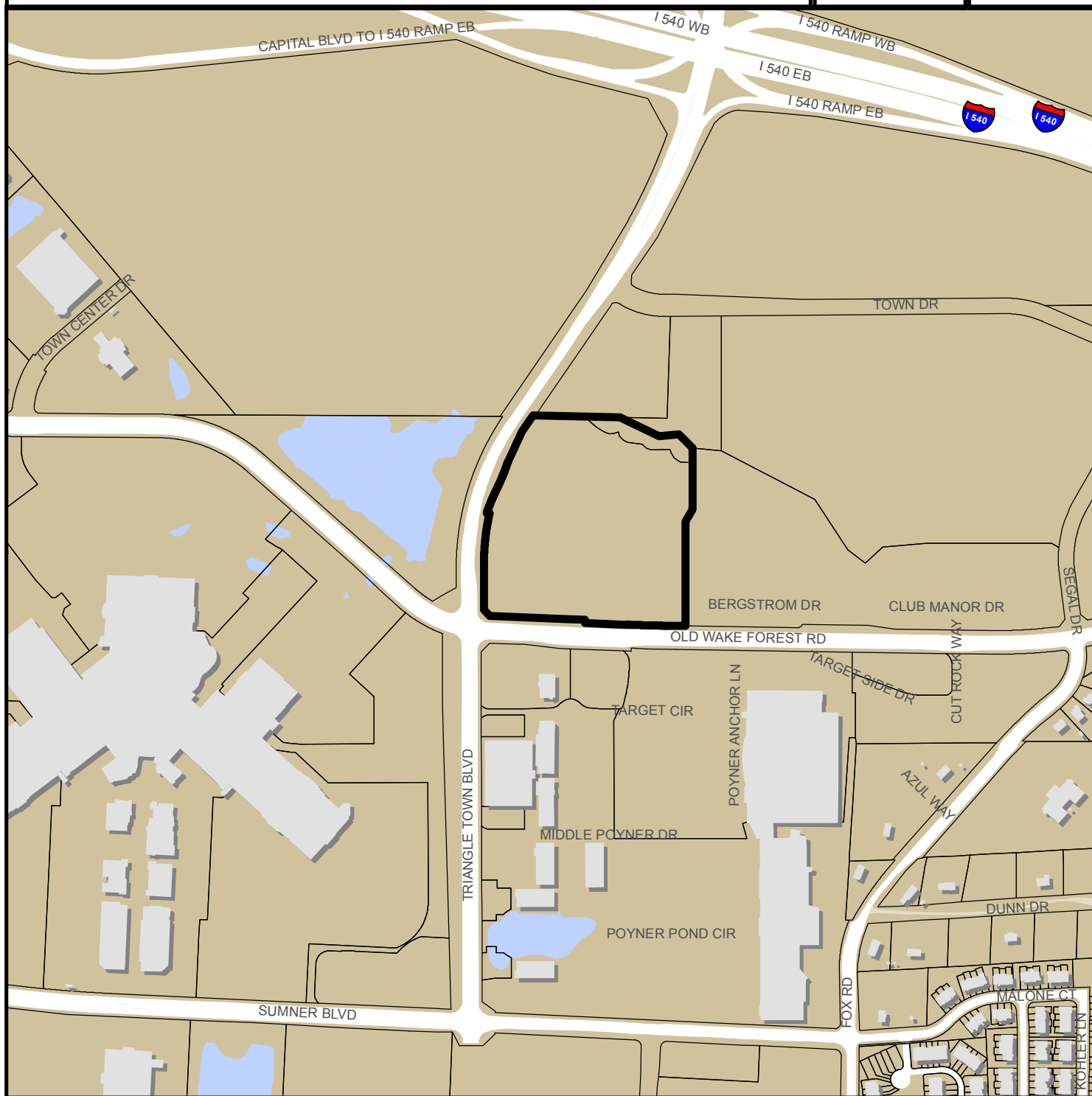


# THE PIEDMONT RALEIGH APARTMENTS SR-40-2017



0 300 600 1,200 Feet

Zoning: **CX-4-CU, CX-4-CUw/SHOD-1**

CAC: **Northwest**

Drainage Basin: **Perry Creek**

Acreage: **12.94**

Sq. Ft.: **368,984**

Planner: **Martha Lobo**  
Phone: **(919) 996-2664**

Applicant: **SR Real Estate Partners**

Phone: **(919)772-7672**





# Administrative Approval Action

Case File / Name: SR-40-17, The Piedmont Raleigh Apartments  
Transaction# 510306 / AA# 3686

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the east side of Triangle Towne Boulevard, specifically on the corner of Triangle Towne Boulevard and Old Wake Forest Road.

**REQUEST:** Development of a 12.35 acre tract zoned Commercial Mixed Use-4-Conditional Use with a portion in a Special Highway Overlay District-1 (CX-4-CU/SHOD-1) into a 4-story apartment project, with detached car garages, a structured parking deck, clubhouse and swimming pool. The total square footage of seven apartment buildings are 368,984 square feet with 392 units total.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:**

- Design Adjustment approved to waive the block perimeter, as well as the 5' general utility easement requirements for this property based on topographic, environmental, and existing developed conditions that make it impractical to provide public street connection.
- Administrative Alternate approved 11-02-2017 to reduce the build-to requirement, subject to the findings of AAD-27-17. Qualifying amenity area within the build-to range is provided that, when added to the width of the building in the build-to range, provides a minimum 35% width of the lot along Old Wake Forest Road, as shown on plan titled "The Piedmont Raleigh Apartments Administrative Site Plan, Sheet C-3 dated 4-5-2017 and revised 11-1-2017."

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by The John R. McAdams Co.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

**Note:** *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

**PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:**

**ENGINEERING**

1. Next Step: A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

**STORMWATER**

2. The State of North Carolina shall approve any proposed disturbance within the riparian buffer prior to the issuance of a grading permit or other site permit.



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3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance , including the designation of buffer areas and open space areas for stormwater purposes.
4. In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

## URBAN FORESTRY

5. Next Step: Prior to the issuance of a mass grading permit or other site permit, whichever comes first, submit a final tree conservation plan with a permit approved by Urban Forestry staff that includes metes and bounds descriptions of all tree conservation areas and tree protection fencing as required.
6. Next Step: Tree protection fence must be located in the field and inspected by Urban Forestry staff prior to the issuance of a mass grading permit or other site permit, whichever comes first.
7. That a fee in lieu for 602 sq ft of primary tree conservation area being removed from compliance along Old Wake Forest Rd shall be paid to the City prior to issuance of any concurrent review permits.
8. That the existing recorded tree conservation area plat shall be revised and recorded to account for removal of 602 sq ft of primary tree conservation area.

## PRIOR TO ISSUANCE OF BUILDING PERMITS:

### GENERAL

1. Next Step: Concurrent Review Plans for public infrastructure and site grading shall be approved by the City of Raleigh, including obtaining stub permits, tree impact permit and a street lighting plan, if applicable.
2. Comply with all conditions of Z-45-16.
3. A recombination map shall be recorded prior to or in conjunction with the recording of lots, recombining the existing three lots into a single tract as well as shifting the property line on the north side of the site with the adjacent tract, lot 7 shown in BM 2008 page 2021.
4. Provide fire flow analysis.

### ENGINEERING

5. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and be shown on a plat approved for recordation.
6. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one (1) day of recordation of



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the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recordation. If a recorded copy of the documents are not provided within this 14 day period, further recordings and building permit issuance may be withheld

7. In accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' of sidewalk along the property frontage on Old Wake Forest Rd shall be paid to the City of Raleigh.
8. That if the proposed public improvements are not installed and inspected by the City to be accepted for maintenance, a surety in the amount of 125% of the cost of construction for the streetscape trees installed on Triangle Town Blvd and Old Wake Forest Rd is to be paid to the Development Services Department in accordance with code section 8.1.3 of the UDO
9. Next Step: A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

## PUBLIC UTILITIES

10. A Final Plat must be recorded at the Wake County Register of Deeds office for all necessary Subdivisions / Recombinations, Right-of-Way, Utility / Stormwater Easement Dedications and/or Tree Save Areas.
11. Private sewer extensions must be approved by the City of Raleigh Public Utilities Department.
12. Existing public sanitary sewer easement to be abandoned shall be reflected on final plat along with label "to be disposed of by the City of Raleigh through a future instrument" on development plans.

