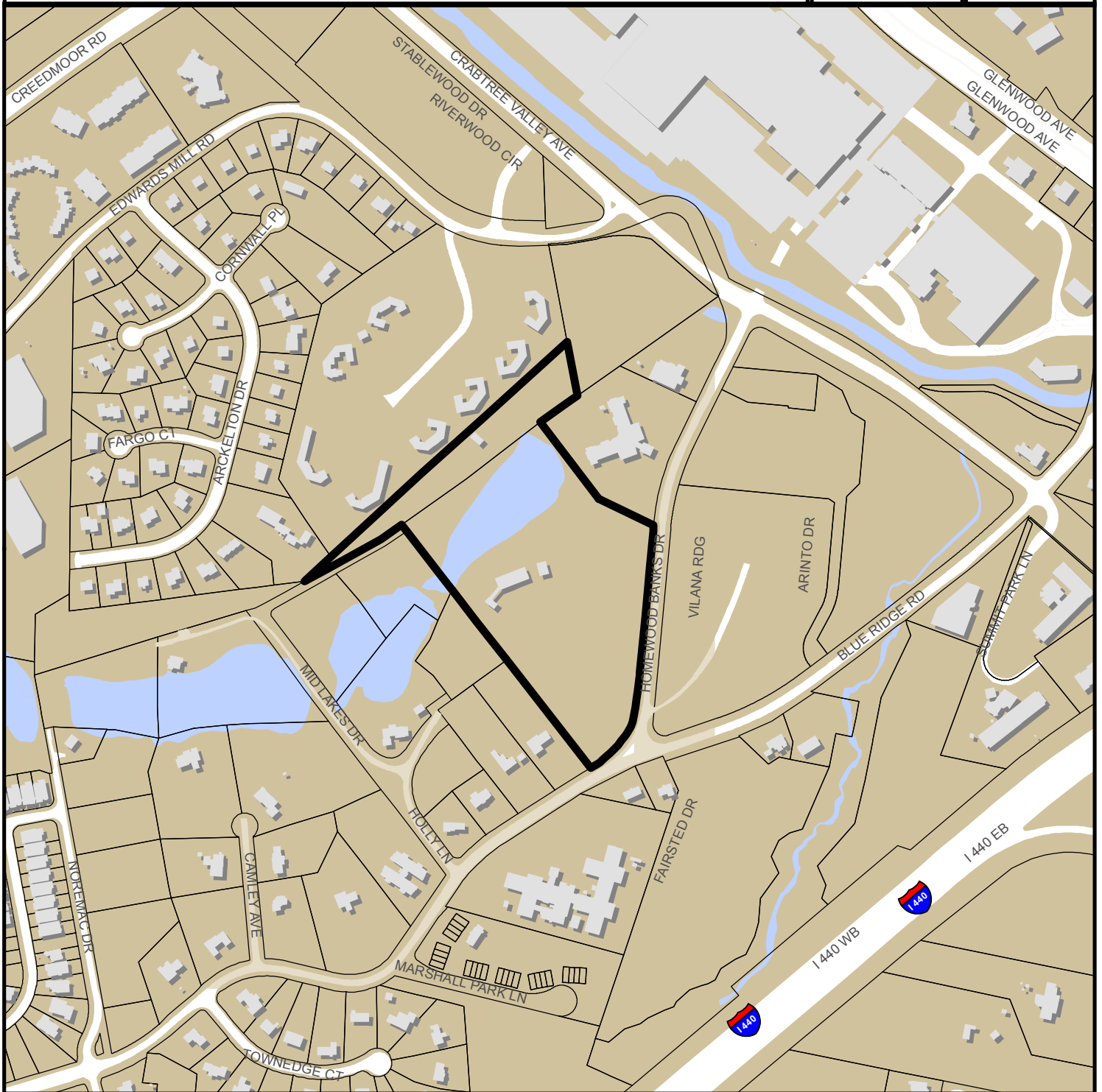


CRABTREE LAKESIDE RESIDENCES SR-28-2017



0 300 600 1,200 Feet

Zoning: **RX-3-PL-CU**

CAC: **Northwest**

Drainage Basin: **Crabtree Basin**

Acreage: **15.77**

Sq. Ft./ units: **252,404/ 210**

Planner: **Martha Lobo**

Phone: **(919) 996-2664**

Applicant: **Ron Hendricks**

Phone: **(919) 845-7600**





Administrative Approval Action

SR-28-17 / Crabtree Lakeside Residences
Transaction# 507407, AA # 3672

City of Raleigh
Development Services
One Exchange Plaza
Raleigh, NC 27601
(919) 996-2626
DS.help@raleighnc.gov
www.raleighnc.gov

REQUEST: Development of a 15.77 acre site currently consisting of two parcels to be recombined to create a proposed 14.30 acre tract of land to construct seven apartment buildings totaling 245,665 square feet, one clubhouse building of 5,176 square feet, and an outdoor swimming pool. The site is zoned Residential Mixed Use-3-Conditional Use District, with a Parking Limited frontage requirement (RX-3-PL-CU). With right-of-way dedication and recombination of the gross 15.77 acres the result will be a new Tract 5 for future development (1.01 acres) and the proposed lot for development, 5510 Homewood Banks, (14.30 acres). The total number of residential dwelling units proposed is 221. Overall residential density allowable is 15 units per acre per zoning conditions of Z-18-16. Overall residential density proposed is 14.01 units per acre prior to right-of-way dedication.

LOCATION: This site is located on the west side of Homewood Banks, at its intersection with Homewood Banks Drive and Blue Ridge Road. This property is currently located outside of the City limits.

PIN: 0795-48-4971 and 0795-49-1345

Cross-Reference: Z-18-16 / Homewood Banks Drive

**DESIGN
ADJUSTMENTS/
ALTERNATES,
ETC:**

A design adjustment seeking relief from the block perimeter requirements in the UDO, Article 8.3, was approved based on extreme topographic changes and presence of an existing pond within a Zone 1 and 2 Neuse Buffer. There will be a right-of-way dedication to provide a future street connection from west of this property via a dedicated right-of-way to the north to Edwards Mill Road.

A design adjustment requesting a waiver of the cross-access standards in the UDO, Section 8.3.D.3 was approved based on extreme topographic changes, the presence of an existing pond within a Zone 1 and 2 Neuse Buffer and having met the vehicular access requirements for this development with two points of access. A pedestrian path with stairs is being provided from the apartments to the north property line to also provide a connection to the existing greenway easement. There is dedication of 1/2-64' right-of-way and 20' slope easement northwest adjacent to an existing Stony Crest Road existing right-of-way which will allow a future connection to be made from the adjacent property, PIN 0795-39-9646 (Pinnacle Apartments). With additional development to the west of this lot, construction of an existing right-of-way from Homewood Banks Drive to Stony Crest Road will connect Homewood Banks Drive to Edwards Mill Road/realigned Crabtree Valley Avenue.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by Ron Hendricks of Piedmont Land Design, LLP.

CONDITIONS OF APPROVAL AND NEXT STEPS:

Note: This document must be applied to the second sheet of all future submittals with the exception of final plats



Administrative Approval Action

SR-28-17 / Crabtree Lakeside Residences
Transaction# 507407, AA # 3672

City of Raleigh
Development Services
One Exchange Plaza
Raleigh, NC 27601
(919) 996-2626
DS.help@raleighnc.gov
www.raleighnc.gov

Prior to issuance of a land disturbing permit for the site:

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;
2. That a final tree conservation plan with permit be approved by the Forestry Specialist. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas;

Prior to the issuance of any site permits or approval of concurrent review process, whichever is applicable;

3. That a recombination map be recorded prior to or in conjunction with the Site Permitting, recombining the existing two lots into the two lots as shown on the preliminary plan;
4. That a driveway permit and/or encroachment agreement be approved by NCDOT and provided to the City of Raleigh for realignment of the intersection of Homewood Banks Drive at Blue Ridge Road and Homewood Banks Drive roadway widening.
5. That Infrastructure Construction Plans for public improvements through the Concurrent Review process are approved by the City of Raleigh and NCDOT, including obtaining stub permits, and a street lighting plan, if applicable
6. That a nitrogen offset payment must be made to a qualifying mitigation bank;
7. That a stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings whichever event comes first;
8. That flood prone areas, as approved by the City Stormwater Engineer, are shown on the preliminary plan and shall be shown on the recombination map for recording;
9. That a final tree conservation plan with permit be approved by the Forestry Specialist. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas;

Prior to issuance of building permits:

10. That all conditions of Z-18-16 are complied with;
11. That a lighting plan showing compliance with UDO Sec 7.1.7.G. and Article 7.4 Site Lighting and Parking Lot Lighting be approved;
12. That ½ of the 64' required future Stony Crest Road right of way, a 5' general utility placement easement and a 20' slope easement be dedicated to the City of Raleigh and recorded with the Wake County Register of Deeds;



Administrative Approval Action

SR-28-17 / Crabtree Lakeside Residences
Transaction# 507407, AA # 3672

City of Raleigh
Development Services
One Exchange Plaza
Raleigh, NC 27601
(919) 996-2626
DS.help@raleighnc.gov
www.raleighnc.gov

