITARY SEWER
	EXISTING STORM DRAINAGE
	EXISTING FIBER OPTIC LINE
	EXISTING GAS LINE
	EXISTING OVERHEAD UTILITY LINE
	EXISTING LIGHT/UTILITY POLE
	EXISTING FIRE HYDRANT
	EXISTING WATERLINE VALVE
	PROPOSED WATERLINE
	PROPOSED SANITARY SEWER SERVICE
	PROPOSED WATERLINE VALVE
	PROPOSED FIRE HYDRANT
	PROPOSED FIRE DEPARTMENT CONNECTION
	PROPOSED WATERLINE BEND W/ BLOCKING
	PROPOSED SANITARY SEWER CLEANOUT



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4/6/2017 3:10 PM



MILBURNIE ROAD - WEST EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"

4



MILBURNIE ROAD - NORTH EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"

3



SUNGLOW LANE - EAST EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"

2



BOOKER DRIVE - SOUTH EXTERIOR ELEVATION
SCALE: 1/16" = 1'-0"

1

NOT FOR CONSTRUCTION

PROJECT:	DATE
Admin. Site Review	04.06.2017
ISSUE:	
REVISIONS:	
DRAWN BY:	
CHECKED BY:	
CONTENT:	EXTERIOR ELEVATIONS

A3.01

DHIC Inc.
Booker Park North
Raleigh, North Carolina

FOR REVIEW ONLY



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