## STORMWATER

13. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund
14. In accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department
15. The riparian buffers, in accordance with the preliminary plan and the State of North Carolina regulations, shall be shown on plats for recording along with a note stating: "The areas shown on the recorded plat identified as Neuse River Riparian Buffer shall be maintained in their natural or mitigated condition, No person or entity shall fill, grade, excavate, or perform any other land-disturbing activities; nor cut, remove, or harm any vegetation; nor construct any structures nor add any additional impervious surface, nor allow animal grazing or water or any other agricultural use on such protected areas without written authorization from the state of North Carolina in accordance with the Riparian Buffer Protection Rules (15A NCAC 2B.0233 or .0259)."



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## TRANSPORTATION

16. A 15' x 20' transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within 14 days from authorization of lot recording. If a recorded copy of the documents is not provided within this 14 day period, further recordings and building permit issuance may be withheld.

## URBAN FORESTRY

17. Next Step: A tree conservation map in compliance with Chapter 9 of the Unified Development Ordinance shall be recorded with metes and bound showing the designated Tree Conservation Areas.

18. A final inspection of required tree conservation and right of way tree protection areas by Urban Forestry staff must be completed.

19. A tree impact permit must be obtained for the approved streetscape tree installation in the right of way.

### **Prior to issuance of building occupancy permit:**

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.

2. Next Step: Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.

3. Next Step: Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.

4. Next Step: All street lights and street signs required as part of the development approval are installed.

5. Next Step: Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.

6. Next Step: As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department

7. Next Step: Final inspection of all required Tree Conservation and right of way tree protection areas by Urban Forestry Staff.



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**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 12-7-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Director/Designee)

Date: 12/7/2017

Staff Coordinator: Martha Y. Lobo

# THE PIEDMONT RALEIGH APARTMENTS

## ADMINISTRATIVE SITE REVIEW 6100 TRIANGLE TOWN BOULEVARD RALEIGH, NORTH CAROLINA TRANSACTION# 510306 CITY OF RALEIGH CASE# SR-40-17 PROJECT NUMBER: DSV-16000

DATE: APRIL 7, 2017  
 REVISED: MAY 23, 2017  
 REVISED: JUNE 23, 2017  
 REVISED: AUGUST 9, 2017  
 REVISED: SEPTEMBER 6, 2017

DEVELOPER:

SR REAL ESTATE PARTNERS, LLC  
 5 W. MAIN STREET, #209  
 ELMSFORD, NEW YORK 10523  
 (914) 772-7672  
 dougsmolev@optonline.net

### SHEET INDEX

- C-1 EXISTING CONDITIONS
- C-2 PROJECT NOTES
- C-3 SITE PLAN
- C-4 GRADING AND STORM DRAINAGE PLAN
- C-5 UTILITY PLAN
- SW-1 STORMWATER MANAGEMENT FACILITY DETAILS
- LS-1 LANDSCAPE PLAN
- LI-1 SITE LIGHTING PLAN
- D-1 SITE DETAILS
- A101 TYPICAL GARAGE BUILDING (BY OTHERS)
- A201 TYPICAL ELEVATION/SECTIONS (BY OTHERS)
- A301 TYPICAL CLUBHOUSE ELEVATION/SECTIONS (BY OTHERS)
- A401 LOWER PARKING DECK PLAN (BY OTHERS)
- A501 UPPER PARKING DECK PLAN (BY OTHERS)
- A601 PARKING GARAGE ELEVATION/SECTION (BY OTHERS)



### SOLID WASTE COMPLIANCE STATEMENT:

1. THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
2. THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE.
3. REFUSE WILL BE COLLECTED BY A COMPACTOR AND RECYCLING DUMPSTER WITHIN THE SITE.
4. REFUSE WILL BE COLLECTED TWICE A WEEK (TUE/FRI). RECYCLING WILL BE COLLECTED ONCE A WEEK (TUE).



Know what's below.  
 Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4849) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.

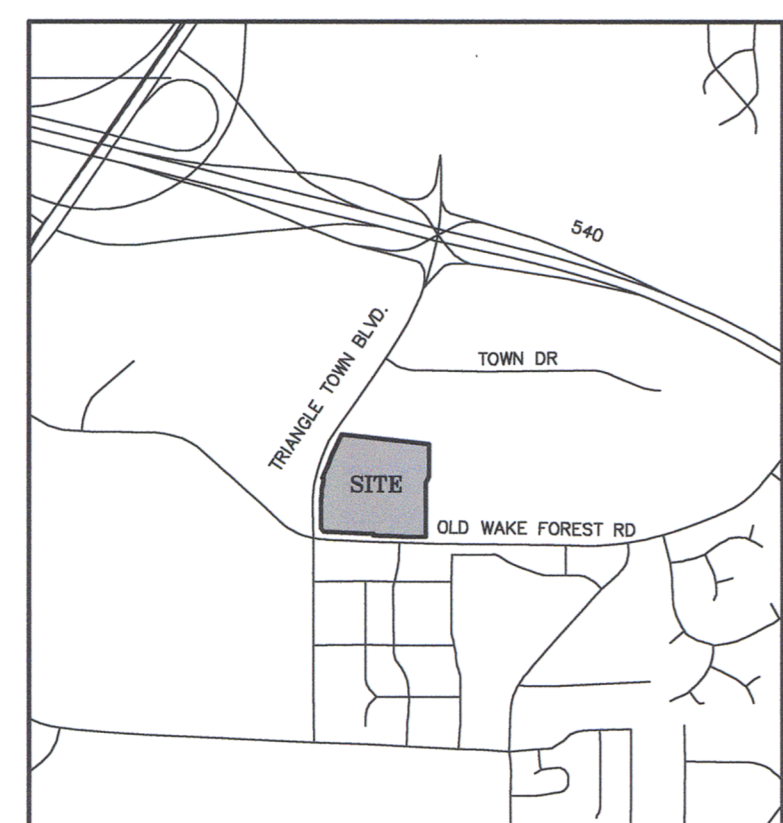


THE JOHN R. McADAMS COMPANY, INC.  
 2905 Meridian Parkway  
 Durham, North Carolina 27713  
 License No.: C-0293  
 (800) 733-5646 • McAdamsCo.com  
 Contact: Andy Padiak  
 padiak@mcadamsco.com

### Z-45-16

TRIANGLE TOWN BOULEVARD AND OLD WAKE FOREST ROAD, NORTHEAST CORNER OF THE - INTERSECTION, BEING WAKE COUNTY PINS 1727712276, 1727714596, AND 1727715160, APPROXIMATELY 12.35 ACRES REZONED TO COMMERCIAL MIXED USE-FOUR STORES-CONDITIONAL USE, WITH PARTIAL SPECIAL HIGHWAY OVERLAY DISTRICT-1 (CX-4-CU W/PARTIAL SH00-1). CONDITIONS DATED: MARCH 17, 2017.