13. That ½ of the 64' required right of way and 5' general utility placement easement for Homewood Banks Drive be dedicated to the City of Raleigh and recorded with the Wake County Register of Deeds;
14. That ½ of the 76' required right of way and 5' general utility placement easement for Blue Ridge Road be dedicated to the City of Raleigh and recorded with the Wake County Register of Deeds;
15. That a fee-in-lieu for the Stony Crest Road ½-36' street section, including sidewalks and street trees, be paid to the Development Services Department, Development Engineering Division;
16. That the 5' pedestrian path be constructed from the apartments to the north property line and recorded as a 10' pedestrian access easement.
17. That in accordance with Part 10A Section 8.1.3, a surety equal to 100% of the cost of development related improvements, including streetscape trees on Blue Ridge Road (SR 1670) is paid to Development Services Department, Development Engineering Division and proof of bond or surety with the State must be supplied.
18. That the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans;
19. That a fire flow analysis, sealed by an engineer, is required with a hydrant flow test using either 2012 NCFPC Section 507.3 or other approved method;
20. That an encroachment from the NCDOT will be required for the street improvements and future street alignments;
21. That a tree conservation map be recorded with metes and bounds showing the designated Tree Conservation Areas and shall be in compliance with Chapter 9 of the Unified Development Ordinance;
22. That a planting detail for the streetscape trees is approved in accordance with the standards set forth in the Raleigh Street Design Manual;
23. That a fee-in-lieu of an 8" waterline construction is paid for the entire length of right-of-way dedication;
24. That a tree impact permit is obtained from the urban forester in the Parks and Recreation Department for landscaping in the public right-of-way;
25. That a petition for annexation into the City limits be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property;
26. That the proposed sanitary sewer easement and the proposed water line easement be dedicated to the City of Raleigh, recorded with the Wake County Register of Deeds, and a copy of the recorded map be provided to the City of Raleigh;
27. That the proposed private drainage easement be shown on all maps for recording;



Administrative Approval Action

SR-28-17 / Crabtree Lakeside Residences
Transaction# 507407, AA # 3672

City of Raleigh
Development Services
One Exchange Plaza
Raleigh, NC 27601
(919) 996-2626
DS.help@raleighnc.gov
www.raleighnc.gov

28. That the greenway easement as shown on the preliminary plan be dedicated to the City of Raleigh, recorded with the Wake County Register of Deeds, and a copy of the recorded map be provided to the City of Raleigh;
29. That a 15' x 20' transit deed of easement is approved by the City staff and that the location of the easement is shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat;

Prior to issuance of building occupancy permit:

30. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate;

EXPIRATION DATES: If significant construction has not taken place on a project after preliminary subdivision approval, that approval may "sunset" and be declared void, requiring re-approval before permits may be issued. To avoid allowing this preliminary approval to "sunset", the following must take place by the following dates:
The expiration provisions of UDO Section 10.2.8.E., including the ability to request extensions in the expiration date, apply to this site plan. To avoid allowing this plan approval to expire, the following must take place by the following dates:

3-Year Expiration Date: 10-12-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed, unless an applicant has been granted vested rights. Failure to complete construction within this specified timeframe shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

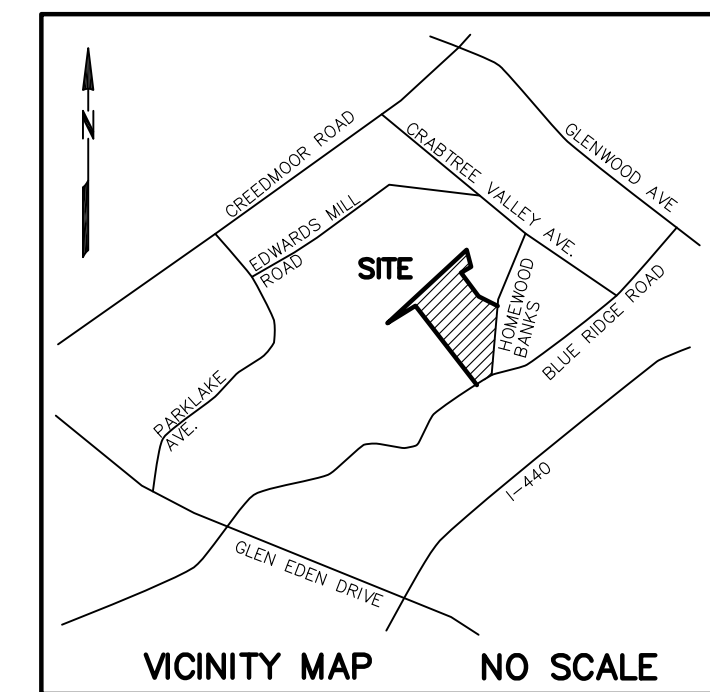
Signed: (Planning Director/designee) *Angie Bilyeu* Date: 10/12/2017

Staff Coordinator: Martha Y Lobo

ADMINISTRATIVE SITE REVIEW SUBMITTAL FOR: CRABTREE LAKESIDE RESIDENCES

SR-28-17//TRANSACTION NO. 507407

5510 HOMEWOOD BANKS DRIVE
RALEIGH, NORTH CAROLINA



PLD
PIEDMONT LAND DESIGN, LLP
8522-204 SIX FORKS ROAD
RALEIGH, NORTH CAROLINA 27615
919.845.7600 PHONE
919.845.7703 FAX
ENGR. FIRM LICENSE NO. F-0843

CITY OF RALEIGH SITE PLAN INFORMATION

1. DEVELOPMENT NAME:	CRABTREE LAKESIDE RESIDENCES
2. STREET ADDRESS:	5510 HOMEWOOD BANKS DRIVE AND 3921 STONY CREST ROAD RALEIGH, NORTH CAROLINA
3. WAKE COUNTY P.I.N.:	0795-48-4971 AND 0795-49-1345
4. TOTAL NUMBER OF LOTS:	2 (1 APARTMENT LOT AND 1 UNDEVELOPED LOT)
5. LOT AREA:	EXISTING LOT AREA: 15.77 ACRES (15.16 ACRE GROSS APT. LOT & 0.61 ACRE LOT) PROPOSED R.O.W. DEDICATION ALONG HOMEWOOD BANKS DRIVE: 0.08 AC.± PROPOSED R.O.W. DEDICATION FOR FUTURE STONY CREST DRIVE: 0.38 AC.± TOTAL LOT AREA: 15.31 AC.± (14.30 AC.± GROSS APT. LOT & 1.01 AC.± LOT)
6. ZONING:	RX-3-PL-CU (Z-18-16)
7. BUILDING SQUARE FOOTAGE AND USE:	245,665 SF APARTMENTS 5,176 SF CLUBHOUSE AND POOL PAVILION 250,831 SF TOTAL
7. TOTAL NO. OF APARTMENT UNITS:	221 UNITS (137 1-BEDROOM AND 84 2-BEDROOM)
8. BUILDING HEIGHT/NO. OF STORIES:	50' MAXIMUM/ 2 AND 3 STORY (SEE GRADING PLAN)
10. PARKING SUMMARY:	BASIS OF DETERMINATION: 1 SPACE/1 BEDROOM UNIT X 137 UNITS = 137 SPACES 2 SPACES/2 BEDROOM UNIT X 84 UNITS = 168 SPACES 1 SPACE/10 UNITS FOR VISITORS X 221 UNITS = 22 SPACES NO PARKING REQUIRED FOR CLUBHOUSE AND POOL SINCE ALL OF REQUIRED RES'L. PARKING IS WITHIN 400' OF CLUBHOUSE AND POOL (ARTICLE 6.7.3.6.7)
	TOTAL REQUIRED: TOTAL PROVIDED: TOTAL ACCESSIBLE SPACES:
	327 SPACES 327 SPACES 8 SPACES INCLUDING 1 VAN SPACE
11. SHORT-TERM BICYCLE PARKING SUMMARY:	BASIS OF DETERMINATION: TOTAL REQUIRED: TOTAL PROVIDED:
	1 SPACE/20 UNITS 11 SPACES 16 SPACES
12. IMPERVIOUS SURFACE AREA:	EXISTING IMPERVIOUS SURFACE AREA: NEW IMPERVIOUS SURFACE AREA: TOTAL:
	0.83 AC.± 5.33 AC.± 6.16 AC.±
13. INSIDE CITY LIMITS:	YES
14. INSIDE FLOOD HAZARD BOUNDARY:	YES
15. INSIDE FALLS LAKE OR SWIFT CREEK DRAINAGE AREA:	NO
16. DEDICATED STREET RIGHT OF WAY:	0.46 AC.±
17. HOMEWOOD BANKS DRIVE BUILD-TO REQUIREMENTS:	50% WITHIN 0/100' PRIMARY STREET FRONTAGE LENGTH: BUILDING WIDTH WITHIN 100' OF PRIMARY STREET: BUILDING WIDTH IN PRIMARY BUILD TO RATIO:
	726.47' 592.00' 81.5%
18. BLUE RIDGE ROAD BUILD-TO REQUIREMENTS:	25% WITHIN 0/100' PRIMARY STREET FRONTAGE LENGTH: BUILDING WIDTH WITHIN 100' OF PRIMARY STREET: BUILDING WIDTH IN PRIMARY BUILD TO RATIO:
	182.55' 149.24' 81.8%
18. OUTDOOR AMENITY AREA:	1.43 AC.± REQUIRED (10%) 1.61 AC.± PROVIDED
19. RESIDENTIAL DENSITY:	MAX. NO. OF UNITS = 15.77 X 15 = 236 UNITS PROPOSED NO. OF UNITS = 221 UNITS REMAINING NO. OF UNITS FOR FUTURE DEVELOPMENT = 15 UNITS
20. OWNER/DEVELOPER:	ANDY ANDREWS DOMINION REALTY PARTNERS, LLC 555 FAYETTEVILLE STREET, SUITE 210 RALEIGH, NC 27601 (919) 845-3306 (PHONE) (919) 845-7297 (FAX) aandrews@drp-llc.com (E-MAIL)
21. CONTACT PERSON:	RON HENDRICKS PIEDMONT LAND DESIGN, LLP 8522-204 SIX FORKS ROAD RALEIGH, NORTH CAROLINA 27615 (919) 845-7600 (PHONE) (919) 845-7703 (FAX) ron@piedmontlanddesign.com (E-MAIL)

GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION IS TAKEN FROM A SURVEY BY ROBINSON & PLANTE, P.C.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- NO OBSTRUCTIONS BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR IN PART WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN.
- A PORTION OF THIS PROPERTY IS LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEMA MAP# 372079500J EFFECTIVE DATE: MAY 2, 2006.
- PARKING LOT LIGHTING SHALL BE PROVIDED AS REQUIRED BY THE CITY OF RALEIGH UNIFIED DEVELOPMENT ORDINANCE SECTION 7.1.7.6 AND ARTICLE 7.4. A LIGHTING PLAN SHALL BE SUBMITTED FOR APPROVAL BY THE CITY. THE PARKING LOT FIXTURES SHALL BE LOCATED AT LEAST 20' FROM A TREE. THE INSTALLATION OF SITE LIGHTING, MOUNTING, OR FIXTURE LOCATION SHALL BE MADE IN COMPLIANCE WITH THE UNIFIED DEVELOPMENT ORDINANCE.