1. THE FOLLOWING USES SHALL BE PROHIBITED ON THE SUBJECT PROPERTY:
  - DOMESTIC, FRATERNITY, SOCIETY
  - EMERGENCY SHELTER TYPE A
  - EMERGENCY SHELTER TYPE B
  - SPECIAL CARE FACILITY
  - COLLEGE, COMMUNITY COLLEGE, UNIVERSITY
  - SCHOOL, PUBLIC OR PRIVATE (K-12)
  - MAJOR UTILITIES
  - ADULT ESTABLISHMENT
  - HELPORT, SERVING HOSPITALS
  - HELPORT, ALL OTHERS
  - VEHICLE FUEL SALES (INCLUDING GASOLINE AND DIESEL FUEL)
  - VEHICLE SALES/RENTAL
  - DETENTION CENTER, JAIL, PRISON
  - VEHICLE REPAIR (MINOR)
  - VEHICLE REPAIR (MAJOR)
2. PRIOR TO THE RECORDED OF A SUBDIVISION PLAT OR ISSUANCE OF A BUILDING PERMIT FOR NEW DEVELOPMENT, WHICHEVER EVENT FIRST OCCURS, A TRANSIT EASEMENT ALONG TRIANGLE TOWN BOULEVARD AND OLD WAKE FOREST ROAD SHALL BE DEEDED TO THE CITY AND RECORDED IN THE WAKE COUNTY REGISTRY. PRIOR TO RECORDED OF ANY TRANSIT EASEMENT, THE DIMENSIONS (NOT TO EXCEED 15 FEET IN DEPTH OR 20 FEET IN WIDTH) AND LOCATION OF THE EASEMENT SHALL BE APPROVED BY THE TRANSPORTATION DEPARTMENT AND THE EASEMENT DOCUMENT APPROVED BY THE CITY ATTORNEY'S OFFICE. IF, PRIOR TO ISSUANCE OF THE FIRST BUILDING PERMIT FOR NEW DEVELOPMENT, THE TRANSPORTATION DEPARTMENT REQUESTS ONE OR MORE OF THE FOLLOWING IMPROVEMENTS TO BE CONSTRUCTED WITHIN THE TRANSIT EASEMENT, THEN SUCH SHALL BE CONSTRUCTED PRIOR TO THE FIRST CERTIFICATE OF OCCUPANCY, WITH CONSTRUCTION PLANS APPROVED BY THE TRANSPORTATION DEPARTMENT: (i) A CEMENT PAD MEASURING NO GREATER THAN 15'X20'; (ii) A CEMENT LANDING ZONE PARALLEL TO THE STREET BETWEEN THE SIDEWALK AND BACK-OF-CURB MEASURING NO MORE THAN 30'; (iii) A SLEEVE FOR INSTALLATION OF A 2"x2" POST, AND (iv) AN ADA-ACCESSIBLE SHELTER AND LITTER CONTAINER.
3. THERE SHALL BE A BUILD-TO-RANGE ALONG TRIANGLE TOWN BOULEVARD MEASURING BETWEEN ZERO FEET (0') AND THIRTY FEET (30'). THE MINIMUM BUILDING COVERAGE WITHIN THIS BUILD-TO-RANGE ALONG TRIANGLE TOWN BOULEVARD SHALL BE FIFTY PERCENT (50%), EXCLUSIVE OF THOSE ITEMS LISTED IN UDO SECTION 1.5.6.4 AND ANY REQUIRED SECTION 7.2.4.A. TRANSITIONAL PROTECTIVE YARD OR ARTICLE 3.5 PROTECTIVE YARD. ORDNANCE (2017) 895 ZC 744 EFFECTIVE: 4/4/17
4. NO ON-SITE PARKING OR VEHICULAR SURFACE AREA SHALL BE PERMITTED BETWEEN THE TRIANGLE TOWN BOULEVARD RIGHT-OF-WAY AND THE FRONT FACADE OF A PRINCIPAL BUILDING CONSTRUCTED WITHIN THE BUILD-TO RANGE.
5. EACH BUILDING WITHIN THE BUILD-TO-RANGE ALONG TRIANGLE TOWN BOULEVARD SHALL HAVE AT LEAST ONE (1) PEDESTRIAN BUILDING ENTRANCE ACCESSIBLE FROM THE SIDEWALK ALONG TRIANGLE TOWN BOULEVARD.
6. THE MAXIMUM AMOUNT OF GROSS FLOOR AREA OF NONRESIDENTIAL USES SHALL BE 30,000 SQUARE FEET. THE MAXIMUM AMOUNT OF RESIDENTIAL DWELLING UNITS SHALL BE 400 DWELLING UNITS. PRIOR TO RECORDED OF A SUBDIVISION PLAT OR THE ISSUANCE OF A BUILDING PERMIT, WHICHEVER SHALL FIRST OCCUR, THE OWNER OF THE PROPERTY SHALL CAUSE TO BE RECORDED IN THE WAKE COUNTY REGISTRY A RESTRICTIVE COVENANT THAT ALLOCATES AMONG THE LOT(S) OF RECORD COMPRISING THE PROPERTY THE NONRESIDENTIAL GROSS FLOOR AREA AND NUMBER OF DWELLING UNITS PERMITTED BY THIS ZONING ORDINANCE. SUCH RESTRICTIVE COVENANT SHALL BE APPROVED BY THE CITY ATTORNEY OR HIS DESIGNEE PRIOR TO RECORDED OF THE RESTRICTIVE COVENANT. SUCH RESTRICTIVE COVENANT SHALL PROVIDE THAT IT MAY BE AMENDED OR TERMINATED ONLY WITH THE PRIOR WRITTEN CONSENT OF THE CITY ATTORNEY OR HIS DESIGNEE. NO BUILDING PERMIT SHALL BE ISSUED FOR ANY USE UNTIL AN ALLOCATION COVENANT APPROVED BY THE CITY ATTORNEY OR HIS DESIGNEE IS RECORDED WITH THE WAKE COUNTY REGISTER OF DEEDS OFFICE. FOR THE PURPOSES OF THIS ZONING ORDINANCE, THE TERM "NONRESIDENTIAL USES" SHALL MEAN ALL THOSE LAND USES EXCEPT THOSE LISTED UNDER THE "RESIDENTIAL" USE CATEGORY IN THE ALLOWED PRINCIPAL USE TABLE IN UDO SECTION 6.1.4.
7. A DIRECT PEDESTRIAN CONNECTION FROM THE SUBJECT PROPERTY SHALL BE PROVIDED TO THE SIDEWALK ON THE EAST SIDE OF TRIANGLE TOWN BOULEVARD WITHIN SEVENTY FEET (70') OF THE INTERSECTION OF TRIANGLE TOWN BOULEVARD AND OLD WAKE FOREST ROAD.



VICINITY MAP  
 NTS

**Administrative Site Review Application**  
 (for UDO Districts only)

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | (919) 996-3000 | (fax) 919-996-1831  
 Litchford Satellite Office | 1520 - 150 Litchford Road | Raleigh, NC 27601 | (919) 996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General
<input type="checkbox"/> Attached	<input type="checkbox"/> Mixed Use
<input checked="" type="checkbox"/> Apartment	<input type="checkbox"/> Open Lot
<input type="checkbox"/> Townhouse	Development Number
	Assigned Project Coordinator
	Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

**GENERAL INFORMATION**

Development Name: The Piedmont Raleigh Apartments  
 Zoning District: CX-4-CU Overlay District (if applicable): SH0D-1 Inside City Limits?  Yes  No  
 Proposed Use: Apartment Complex  
 Property Address: 6100 Triangle Town Blvd. Major Street Location: Triangle Town Blvd and Old Wake Forest Rd  
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:  
 P.A.N. 1727715160 P.A.N. 1727712276 P.A.N. 1727714596 P.A.N. \_\_\_\_\_

What is your project type?  Apartment  Safety Facilities  Hospital  Office  Industrial Building  
 Mixed Residential  Non-Residential Condo  School  Shopping Center  Banks  Residential Building  
 Duplex  Telecommunication Tower  Religious Institutions  Residential Condo  Retail  Cottage Court  
 Other if other, please describe \_\_\_\_\_

**WORK SCOPE**  
 Per City Code Section 10.2.B.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  
 This is a 4 story apartment project with surface parking

**DESIGN ADJUSTMENT OR ADMIN. ACTION:**  
 Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE  
 n/a

**CLIENT/DEVELOPER/OWNER**  
 Company: SR Real Estate Partners, LLC Name: Douglas Smolev  
 Address: 5 W. Main Street #209 Elmsford, NY 10523  
 Phone: (914) 772-7672 Email: dougsmolev@optonline.net Fax \_\_\_\_\_

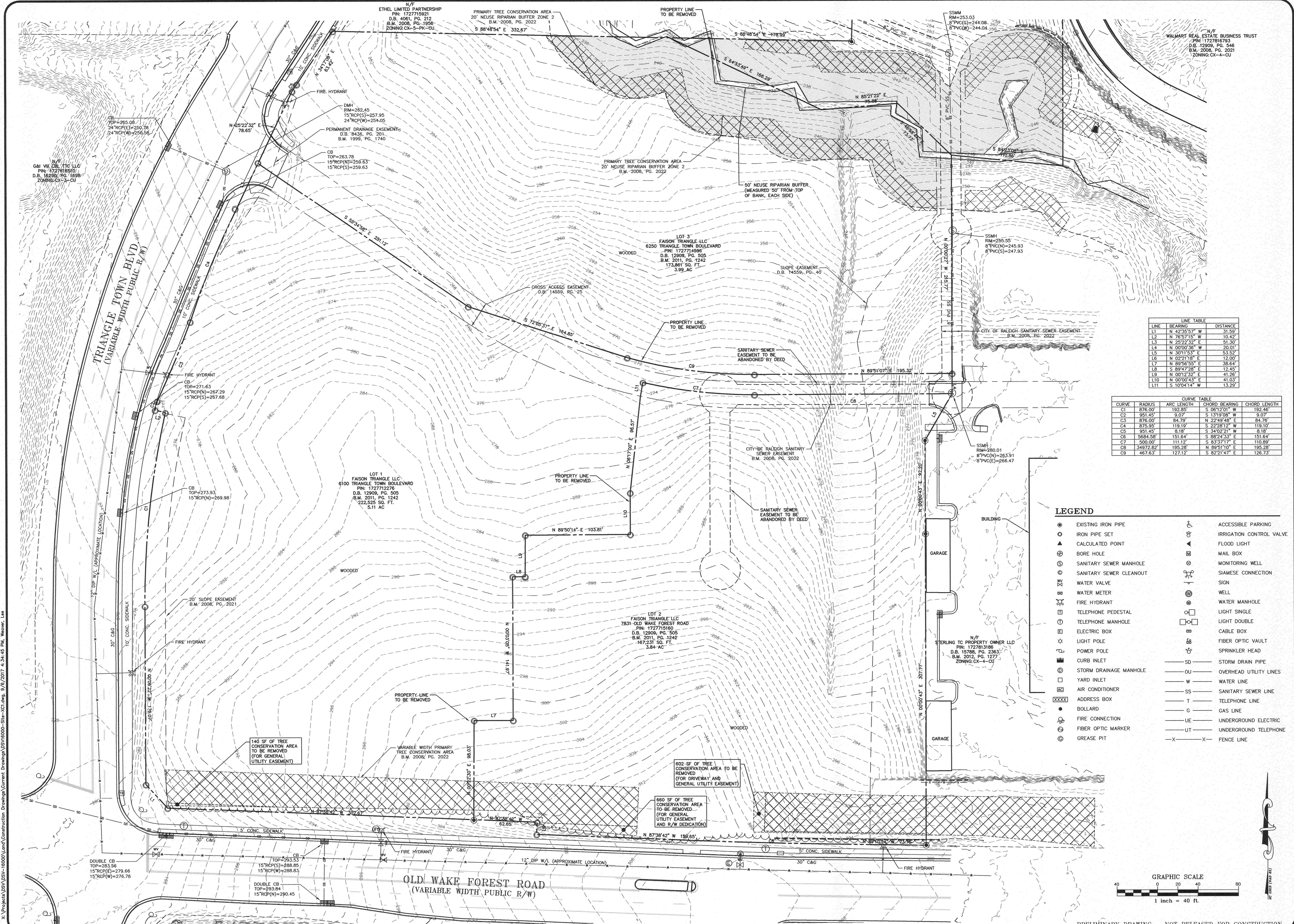
**CONSULTANT (Contact Person for Plans)**  
 Company: The John R. McAdams Co Name: Andrew Padiak, PE  
 Address: 2905 Meridian Pkwy Durham, NC 27713  
 Phone: (919) 361-5000 Email: padiak@mcadamsco.com Fax \_\_\_\_\_

PAGE 1 OF 3 [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) REVISION 05.13.16

**DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)**

Zoning Information	Building Information
Zoning District(s): <u>CX-4-CU</u>	Proposed building use(s): <u>Apartment</u>
If more than one district, provide the acreage of each	Existing Building(s) sq. ft. gross: <u>0</u>
Overlay District: <u>SH0D-1</u>	Proposed Building(s) sq. ft. gross: <u>368,984 SF</u>
Total Site Area: Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <u>12.35 AC</u>	Total sq. ft. gross (existing & proposed): <u>368,984 SF</u>
Off street parking: Required <u>Provided</u>	Proposed height of building(s): <u>55'</u>
City Code Certificate of Appropriateness case # _____	# of stories: <u>4</u>
Both District of Adjustment case # & a _____	Ceiling height of 1 <sup>st</sup> floor: <u>9'</u>
UDO (Conditional Use District) case # <u>Z-45-16</u>	
Stormwater Information	
Existing Impervious Surface: <u>1,524 SF</u> acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: <u>330,857 SF</u> acres/square feet	If Yes, please provide: <u>Adjacent to FEMA Map Panel # _____</u>
Neuse River Buffer: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Flood Study _____
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units: <u>392</u>	5. Bedroom Units: <u>(39)</u> (20) 3br 4br or more
2. Total # of Congregate Care Or Life Care Dwelling Units: <u>0</u>	6. Infill Development: <u>2.2</u>
3. Total Number of Hotel Units: <u>0</u>	7. Open Space (only) or Amenity: <u>1.27 AC</u>
4. Overall Total # of Dwelling Units (1-4 Above): <u>392</u>	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on the proposed development plan as approved by the City.	
I hereby designate <u>Andrew R. Padiak</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
Use here to sign, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: <u>Douglas Smolev</u> date: <u>4/7/2017</u>	
Printed Name: <u>Douglas Smolev</u>	
Signed: _____ date: _____	
Printed Name: _____	

PAGE 2 OF 3 [WWW.RALEIGHNC.GOV](http://WWW.RALEIGHNC.GOV) REVISION 05.13.16



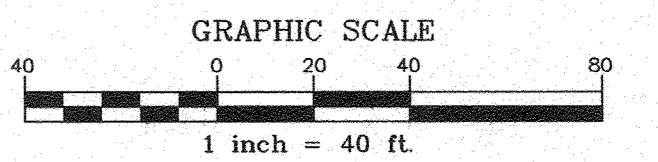
**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 42°35'57" W	31.59'
L2	N 76°57'15" W	10.42'
L3	N 25°22'32" E	51.30'
L4	N 00°00'36" W	20.01'
L5	N 30°11'53" E	53.52'
L6	N 02°21'18" E	12.00'
L7	N 89°56'55" E	38.64'
L8	S 89°47'28" E	12.45'
L9	N 00°12'52" E	41.26'
L10	N 00°00'43" E	41.03'
L11	S 10°04'14" W	13.29'

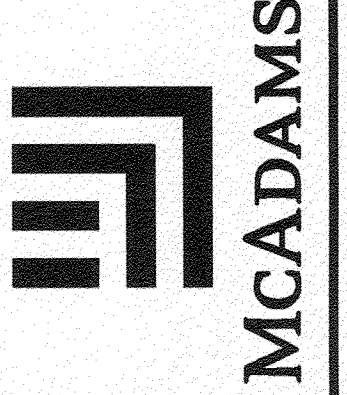
**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	876.00'	192.85'	S 06°12'01" W	192.46'
C2	951.45'	9.07'	S 1°19'08" W	9.07'
C3	876.00'	84.79'	N 2°49'48" E	84.76'
C4	875.95'	119.19'	S 22°28'12" W	119.10'
C5	951.45'	8.18'	S 34°02'21" W	8.18'
C6	5684.58'	151.64'	S 88°24'33" E	151.64'
C7	500.00'	111.12'	S 83°37'17" E	110.89'
C8	34972.82'	195.28'	N 89°51'10" E	195.28'
C9	467.63'	127.12'	S 82°21'47" E	126.73'

- LEGEND**
- EXISTING IRON PIPE
  - IRON PIPE SET
  - ▲ CALCULATED POINT
  - ⊕ BORE HOLE
  - ⊙ SANITARY SEWER MANHOLE
  - ⊙ SANITARY SEWER CLEANOUT
  - ⊙ WATER VALVE
  - ⊙ WATER METER
  - ⊙ FIRE HYDRANT
  - ⊙ TELEPHONE PEDESTAL
  - ⊙ TELEPHONE MANHOLE
  - ⊙ ELECTRIC BOX
  - ☆ LIGHT POLE
  - ⊙ POWER POLE
  - ⊙ CURB INLET
  - ⊙ STORM DRAINAGE MANHOLE
  - ⊙ YARD INLET
  - ⊙ AIR CONDITIONER
  - ⊙ ADDRESS BOX
  - BOLLARD
  - ⊙ FIRE CONNECTION
  - ⊙ FIBER OPTIC MARKER
  - ⊙ GREASE PIT
  - ⊙ ACCESSIBLE PARKING
  - ⊙ IRRIGATION CONTROL VALVE
  - ⊙ FLOOD LIGHT
  - ⊙ MAIL BOX
  - ⊙ MONITORING WELL
  - ⊙ SIAMESE CONNECTION
  - ⊙ SIGN
  - ⊙ WELL
  - ⊙ WATER MANHOLE
  - ⊙ LIGHT SINGLE
  - ⊙ LIGHT DOUBLE
  - ⊙ CABLE BOX
  - ⊙ FIBER OPTIC VAULT
  - ⊙ SPRINKLER HEAD
  - SD— STORM DRAIN PIPE
  - OU— OVERHEAD UTILITY LINES
  - W— WATER LINE
  - SS— SANITARY SEWER LINE
  - T— TELEPHONE LINE
  - G— GAS LINE
  - UE— UNDERGROUND ELECTRIC
  - UT— UNDERGROUND TELEPHONE
  - X— FENCE LINE