SHEET INDEX:

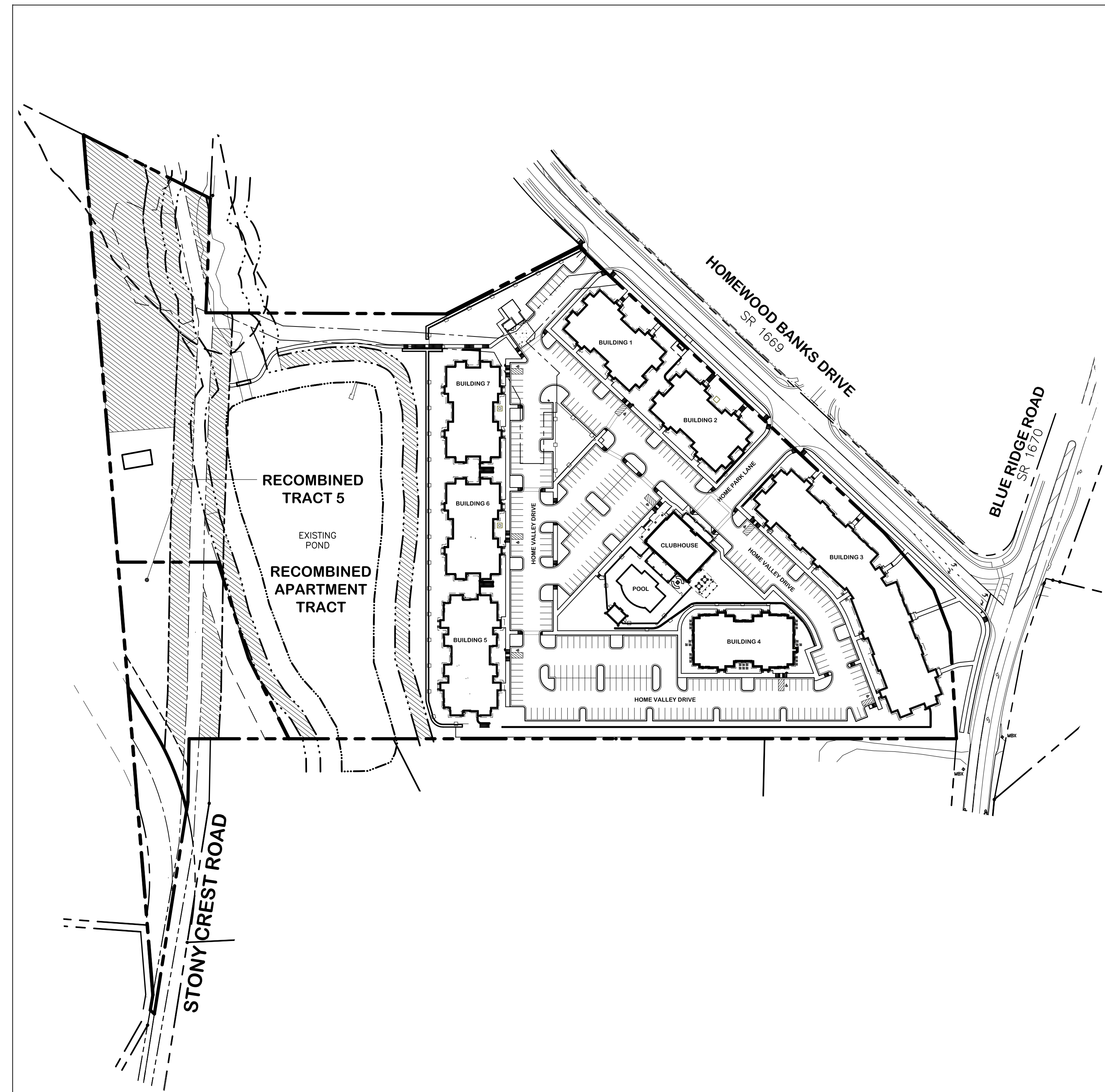
PA. 1	COVER SHEET
PA. 2	EXISTING CONDITIONS AND DEMOLITION PLAN
PA. 3	OVERALL SITE PLAN
PA. 4	PRELIMINARY STAKING PLAN
PA. 5	PRELIMINARY GRADING PLAN
PA. 6	PRELIMINARY UTILITY PLAN SHEET 1 OF 2
PA. 7	PRELIMINARY UTILITY PLAN SHEET 2 OF 2
PA. 8	PRELIMINARY LANDSCAPE PLAN
PA. 9	PRELIMINARY TREE CONSERVATION PLAN
AS-01	BUILDING 1 ELEVATIONS
AS-02	BUILDING 2 ELEVATIONS
AS-03	BUILDING 6 AND 7 ELEVATIONS
AS-04	BUILDING 5 ELEVATIONS
AS-05	BUILDING 4 ELEVATIONS
AS-06	BUILDING 3 ELEVATIONS
AS-07	BUILDING 3 ELEVATIONS
AC1-03	CLUBHOUSE ELEVATIONS
AP1-04	CLUBHOUSE ELEVATIONS
AP1-01	POOL PAVILION ELEVATIONS
AP1-01	DUMPSTER ENCLOSURE ELEVATIONS

SOLID WASTE COMPLIANCE STATEMENT

NEW DUMPSTERS WITH HEAVY DUTY CONCRETE PAD AND 6' HIGH ENCLOSURE WITH LOCKABLE GATES WILL BE PROVIDED AS SHOWN ON THE SITE PLAN. THE OWNER WILL USE A PRIVATE HAULER.

STREET CLASSIFICATIONS

BLUE RIDGE ROAD - AVENUE 2-LANE, DIVIDED FACILITY - NCDOT MAINTAINED
HOMEWOOD BANKS DRIVE - NEIGHBORHOOD STREET FACILITY - CITY OF RALEIGH MAINTAINED (FUTURE)



ORDINANCE NO. (2017) 668 ZC 740
Adopted: 08/07/17

AN ORDINANCE TO AMEND THE ZONING ORDINANCE OF THE CITY OF RALEIGH WHICH INCLUDES THE ZONING DISTRICT MAP
BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF RALEIGH:

Section 1. That Section 10 of the City of Raleigh Code, which includes the Zoning District Map, be and the same is hereby amended as follows:

1. Z-18-16 - Homewood Banks Drive, west side, at its intersection with Blue Ridge Road, being Wake County PINs 0795484971 & 0795491345. Approx. 16.02 acres is required by Dorothy K. Kern Revocable Trust and Kern Properties LLC to be rezoned from Residential-4 (R-4 & R-6) to Residential Mixed Use-3 (residential-Parking Limited-Conditional Use (RX-3-PL-CU)).

Conditions dated: January 18, 2017

- The maximum residential density on the Property shall be fifteen (15) dwelling units per acre of the gross site area.
- Prior to issuance of a building permit for new development or recording a subdivision plan, whichever occurs first, a transit easement shall be deeded to the City and recorded in the Wake County Registry. Prior to recordation of the transit easement, the dimensions (not to exceed 15 feet in depth and 20 feet in width) and location of the easement shall be established during site plan or subdivision review, and the easement deed approved as to form by the City Attorney's Office. If requested by the City of Raleigh in writing, the above referenced transit easement shall be improved with the following prior to issuance of the first certificate of occupancy on the Property:
 - a 15'x20' cement pad; a cement landing zone between the back of curb and sidewalk;
 - an ADA-accessible transit waiting shelter with bench; and
 - 8 liter container.
- The following principal uses otherwise permitted in the RX zoning district shall be prohibited: Dormitory, fraternity, sorority; Telecommunication tower (any type); Medical Office; Outdoor sports or entertainment facility of any size; Remote parking lot; Personal services permitted in the RX zoning district; Eating establishment and Retail sales.
- Parking structures, if any, shall setback no less than one hundred fifty feet (150') feet from the Blue Ridge Road and Homewood Banks Drive rights-of-way as established in site plan and/or subdivision of the property to limit in-trait visibility from same.
- Prior to issuance of a building permit for new development or recording a subdivision plan, whichever occurs first, a greenspace easement, in a location to be determined during site plan or subdivision review, shall be deeded to the City and recorded in the Wake County Registry. The development of the Property shall link to internal pedestrian network to the proposed greenspace easement.