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- ▲ 2017-08-09 REVISED PER CITY OF RALEIGH COMMENTS
- ▲ 2017-09-06 REVISED PER CITY OF RALEIGH COMMENTS

**DEVELOPER:**  
 SR REAL ESTATE PARTNERS, LLC  
 5 W. MAIN STREET, #209  
 ELMSFORD, NEW YORK 10523

**THE PIEDMONT RALEIGH APARTMENTS  
 ADMINISTRATIVE SITE PLAN  
 RALEIGH, NORTH CAROLINA  
 EXISTING CONDITIONS**

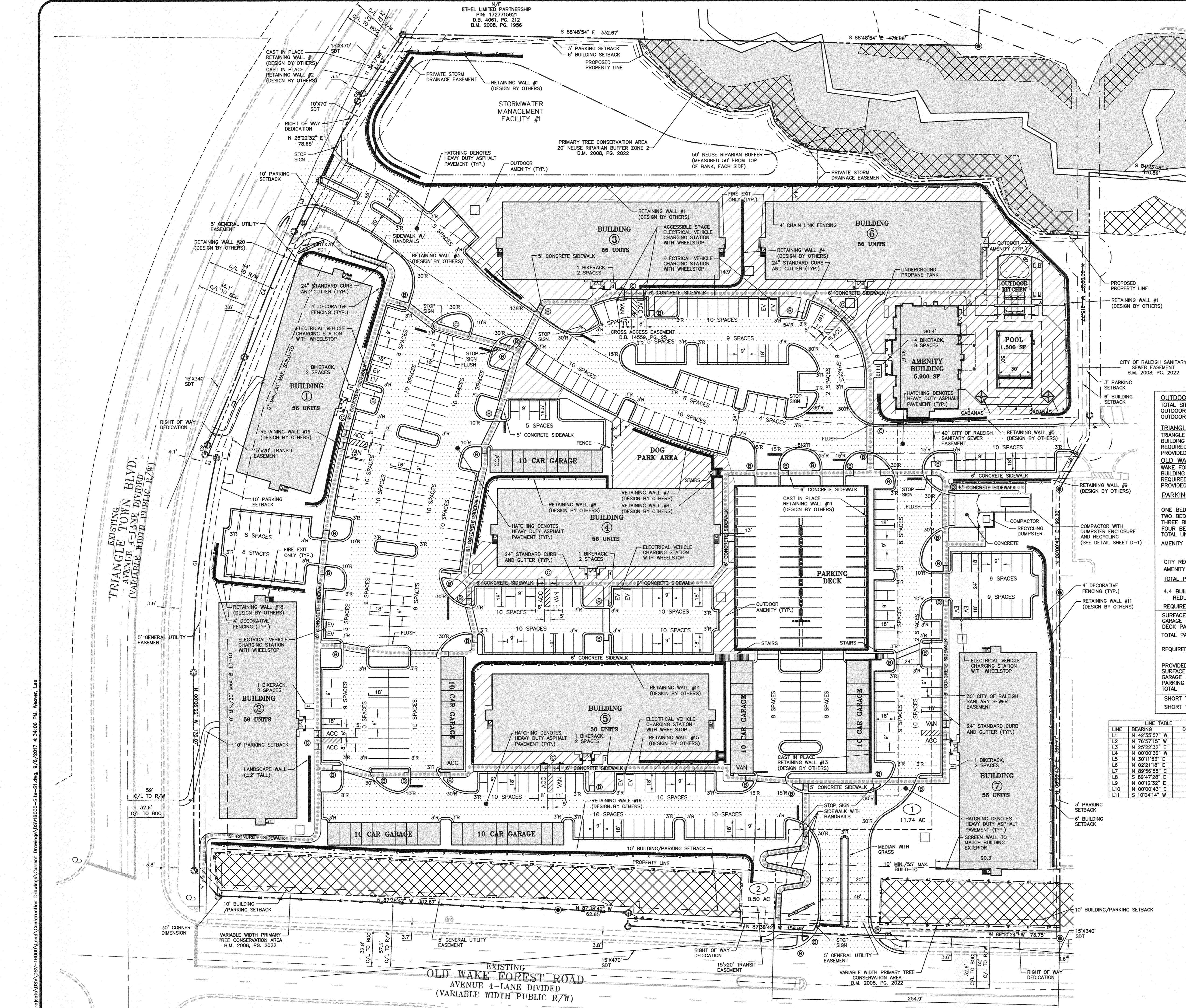
PROJECT NO. DSV-16000  
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 CHECKED BY: LAW  
 DRAWN BY: KJM  
 SCALE: 1"=40'  
 DATE: 04-05-2017  
 SHEET NO. C-1



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

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### SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- VAN ACCESSIBLE PARKING STALL
- ACCESSIBLE PARKING STALL
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT
- OUTDOOR AMENITY

GRAPHIC SCALE  
1 inch = 40 ft

**OUTDOOR AMENITY REQUIREMENTS**

TOTAL SITE ACREAGE: 12.35 AC.      OUTDOOR AMENITY INCLUDES PEDESTRIAN SIDEWALK, POOL DECK, DOG PARK AND ASSOCIATED OUTDOOR AMENITY SURROUNDING THESE AREAS

OUTDOOR AMENITY REQUIRED: 1.24 AC. (10%)      PROVIDED: 1.52 AC.      50.0%

OUTDOOR AMENITY PROVIDED: 1.52 AC.      62.1%

**TRIANGLE TOWN BLVD. BUILD-TO CALCULATIONS**

TRIANGLE TOWN BLVD FRONTAGE (MINUS MAIN DRIVEWAY AND SWMF): 620 LF (BETWEEN 0' AND 30')

BUILDING WITHIN BUILD-TO: 385 LF      50.0%

REQUIRED: 385 LF      62.1%

PROVIDED: 385 LF      62.1%

**OLD WAKE FOREST ROAD BUILD-TO CALCULATIONS**

WAKE FOREST ROAD FRONTAGE: 255 LF (BETWEEN 10' AND 55')

BUILDING WITHIN BUILD-TO: 90 LF      35.0%

REQUIRED: 90 LF      35.2%

PROVIDED: 90 LF      35.2%

**PARKING SUMMARY**

	CODE REQUIREMENT	SPACES
ONE BEDROOM	280	1 SPACE PER UNIT + 1 SP PER 10 UNITS FOR VISITORS
TWO BEDROOM	112	2 SPACE PER UNIT + 1 SP PER 10 UNITS FOR VISITORS
THREE BEDROOM	0	3 SPACE PER UNIT + 1 SP PER 10 UNITS FOR VISITORS
FOUR BEDROOM	0	4 SPACE PER UNIT + 1 SP PER 10 UNITS FOR VISITORS
TOTAL UNITS	392	
AMENITY AREA		1 SPACE PER 500 SF OF POOL + 1 SPACE PER 250 SF CLUBHOUSE
		553

CITY REQUIRED PARKING AMENITY REDUCTION CALCULATION:

TOTAL PARKING REQUIRED FOR RESIDENTIAL USES THAT ARE LOCATED WITHIN 400' OF REC. USE: 548

TOTAL REQUIRED PARKING FOR ALL RESIDENTIAL USE IN DEVELOPMENT: 548

4.4 BUILDINGS WITHIN 400' OF AMENITY = 317.5 SPACES

REDUCTION = 317.5/548 OR 57% (5 SPACES)

REQUIRED PARKING = 548

SURFACE PARKING PROVIDED = 60 (3 ADA, 2 VAN)

PARKING DECK PROVIDED = 115 (3 ADA, 1 VAN)