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831
Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	Transaction Number Assigned Project Coordinator Assigned Team Leader
<input checked="" type="checkbox"/> General Clubhouse - accessory use <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: Crabtree Lakeside Residences
 Zoning District: RX-3-PL-CU
 Proposed Use: Apartments
 Property Address(es): 5510 Homewood Banks Drive & 3921 Stony Crest Road
 Major Street Location: Blue Ridge Road at Homewood Banks Drive
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
 P.I.N. 0795-48-4971 P.I.N. 0795-49-1345

What is your project type?
 Apartment
 Non-Residential Condo
 Duplex
 Other: if other, please describe: Clubhouse - accessory use

WORK SCOPE: Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
221 apartments with parking and clubhouse

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 3, summarize if your project requires either a design adjustment, or Section 10- Alternate Administrative AE
Block Perimeter

CLIENT/DEVELOPER/OWNER: Company: Dominion Realty Partners, LLC Name (s): Andy Andrews
Address: 555 Fayetteville Street, Suite 210, Raleigh, NC 27601
Phone: 919-845-3306 Email: aandrews@drp-llc.com Fax: 919-845-7297

CONSULTANT (Contact Person for Plans): Company: Piedmont Land Design, LLP Name (s): Ron Hendricks
Address: 8522-204 Six Forks Road, Raleigh, NC 27615
Phone: 919-845-7600 Email: ronh@piedmontlanddesign.com Fax: 919-845-7703

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s) RX-3-PL-CU	Proposed building use(s) Apartments
If more than one district, provide the acreage of each: N/A	Existing Building(s) sq. ft. gross N/A
Overlay District N/A	Proposed Building(s) sq. ft. gross 250,831
Total Site Acres Inside City Limits: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No 15.77	Total sq. ft. gross (existing & proposed) 250,831
Off street parking: Required 327 Provided 327	Proposed height of building(s) 50' max
COA (Certificate of Appropriateness) case # N/A	# of stories 2 and 3
BOA (Board of Adjustment) case # A- N/A	Ceiling height of 1' floor 9' and 11'
CUO (Conditional Use District) case # Z- 18-16	

Stormwater Information

Existing Impervious Surface 0.83 acres square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 6.16 acres square feet	If Yes, please provide: Alluvial Soil N/A Flood Study N/A FEMA Map Panel # 3720079500J
Neuse River Buffer <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Wetlands <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units 221	5. Bedroom Units: 1br 137 2br 84 3br 4br or more
2. Total # of Congregate Care or Life Care Dwelling Units N/A	6. Infill Development 2.2 N/A
3. Total Number of Hotel Units N/A	7. Open Space (only) or Amenity N/A
4. Overall Total # of Dwelling Units (1-6 Above) 221	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

Piedmont Land Design, LLP
I hereby designate _____ to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: Debra K. Woody Date: 6-29-17
 Printed Name: DEBRA K. WOODY, CO-EXECUTOR ESTATE OF DOROTHY K. KERN

Signed: John Date: 06-29-17
 Printed Name: LOREANNE BULLOCK, INC.
LOREANNE BULLOCK, INC. CO-EXECUTOR FOR THE ESTATE OF DOROTHY K. KERN.
Chris Woody June 29, 2017
CHRIS WOODY
MANAGER, KERN PROPERTIES, LLC

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

PRELIMINARY
NOT FOR CONSTRUCTION

CRABTREE LAKESIDE RESIDENCES
HOMEWOOD BANKS DRIVE
AND BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA

ISSUED: 17 MARCH 2017

REVISIONS:

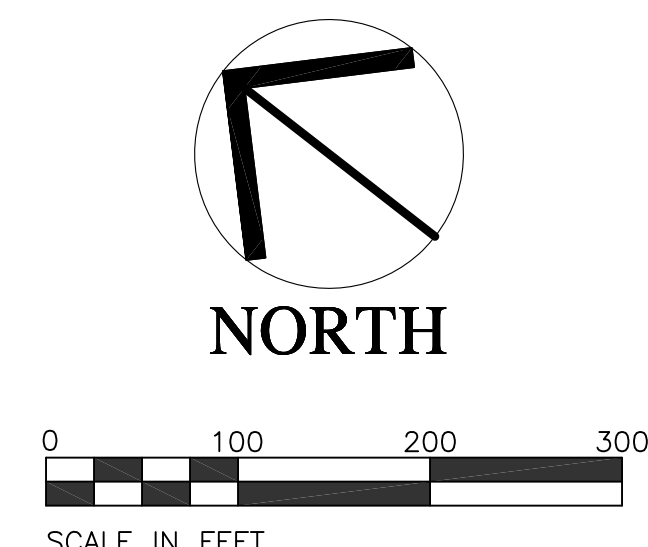
25 MAY 2017	REV. CLUBHOUSE, BLDG. 3 & PER CITY COMMENTS
14 JUL 2017	REV. PER CITY COMMENTS
09 AUG 2017	REV. PER CITY COMMENTS.

DRAWN BY: RPH
CHECKED BY: RPH

PROJECT: DHBA

COVER SHEET

DWG. NO. PA. 1





PRELIMINARY
NOT FOR CONSTRUCTION

**CRABTREE LAKESIDE RESIDENCES
HOMWOOD BANKS DRIVE
AND BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA**

ISSUED: 17 MARCH 2017

REVISIONS:

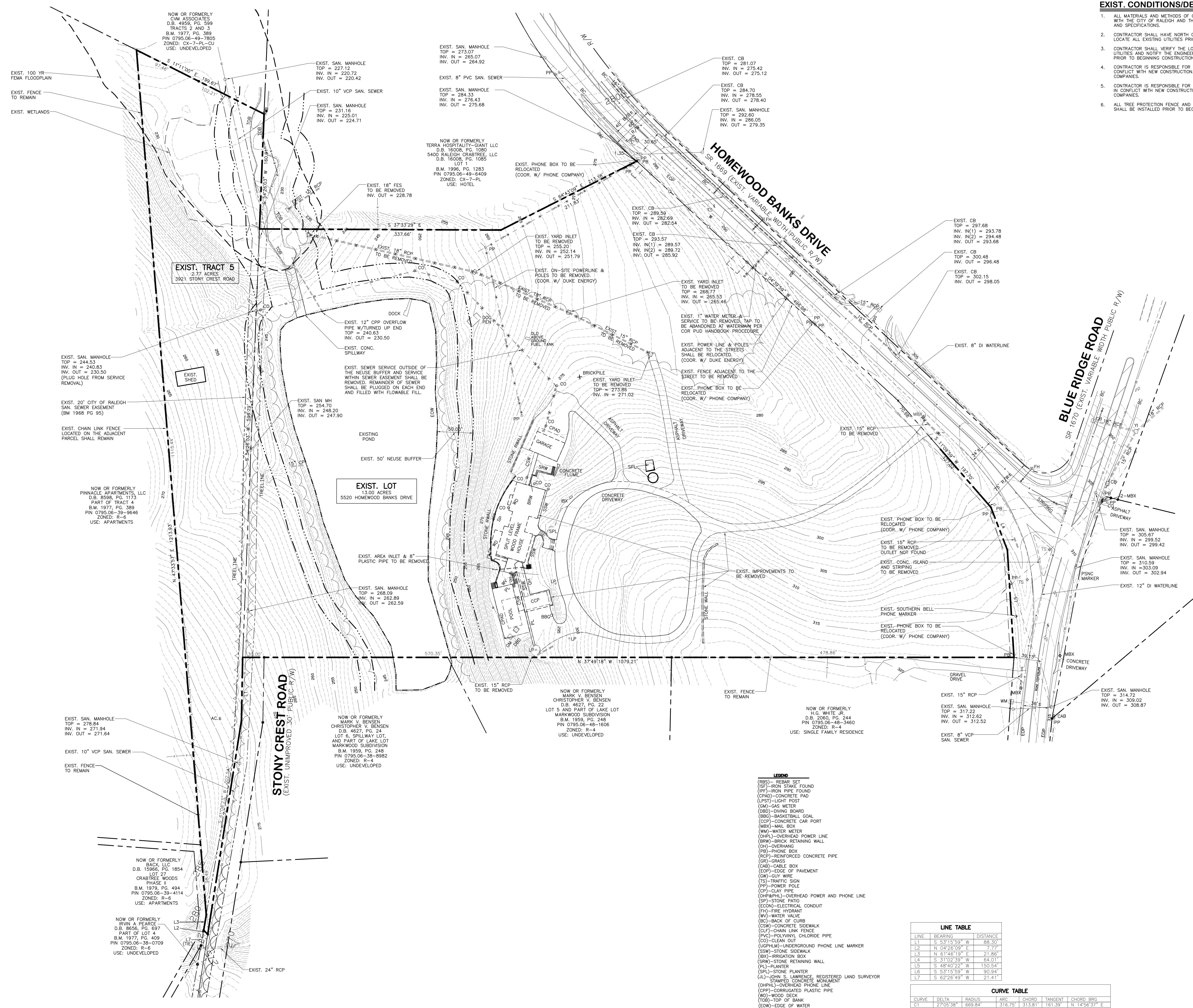
19 MAY 2017	SHOW EXIST. WATER SERVICE REMOVAL
14 JUL 2017	ADD ROAD STRIPING

DRAWN BY: RPH
CHECKED BY: RPH
PROJECT: DHBA

EXISTING
CONDITIONS PLAN

EXIST. CONDITIONS/DEMOLITION NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4849) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL IMPROVEMENTS IN CONFLICT WITH NEW CONSTRUCTION UNLESS NOTED OTHERWISE. COMPANIES.
- ALL TREE PROTECTION FENCE AND 3" T FENCE WITH TREE PROTECTION SIGNAGE SHALL BE INSTALLED PRIOR TO BEGINNING DEMOLITION.