DECK PARKING PROVIDED = 548

TOTAL PARKING PROVIDED = 548

REQUIRED HANDICAPPED ACCESSIBLE = 16 ADA, 4 VAN

PROVIDED HANDICAPPED ACCESSIBLE SUMMARY

SURFACE	14 (6 VAN)
GARAGE	3 (1 VAN)
PARKING DECK	20 (8 VAN)
TOTAL	

SHORT TERM BIKE PARKING REQUIRED: 1 SPACE PER 20 UNITS = 20

SHORT TERM BIKE PARKING PROVIDED: 1 SPACE PER 20 UNITS = 20

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 42°35'57" W	31.59'
L2	N 76°37'45" W	10.42'
L3	N 25°22'32" E	51.30'
L4	N 00°00'36" W	20.01'
L5	N 30°11'53" E	53.32'
L6	N 02°21'18" E	12.00'
L7	N 89°56'55" E	38.64'
L8	S 89°47'28" E	12.45'
L9	N 00°12'32" E	41.28'
L10	N 00°00'43" E	41.03'
L11	S 10°04'14" W	13.29'

**CURVE TABLE**

CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	876.00'	192.85'	S 06°27'01" W	192.46'
C2	951.45'	9.07'	S 13°30'08" W	9.07'
C3	876.00'	84.79'	N 22°48'48" E	84.76'
C4	875.95'	119.19'	S 22°28'12" W	119.10'
C5	951.45'	8.18'	S 34°02'21" W	8.18'
C6	5684.58'	151.64'	S 89°24'53" E	151.64'
C7	500.00'	111.12'	S 83°37'17" E	110.89'
C8	34972.82'	195.28'	N 89°51'10" E	195.28'
C9	467.63'	127.12'	S 82°21'47" E	126.73'

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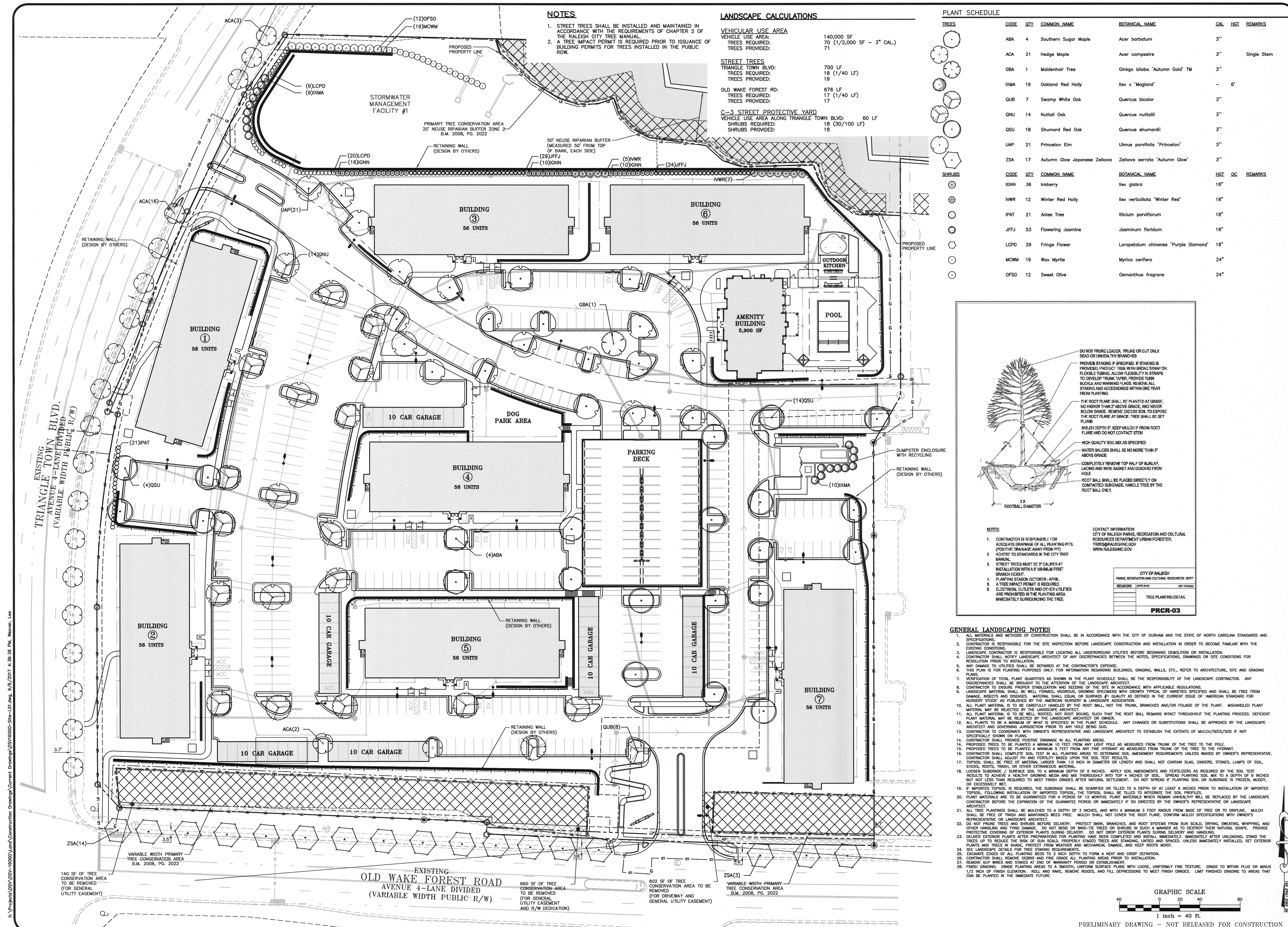
**THE PIEDMONT RALEIGH APARTMENTS**  
**ADMINISTRATIVE SITE PLAN**  
RALEIGH, NORTH CAROLINA

PROJECT NO. DSV-16000  
FILENAME: DSV16000-S1  
CHECKED BY: LAW  
DRAWN BY: KJM  
SCALE: 1"=40'  
DATE: 04-05-2017  
SHEET NO. C-3

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PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION





**NOTES**

- STREET TREES SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE REQUIREMENTS OF CHAPTER 2 OF THE RALEIGH CITY TREE MANUAL.
- A TREE IMPACT PERMIT IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMITS FOR TREES INSTALLED IN THE PUBLIC ROW.

**LANDSCAPE CALCULATIONS**

**VEHICULAR USE AREA**  
 VEHICLE USE AREA: 140,000 SF  
 TREES REQUIRED: 70 (1/2,000 SF - 3" CAL.)  
 TREES PROVIDED: 71

**STREET TREES**  
 TRIANGLE TOWN BLVD: 700 LF  
 TREES REQUIRED: 18 (1/40 LF)  
 TREES PROVIDED: 19

**OLD WAKE FOREST RD:**  
 TREES REQUIRED: 676 LF  
 TREES PROVIDED: 17 (1/40 LF)  
 17

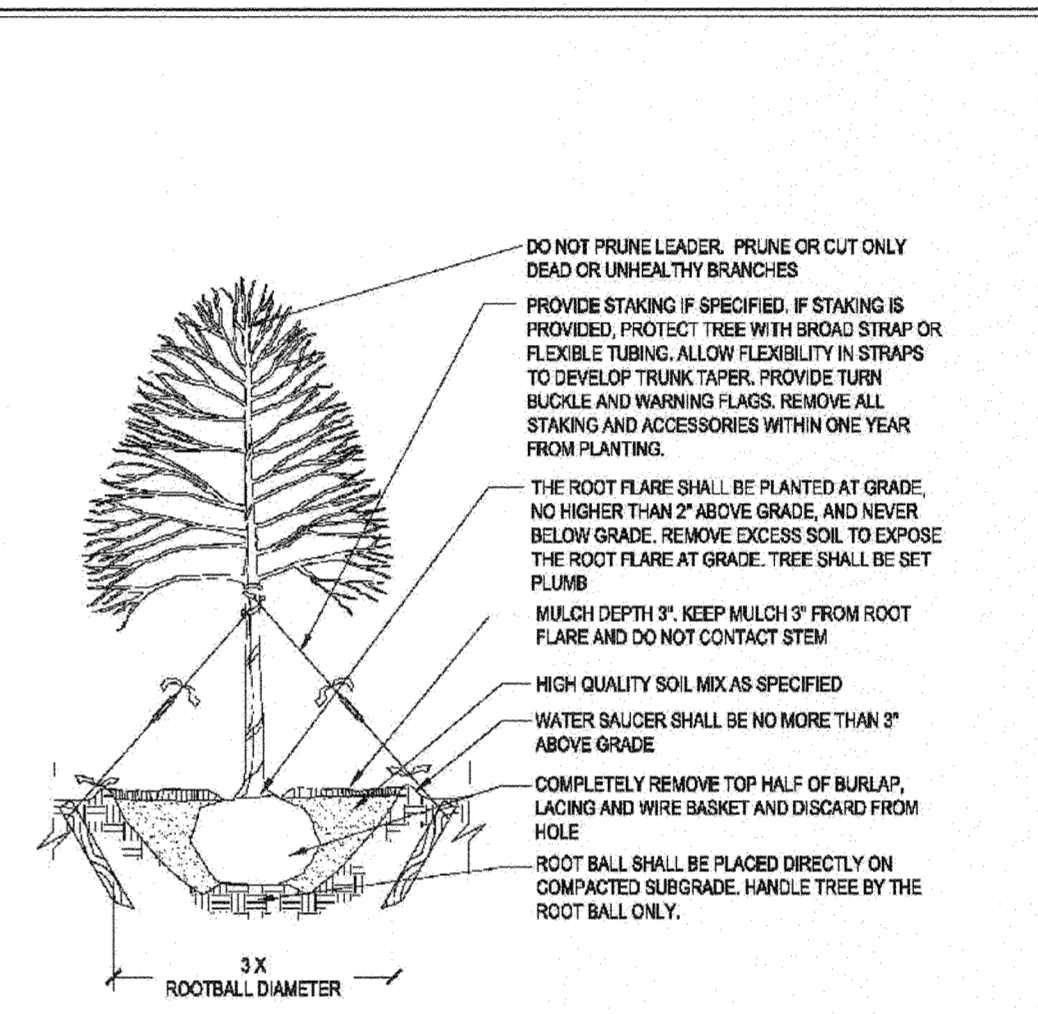
**C-3 STREET PROTECTIVE YARD**  
 VEHICLE USE AREA ALONG TRIANGLE TOWN BLVD: 60 LF  
 SHRUBS REQUIRED: 18 (30/100 LF)  
 SHRUBS PROVIDED: 18