LEGEND

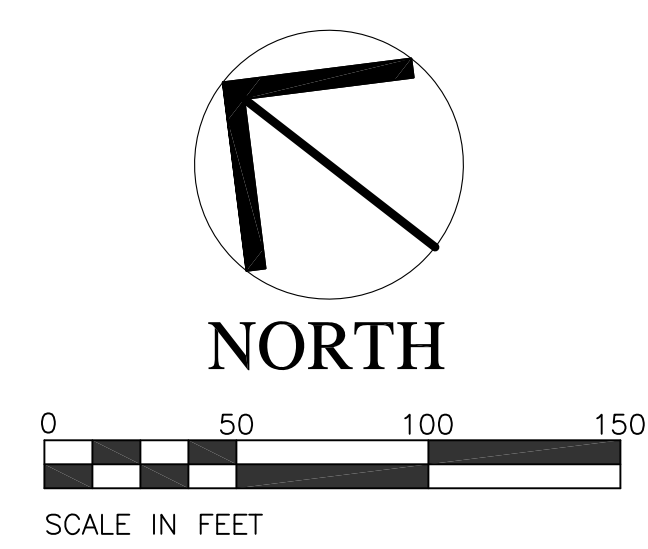
- (RBS) - REBAR SET
- (IS) - IRON STAKE FOUND
- (IP) - IRON PIPE FOUND
- (CPAD) - CONCRETE PAD
- (LPS) - LIGHT POST
- (GM) - GAS METER
- (DB) - DIVING BOARD
- (BBO) - BASKETBALL GOAL
- (CCP) - CONCRETE CAR PORT
- (MBX) - MAIL BOX
- (WM) - WATER METER
- (OHP) - OVERHEAD POWER LINE
- (BRW) - BRICK RETAINING WALL
- (OH) - OVERHANG
- (PB) - PHONE BOX
- (RCP) - REINFORCED CONCRETE PIPE
- (GR) - GRASS
- (CMB) - CABLE BOX
- (EOP) - EDGE OF PAVEMENT
- (GW) - GUT WIRE
- (TS) - TRAFFIC SIGN
- (PP) - POWER POLE
- (CP) - CLAY PIPE
- (OHP&PHL) - OVERHEAD POWER AND PHONE LINE
- (SP) - STONE PATIO
- (ECON) - ELECTRICAL CONDUIT
- (FH) - FIRE HYDRANT
- (WV) - WATER VALVE
- (BC) - BACK OF CURB
- (CSW) - CONCRETE SIDEWALK
- (CLF) - CHAIN LINK FENCE
- (PVC) - POLYVINYL CHLORIDE PIPE
- (CO) - CLEAN OUT
- (USPHLM) - UNDERGROUND PHONE LINE MARKER
- (SSW) - STONE SIDEWALK
- (IBX) - IRRIGATION BOX
- (SRW) - STONE RETAINING WALL
- (PL) - PLANTER
- (SPL) - STAMPED CONCRETE MONUMENT
- (JL) - JOHN S. LAWRENCE, REGISTERED LAND SURVEYOR
- (OHPHL) - OVERHEAD PHONE LINE
- (CP) - CORRUGATED PLASTIC PIPE
- (WD) - WOOD DECK
- (TOB) - TOP OF BANK
- (EOW) - EDGE OF WATER

LINE TABLE

LINE	BEARING	DISTANCE
L1	S 53°15'59" W	88.30'
L2	N 04°26'09" E	7.77'
L3	N 61°46'19" E	21.86'
L4	S 31°02'39" W	64.01'
L5	S 48°40'22" W	150.54'
L6	S 53°15'59" W	90.94'
L7	S 62°26'49" W	21.41'

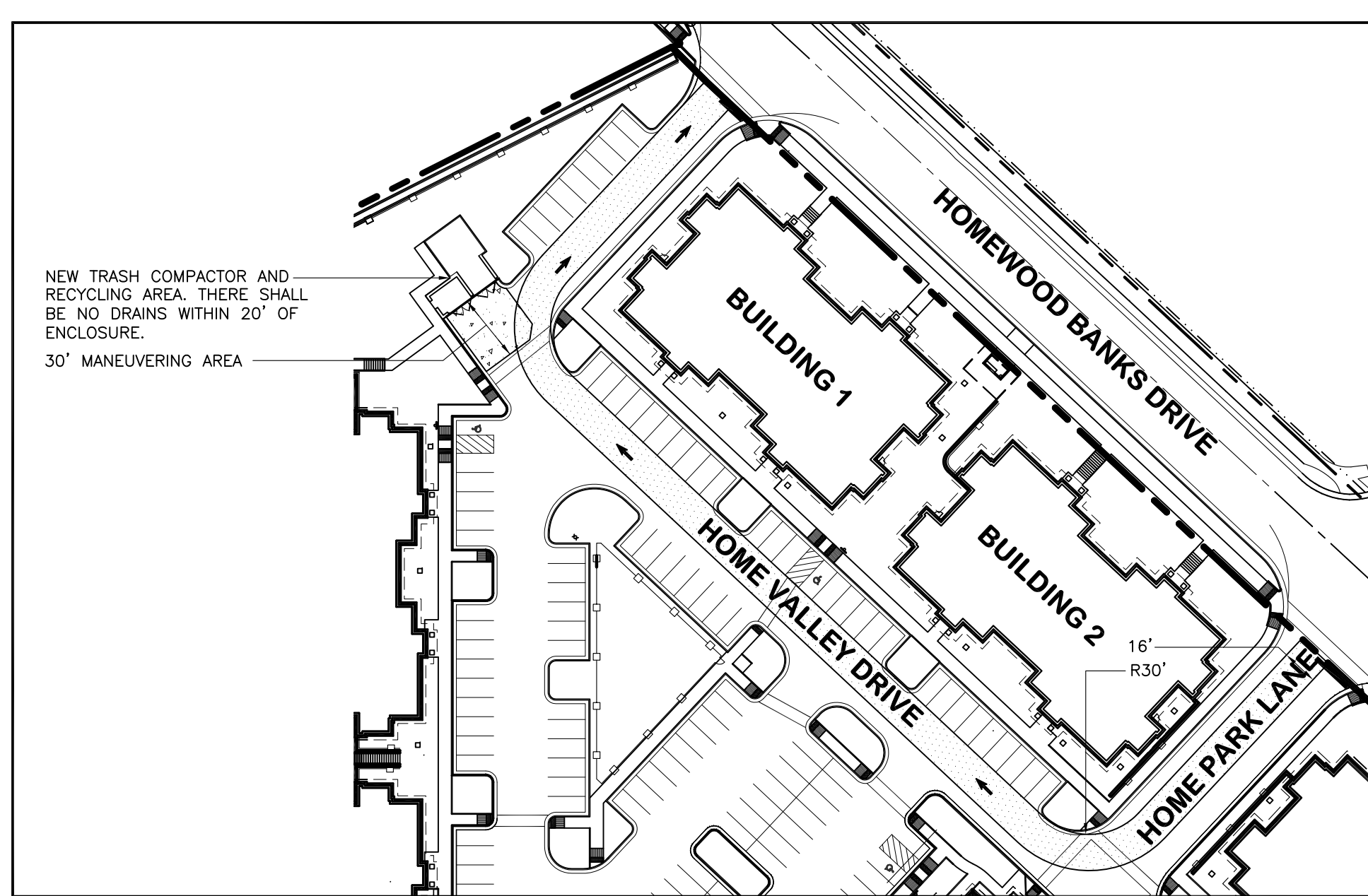
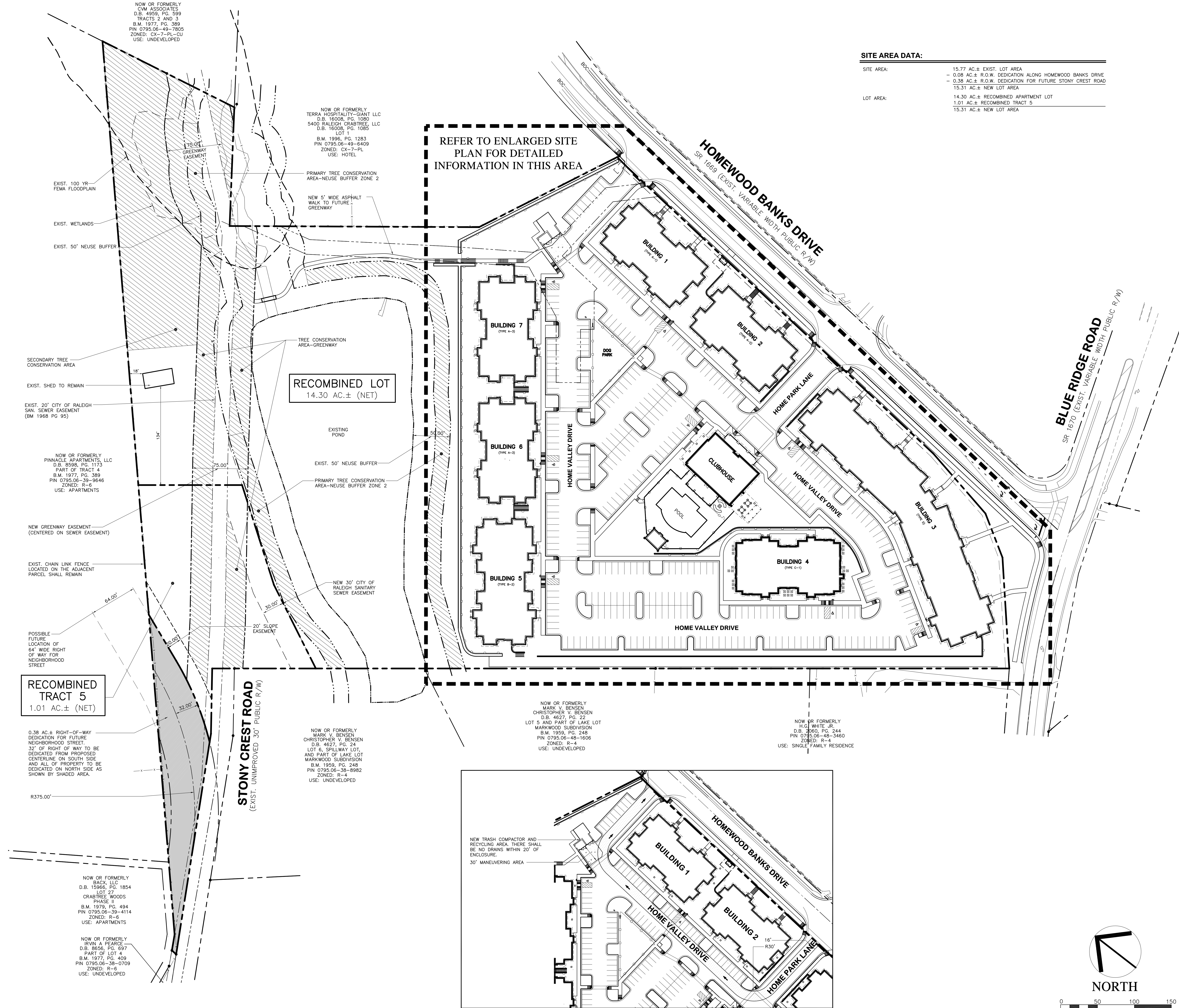
CURVE TABLE

CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BRG
C1	27°05.58'	669.84'	316.25'	313.61'	161.39'	N 14°56'37" E



SITE AREA DATA:

SITE AREA:	15.77 AC.± EXIST. LOT AREA - 0.08 AC.± R.O.W. DEDICATION ALONG HOMEWOOD BANKS DRIVE - 0.38 AC.± R.O.W. DEDICATION FOR FUTURE STONY CREST ROAD 15.31 AC.± NEW LOT AREA
LOT AREA:	14.30 AC.± RECOMBINED APARTMENT LOT 1.01 AC.± RECOMBINED TRACT 5 15.31 AC.± NEW LOT AREA



PRELIMINARY
NOT FOR CONSTRUCTION

CRABTREE LAKESIDE RESIDENCES
HOMEWOOD BANKS DRIVE
AND BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA

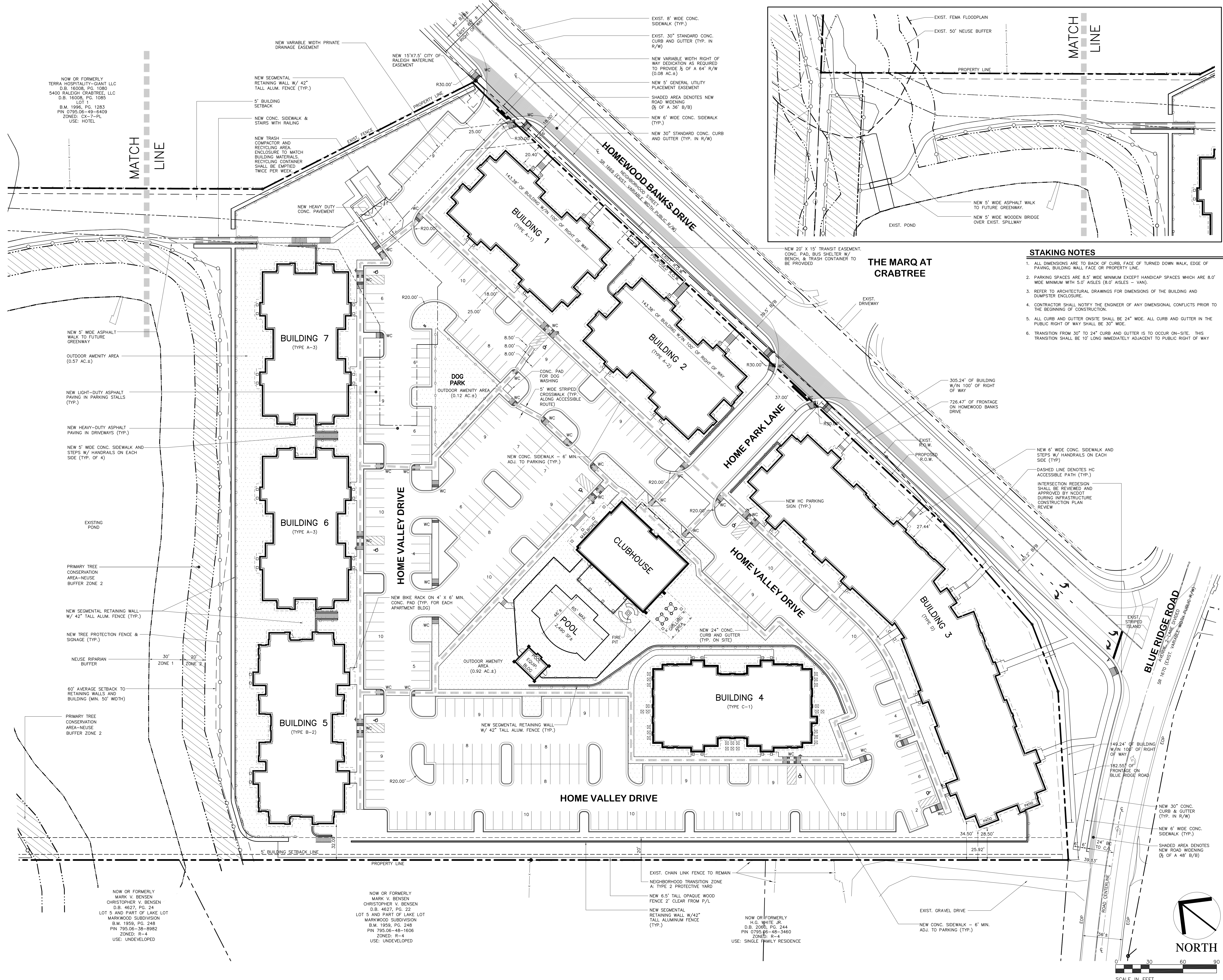
ISSUED: 17 MARCH 2017

REVISIONS:

19 MAY 2017	REV. CLUBHOUSE, BLDG. 3, & PER CITY COMMENTS
14 JUL 2017	REV. PER CITY COMMENTS
09 AUG. 2017	REV. PER CITY COMMENTS

DRAWN BY: RPH
 CHECKED BY: RPH
 PROJECT: DHBA

OVERALL SITE PLAN



THE MARQ AT CRABTREE

STAKING NOTES

1. ALL DIMENSIONS ARE TO BACK OF CURB, FACE OF TURNED DOWN WALK, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE.
2. PARKING SPACES ARE 8.5' WIDE MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8.0' WIDE MINIMUM WITH 5.0' AISLES (8.0' AISLES - VAN).
3. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING AND DUMPSTER ENCLOSURE.
4. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
5. ALL CURB AND GUTTER ON-SITE SHALL BE 24" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
6. TRANSITION FROM 30" TO 24" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY

PRELIMINARY
NOT FOR CONSTRUCTION

CRABTREE LAKESIDE RESIDENCES

HOMWOOD BANKS DRIVE AND BLUE RIDGE ROAD RALEIGH, NORTH CAROLINA

ISSUED: 17 MARCH 2017

REVISIONS:

- ▲ 19 MAY 2017
REV. CLUBHOUSE, BLDG. 3,
& PER CITY COMMENTS
- ▲ 14 JUL 2017
REV. PER CITY COMMENTS
- ▲ 09 AUG 2017
REV. PER CITY COMMENTS
- ▲ 31 AUG 2017
ADD POOL SIZE.

DRAWN BY: RPH
CHECKED BY: RPH
PROJECT: DHBA

PRELIMINARY
SITE PLAN

PRELIMINARY
 NOT FOR CONSTRUCTION

CRABTREE LAKESIDE RESIDENCES
HOMEWOOD BANKS DRIVE
AND BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA

ISSUED: 17 MARCH 2017

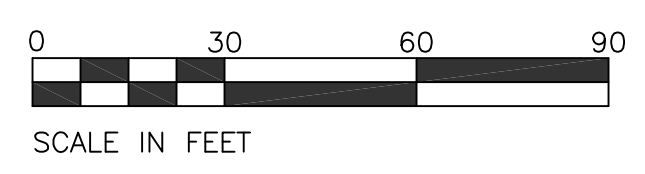
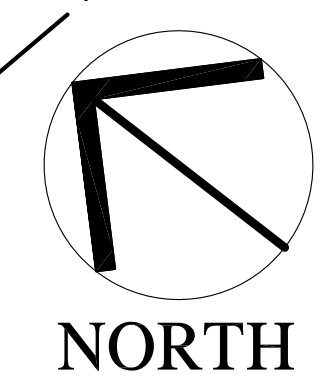
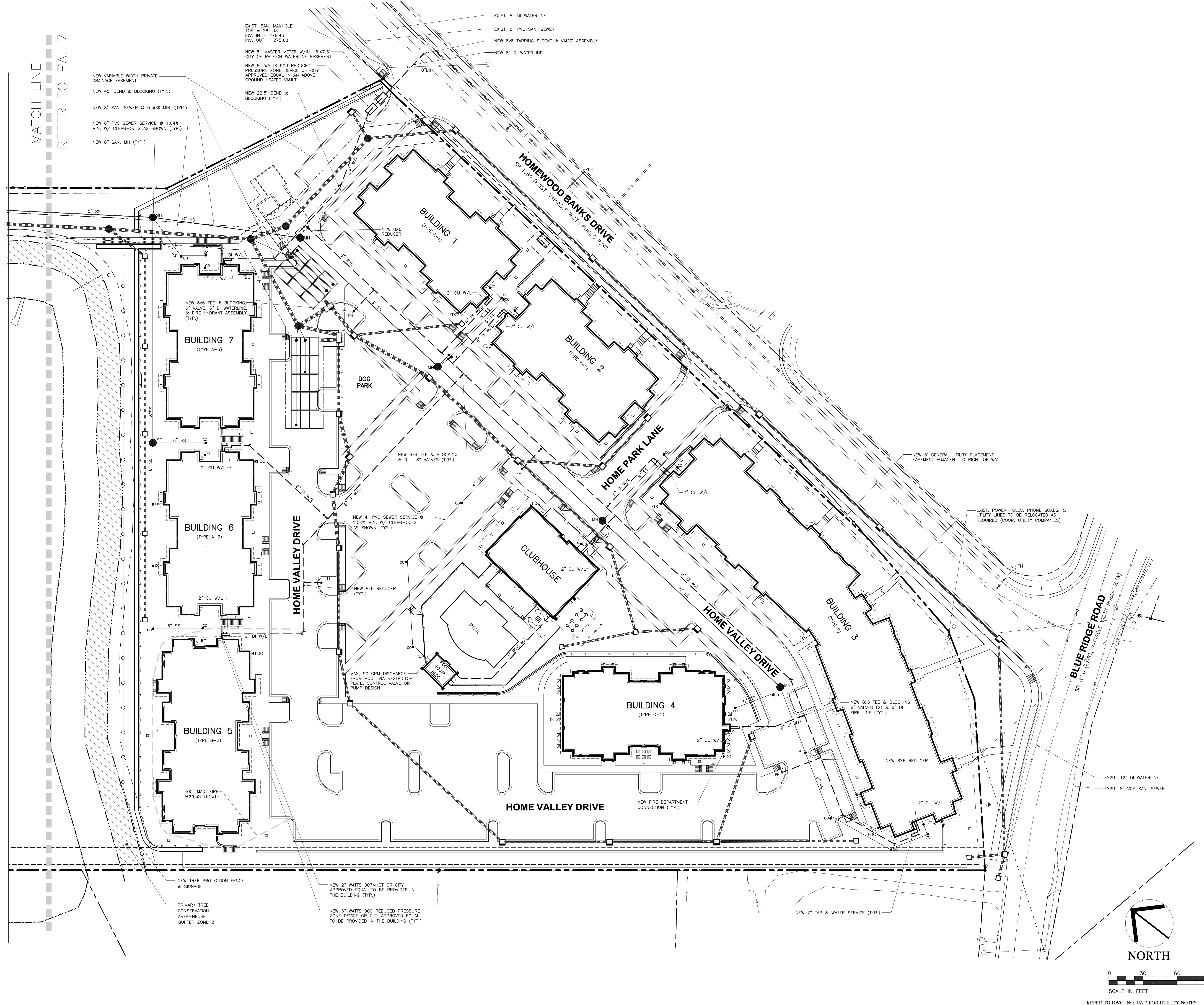
REVISIONS:

19 MAY 2017	REV. CLUBHOUSE, BLDG. 3, & PER CITY COMMENTS
14 JUL 2017	REV. PER CITY COMMENTS
09 AUG. 2017	REV. PER CITY COMMENTS

DRAWN BY: RPH
 CHECKED BY: RPH
 PROJECT: DHBA

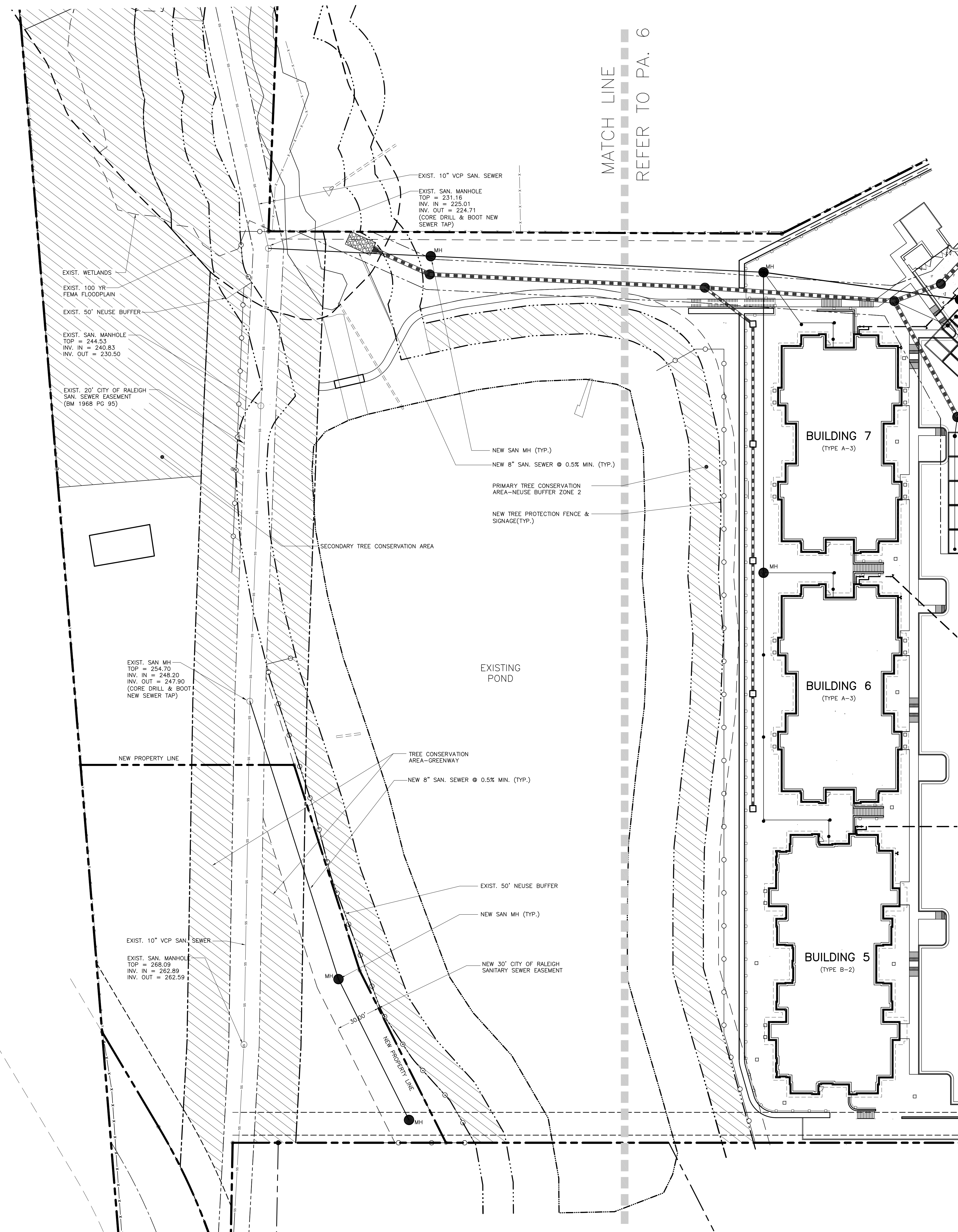
PRELIMINARY
 UTILITY PLAN
 SHEET 1 OF 2

DWG. NO. PA. 6



SCALE IN FEET
 REFER TO DWG. NO. PA 7 FOR UTILITY NOTES

MATCH LINE
 REFER TO PA. 7



UTILITY NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE ELECTRIC, GAS, AND TELEPHONE SERVICE WITH THE APPROPRIATE UTILITY COMPANY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- THIS PLAN IS DIAGRAMMATIC AND REPRESENTS THE APPROXIMATE LOCATION OF UTILITIES UNLESS SPECIFICALLY DIMENSIONED. THE CONTRACTOR SHALL COORDINATE THE ACTUAL AND PROPOSED LOCATION OF UTILITIES TO AVOID CONFLICTS.
- CONTRACTOR SHALL COORDINATE THE LOCATION OF THE WATER AND SEWER SERVICE TO THE BUILDINGS WITH THE BUILDING PLUMBING CONTRACTOR AND THE BUILDING PLANS.
- ALL CLEAN-OUTS SHALL BE PROVIDED IN CAST IRON FRAME AND COVER SIMILAR TO WATER VALVE BOX. PROVIDE HEAVY DUTY FRAME AND COVER IN PAVED AREAS.
- ALL MANHOLE AND CLEAN OUT FRAMES AND COVERS/GRATES SHALL BE PAINTED BLACK SEMI-GLOSS ENAMEL AFTER INSTALLATION.
- CONTRACTOR SHALL PROVIDE CONDUITS FOR IRRIGATION LINES UNDER PAVED AREAS.
- IRRIGATION METER, REDUCED PRESSURE ZONE DEVICE, AND SERVICE SHALL BE PROVIDED. (DESIGN-BUILD.)
- CONTRACTOR SHALL PROVIDE PVC CONDUIT(S) UNDER PAVED AREAS FOR POWER TO LIGHT POLES AND MONUMENT SIGN.

CITY OF RALEIGH STANDARD UTILITY NOTES

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
 - UTILITY SEPARATION REQUIREMENTS:
 A) A DISTANCE OF 100' SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25' FROM A PRIVATE WELL OR 50' FROM A PUBLIC WELL.
 B) WHEN INSTALLING WATER &/OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 12". IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 C) WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 D) 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 E) MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49)
 F) ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
 - ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
 - CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCEMAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
 - IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
 - INSTALL 1.5" METER & 2" COPPER WATER SERVICE WITH METER LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICE FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
 - INSTALL 4" DIP SEWER SERVICES @ 1.04% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
 - PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI; BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
 - ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
 - NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
 - GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATION SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIM BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
 - CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE =OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX-B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA.
- THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.

PRELIMINARY
 NOT FOR CONSTRUCTION

CRABTREE LAKESIDE RESIDENCES
HOMEWOOD BANKS DRIVE
AND BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA

ISSUED: 17 MARCH 2017

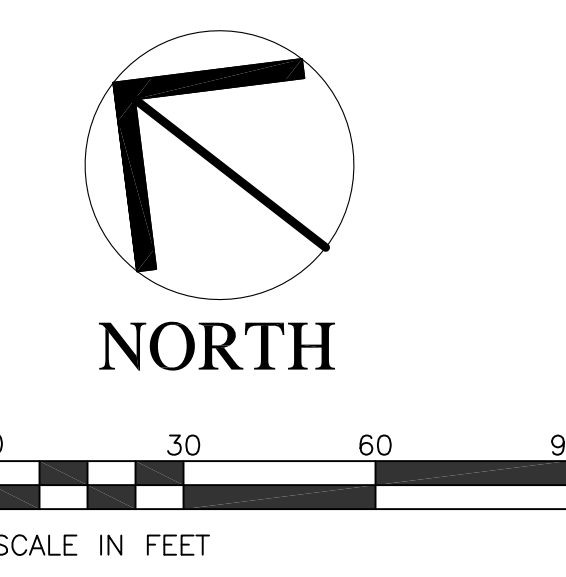
REVISIONS:

19 MAY 2017	REV. BLDG. NUMBERS & PER CITY COMMENTS
14 JUL 2017	REV. PER CITY COMMENTS
09 AUG. 2017	REV. PER CITY COMMENTS