**PLANT SCHEDULE**

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CAL	HGT	REMARKS
	ABA	4	Southern Sugar Maple	Acer barbatum	3"		
	ACA	21	Hedge Maple	Acer campestre	3"		Single Stem
	GBA	1	Maidenhair Tree	Ginkgo biloba 'Autumn Gold' TM	3"		
	DMA	19	Oakland Red Holly	Ilex x 'Magland'	-	6'	
	QUB	7	Swamp White Oak	Quercus bicolor	3"		
	ONU	14	Nuttall Oak	Quercus nuttallii	3"		
	OSU	18	Shumard Red Oak	Quercus shumardii	3"		
	UAP	21	Princeton Elm	Ulmus parvifolia 'Princeton'	3"		
	ZSA	17	Autumn Glow Japanese Zelkova	Zelkova serrata 'Autumn Glow'	3"		

SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	HGT	DC	REMARKS
	IGNN	36	Inkberry	Ilex glabra	18"		
	IWR	12	Winter Red Holly	Ilex verticillata 'Winter Red'	18"		
	IPAT	21	Anise Tree	Illicium parviflorum	18"		
	JFFJ	53	Flowering Jasmine	Jasminum floridum	18"		
	LCPD	29	Fringe Flower	Loropetalum chinense 'Purple Diamond'	18"		
	MCWM	19	Wax Myrtle	Myrica cerifera	24"		
	OSFO	12	Sweet Olive	Osmanthus fragrans	24"		

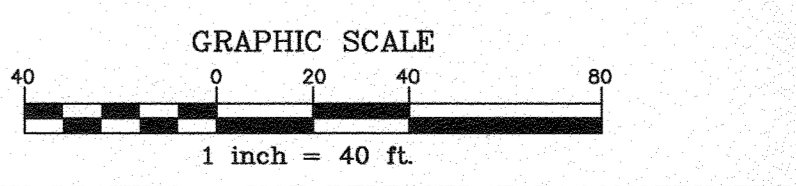


**GENERAL LANDSCAPING NOTES**

- CONTRACTOR IS RESPONSIBLE FOR ADEQUATE DRAINAGE OF ALL PLANTING PITS. (POSTIVE BRANDED AWAY FROM PIT)
- ADHERE TO STANDARDS IN THE CITY TREE MANUAL.
- STREET TREES MUST BE 3" CALIPER AT INSTALLATION WITH A 6" MINIMUM FIRST BRANCH HEIGHT.
- PLANTING SHALL BE COMPLETED BY OCTOBER 31ST.
- A TREE IMPACT PERMIT IS REQUIRED.
- ELECTRICAL OUTLETS AND OTHER UTILITIES ARE PROHIBITED FROM PLANTING AREA IMMEDIATELY SURROUNDING THE TREE.

**CITY OF RALEIGH**  
 PARKS, RECREATION AND CULTURAL RESOURCES DEPT.  
 RESOURCES: [ ] DATE: [ ]  
 TREE PLANTING DETAIL  
**PRCR-03**

- GENERAL LANDSCAPING NOTES**
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF DURHAM AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
  - CONTRACTOR IS RESPONSIBLE FOR THE SITE INSPECTION BEFORE LANDSCAPE CONSTRUCTION AND INSTALLATION IN ORDER TO BECOME FAMILIAR WITH THE EXISTING CONDITIONS.
  - LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES BEFORE BEGINNING DEMOLITION OR INSTALLATION.
  - CONTRACTOR SHALL NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE NOTES, SPECIFICATIONS, DRAWINGS OR SITE CONDITIONS FOR RESOLUTION PRIOR TO INSTALLATION.
  - ANY DAMAGE TO UTILITIES SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE.
  - THIS PLAN IS FOR PLANTING PURPOSES ONLY. FOR INFORMATION REGARDING BUILDINGS, GRADING, WALLS, ETC., REFER TO ARCHITECTURE, SITE AND GRADING PLANS.
  - VERIFICATION OF TOTAL PLANT QUANTITIES AS SHOWN IN THE PLANT SCHEDULE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR. ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT.
  - CONTRACTOR TO ENSURE PROPER STABILIZATION AND SEEDING OF THE SITE IN ACCORDANCE WITH APPLICABLE REGULATIONS.
  - LANDSCAPE MATERIAL SHALL BE WELL-FORMED, VIGOROUS, GROWING SPECIMENS WITH GROWTH TYPICAL OF VARIETIES SPECIFIED AND SHALL BE FREE FROM DAMAGE, INSECTS AND DISEASES. MATERIAL SHALL EQUAL OR SURPASS #1 QUALITY AS DEFINED IN THE CURRENT ISSUE OF 'AMERICAN STANDARD FOR NURSERY STOCK' AS PUBLISHED BY THE AMERICAN NURSERY & LANDSCAPE ASSOCIATION.
  - ALL PLANT MATERIAL IS TO BE CAREFULLY HANDLED BY THE ROOT BALL, NOT THE TRUNK, BRANCHES AND/OR FOLIAGE OF THE PLANT. MISHANDLED PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT.
  - ALL PLANT MATERIAL IS TO BE WELL ROOTED, NOT ROOT BOUND, SUCH THAT THE ROOT BALL REMAINS INTACT THROUGHOUT THE PLANTING PROCESS. DEFICIENT PLANT MATERIAL MAY BE REJECTED BY THE LANDSCAPE ARCHITECT OR OWNER.
  - ALL PLANTS TO BE A MINIMUM OF WHAT IS SPECIFIED IN THE PLANT SCHEDULE. ANY CHANGES OR SUBSTITUTIONS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT AND GOVERNING JURISDICTION PRIOR TO ANY HOLE BEING DUG.
  - CONTRACTOR TO COORDINATE WITH OWNER'S REPRESENTATIVE AND LANDSCAPE ARCHITECT TO ESTABLISH THE EXTENTS OF MULCH/SEED/SOIL IF NOT SPECIFICALLY SHOWN ON PLANS.
  - CONTRACTOR SHALL PROVIDE POSITIVE DRAINAGE IN ALL PLANTING AREAS.
  - CONTRACTOR SHALL BE PLANTED A MINIMUM 10 FEET FROM ANY LIGHT POLE AS MEASURED FROM TRUNK OF THE TREE TO THE POLE.
  - PROPOSED TREES TO BE PLANTED A MINIMUM 5 FEET FROM ANY FIRE HYDRANT AS MEASURED FROM TRUNK OF THE TREE TO THE HYDRANT.
  - CONTRACTOR SHALL COMPLETE SOIL TEST IN ALL PLANTING AREAS TO DETERMINE SOIL AMENDMENT REQUIREMENTS UNLESS WAIVED BY OWNER'S REPRESENTATIVE. CONTRACTOR SHALL ASPIRE AND FERTILIZE BASED UPON THE SOIL TEST RESULTS.
  - TOPSOIL SHALL BE FREE OF MATERIAL LARGER THAN 1.0 INCH IN DIAMETER OR LENGTH AND SHALL NOT CONTAIN SLAG, CINDERS, STONES, LUMPS OF SOIL, STICKS, ROOTS, TRASH, OR OTHER EXTRANEOUS MATERIAL.
  - LOOSEN SUBGRADE / SURFACE SOIL TO A MINIMUM DEPTH OF 6 INCHES. APPLY SOIL AMENDMENTS AND FERTILIZERS AS REQUIRED BY THE SOIL TEST RESULTS TO ACHIEVE A HIGH GROWING MEDIA AND MIX THOROUGHLY INTO TOP 4 INCHES OF SOIL. SPREAD PLANTING SOIL MIX TO A DEPTH OF 6 INCHES BUT NOT LESS THAN REQUIRED TO MEET FINISH GRADES AFTER NATURAL SETTLEMENT. DO NOT SPREAD IF PLANTING SOIL OR SUBGRADE IS FROZEN, MUDDY, OR EXCESSIVELY WET.
  - IF IMPORTED TOPSOIL IS REQUIRED, THE SUBGRADE SHALL BE SCARIFIED OR TILLED TO A DEPTH OF AT LEAST 6 INCHES PRIOR TO INSTALLATION OF IMPORTED TOPSOIL. FOLLOWING INSTALLATION OF IMPORTED TOPSOIL, THE TOPSOIL SHALL BE TILLED TO INTEGRATE THE SOIL PROFILES.
  - PLANT MATERIALS ARE TO BE GUARANTEED FOR A PERIOD OF 12 MONTHS. PLANT MATERIALS WHICH REMAIN UNHEALTHY WILL BE REPLACED BY THE LANDSCAPE CONTRACTOR BEFORE THE EXPIRATION OF THE GUARANTEE PERIOD OR IMMEDIATELY IF SO DIRECTED BY THE OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
  - ALL PLANTINGS SHALL BE MULCHED TO A DEPTH OF 3 INCHES, AND WITH A MINIMUM 3 FOOT RADIUS FROM BASE OF TREE OR TO DRIPLINE. MULCH SHALL BE FREE OF TRASH AND MAINTAINED WEED FREE. MULCH SHALL NOT COVER THE ROOT FLARE. CONFIRM MULCH SPECIFICATIONS WITH OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT.
  - DO NOT PRUNE TREES AND SHRUBS BEFORE DELIVERY. PROTECT BARK, BRANCHES, AND ROOT SYSTEMS FROM SUN SCALD, DRYING, SWEATING, WHIPPING, AND OTHER HANDLING AND TRUCK DAMAGE. DO NOT BEND OR BRING-THE TREES OR SHRUBS IN SUCH A MANNER AS TO DESTROY THEIR NATURAL SHAPE. PROVIDE PROTECTIVE COVERING OF EXTERIOR PLANTS DURING DELIVERY. DO NOT DROP EXTERIOR PLANTS DURING DELIVERY AND HANDLING.
  - DELIVER EXTERIOR PLANTS AFTER PREPARATIONS FOR PLANTING HAVE BEEN COMPLETED AND INSTALL IMMEDIATELY. IMMEDIATELY AFTER UNLOADING, STAND THE TREES UP TO REDUCE THE RISK OF SUN SCALD. PROPERLY STAGED TREES AND SHRUBS MUST BE STAKED AND SPACED. UNLESS IMMEDIATELY INSTALLED, SET EXTERIOR PLANTS AND TREES IN SHADE. PROTECT FROM WEATHER AND MECHANICAL DAMAGE, AND KEEP ROOTS MOIST.
  - LANDSCAPE DETAILS FOR TREE STAKING REQUIREMENTS.
  - EXCAVATE EDGES OF ALL PLANTING BEDS TO 2 INCH DEPTH TO FORM A NEAT AND CRISP DEFINITION.
  - CONTRACTOR SHALL REMOVE DEBRIS AND FINE GRADE ALL PLANTING AREAS PRIOR TO INSTALLATION.
  - REMOVE GUY WIRES AND STAKES AT END OF WARRANTY PERIOD OR ESTABLISHMENT.
  - FINISH GRADING: GRADE PLANTING AREAS TO A SMOOTH, UNIFORM SURFACE PLANE WITH LOOSE, UNIFORM FINE TEXTURE. GRADE TO WITHIN PLUS OR MINUS 1/2 INCH OF FINISH ELEVATION. ROLL AND PAKE, REMOVE RIDGES, AND FILL DEPRESSIONS TO MEET FINISH GRADES. LIMIT FINISHED GRADING TO AREAS THAT CAN BE PLANTED IN THE IMMEDIATE FUTURE.



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 LANDSCAPE PLAN

PROJECT NO. DSV-16000  
 FILENAME: DSV16000-LS1  
 CHECKED BY: BOP  
 DRAWN BY: CMV  
 SCALE: 1"=40'  
 DATE: 04-05-2017  
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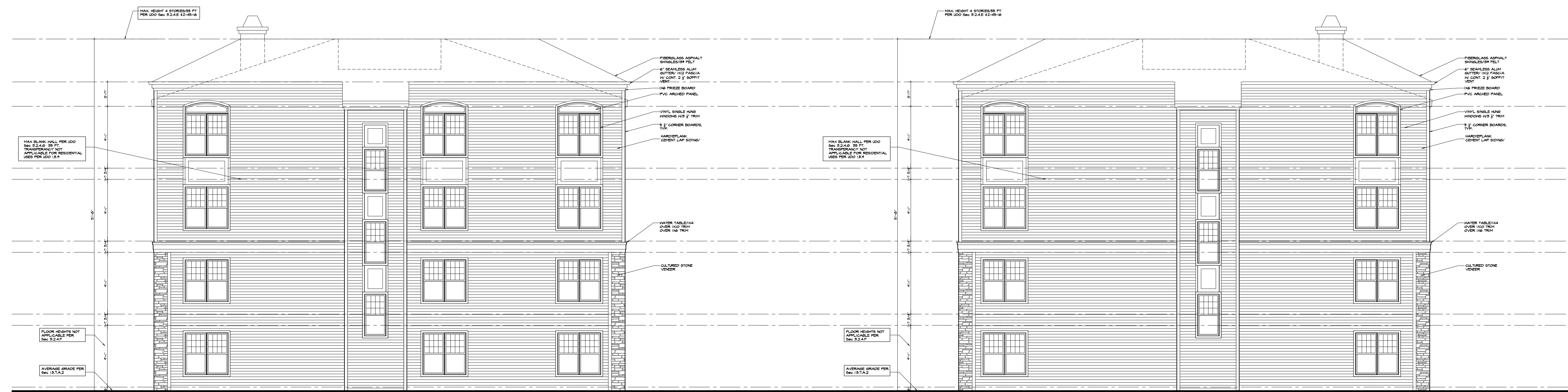
X:\Projects\DSV\DSV-16000\Land\Construction\Drawings\Current\Drawings\DSV16000-Site-LS1.dwg, 9/16/2017 4:36:26 PM, Wweaver, Lds



1 FRONT ELEVATION  
A201 SCALE: 1/8" = 1'-0"



2 REAR ELEVATION  
A201 SCALE: 1/8" = 1'-0"



3 RIGHT ELEVATION  
A201 SCALE: 1/8" = 1'-0"

4 LEFT ELEVATION  
A201 SCALE: 1/8" = 1'-0"

DATE:	02-21-17
SCALE:	AS NOTED
DESIGNER:	J. KARHU
DRAWN BY:	J.K.K.
CHECK BY:	J.K.K.
PROJECT NAME:	TRIANGLE PLACE

SCALE:

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**THE PIEDMONT RALIEGH**  
ADDRESS:  
OLD MAKE FOREST DR & TRIANGLE TOWN BLDG.  
RALEIGH, NORTH CAROLINA  
DRAWING:  
**TYPICAL ELEVATION SECTION**

**John K. Karhu Architect**  
614 Perry Drive East, Suite 100  
Raleigh, NC 27603  
919.850.8035  
john@jkkarchitect.com

DRAWING No:  
**A201**