DRAWN BY: RPH
 CHECKED BY: RPH
 PROJECT: DHBA

PRELIMINARY
 UTILITY PLAN
 SHEET 2 OF 2

DWG. NO. PA. 7



KEY	BOTANICAL NAME	COMMON NAME	QUAN.	CAL.	HT.	ROOT	REMARKS
TREES							
CC	<i>Cercis canadensis</i> 'Forest Pansy'	Eastern Redbud	22	1 1/2"	6'	B&B	STREET TREE-POWERLINE
CF	<i>Cornus florida</i> 'Cloud 9'	Cloud 9 Dogwood	3	1 1/2"	6'	B&B	TPY
CJ	<i>Cryptomeria japonica</i>	Japanese Cedar	16	N/A	6'	B&B	TPY/SCREEN
GB	<i>Ginkgo biloba</i> 'Autumn Gold'	Maidenhair Tree	4	3"	10'	B&B	TPY
LIN	<i>Lagerstroemia indica</i> x 'fourie'	Natchez Grape Myrtle	15	3"	17/2"	B&B	STREET TREE-POWERLINE-SINGLE STEM
MG	<i>Magnolia grandiflora</i> 'Bracken's Brown Beauty'	Southern Magnolia	15	2"	8'	B&B	TPY
NS	<i>Nyssa sylvatica</i> 'Wildfire'	Wildfire Black Gum	9	3"	10'	B&B	TPY
PC	<i>Prunus caroliniana</i> 'Thundercloud'	Thundercloud Purple Plum	6	1 1/2"	6'	B&B	TPY
PM	<i>Prunus mume</i> 'Peggy Clark'	Flowering Apricot	6	1 1/2"	6'	B&B	TPY
QC	<i>Quercus coccinea</i>	Scarlet Oak	8	3"	10'	B&B	TPY
QL	<i>Quercus lyrata</i>	Overcup Oak	19	3"	10'	B&B	USA
RS	<i>Ulmus parvifolia</i> 'Emer II'	Alice Chinese Lacebark Elm	21	3"	10'	B&B	USA
VS	<i> Zelkova serrata</i> 'Village Green'	Japanese Zelkova	4	3"	10'	B&B	USA
SHRUBS							
AIGG	<i>Azalea x indica</i> 'G. G. Gerbing'	G. G. Gerbing Azalea	60		24"	5 GAL	
AIGT	<i>Azalea x indica</i> 'George Tabor'	George Tabor Azalea	37		24"	5 GAL	
BT	<i>Berberis thunbergii</i> 'Aurea'	Golden Barberry	22		24"	5 GAL	
CH	<i>Cephalotaxus harringtonii</i> 'Drupacea'	Drupacea Plum Yew	25*		24"	5 GAL	
CP	<i>Chamaecyparis pisifera</i> 'Gold Mop'	Gold Mop Cypress	11*		24"	5 GAL	
CS	<i>Camelia sasanqua</i> 'Yuletide'	Yuletide Sasanqua	13*		24"	5 GAL	
GU	<i>Gardenia jasminoides</i> 'Fragrant Pathways'	Fragrant Pathways Gardenia	6*		24"	5 GAL	
IEB	<i>Ilex x 'Emily Bruner'</i>	Emily Bruner Holly	6		36"	7 GAL	
INR	<i>Ilex x 'Nellie R. Stevens'</i>	Nellie R. Stevens Holly	6		24"	5 GAL	
LC	<i>Loropetalum chinensis</i> 'Blush'	Chinese Fringe-Flower	93		24"	5 GAL	
PL	<i>Prunus laurocerasus</i> 'Schipkaensis'	Laurel	35*		24"	5 GAL	
TO	<i>Thuja occidentalis</i> 'Emerald'	Absconce	11		36"	7 GAL	
GROUND COVER AND ORNAMENTAL GRASSES							
LM	<i>Lirigae muscari</i> 'Big Blue'	Big Blue Lirigae	200*		12"	1 GAL 18" O.C.	
PA	<i>Pennisetum alopecuroides</i> 'Hamelin'	Dwarf Fountain Grass	26*		12"	1 GAL	

SYMBOLS: B&B = BALLED & BURLAPPED; B.R. = BARE ROOT; CONT. = CONTAINER; O.C. = ON-CENTER; GAL = GALLON
NOTE: APARTMENT PLANT QUANTITIES WILL BE ADJUSTED TO REPRESENT THE TOTAL AMOUNT OF PLANT MATERIAL THAT WILL BE PROVIDED FOR ALL PROPOSED APARTMENT BUILDINGS.

LANDSCAPE REQUIREMENTS

STREET PROTECTIVE YARDS

• HOMEWOOD BANKS DRIVE:

- 1 UNDERSTORY TREE @ 20' O.C. REQUIRED/PROVIDED UNDER OVERHEAD UTILITIES
- 758 LF = 103 LF OF DRIVEWAY & SIDEWALK - 30' CLEAR FROM STOP SIGN / 20' = 31 UNDERSTORY TREES REQUIRED
- 30 UNDERSTORY TREES PROVIDED PER COORDINATION WITH URBAN FORESTRY STAFF

• BLUE RIDGE ROAD:

- 1 UNDERSTORY TREE @ 20' O.C. REQUIRED/PROVIDED UNDER OVERHEAD UTILITIES
- 150 LF / 20' = 8 UNDERSTORY TREES REQUIRED
- 7 UNDERSTORY TREES PROVIDED PER COORDINATION WITH URBAN FORESTRY STAFF

TRANSITIONAL PROTECTIVE YARDS

• SOUTHWEST PROPERTY LINE:

- 706 LF OF NEIGHBORHOOD TRANSITION ZONE A: TYPE 2 PROTECTIVE YARD WITH 6.5' OPAQUE WOOD FENCE PROVIDED
- 5 SHADE TREES, 4 UNDERSTORY CANOPY TREES, AND 30 SHRUBS PER 100 LF REQUIRED
- 706/100 = 7.06 X 5 = 36 SHADE TREES REQUIRED/PROVIDED
- 706/100 = 7.06 X 4 = 29 UNDERSTORY SHADE TREES REQUIRED/PROVIDED
- 706/100 = 7.06 X 30 = 212 SHRUBS REQUIRED/PROVIDED

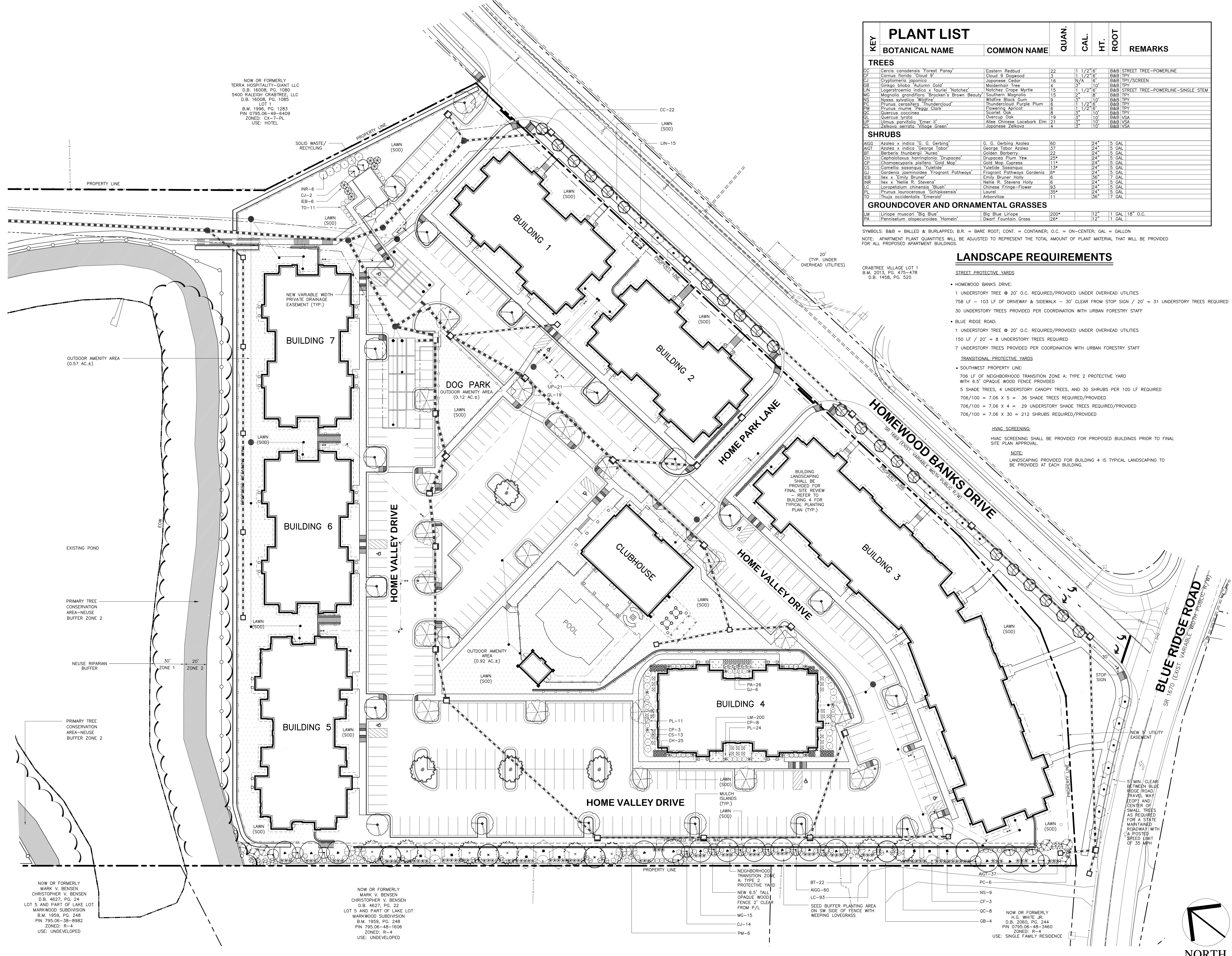
HVAC SCREENING:

- HVAC SCREENING SHALL BE PROVIDED FOR PROPOSED BUILDINGS PRIOR TO FINAL SITE PLAN APPROVAL.

NOTE:

- LANDSCAPING PROVIDED FOR BUILDING 4 IS TYPICAL LANDSCAPING TO BE PROVIDED AT EACH BUILDING.

CRABTREE VILLAGE LOT 1
B.M. 2013, PG. 475-478
D.B. 1458, PG. 520



NOW OR FORMERLY
TERRA HOSPITALITY-GIANT LLC
D.B. 16008, PG. 1080
5400 RALEIGH CRABTREE, LLC
D.B. 16008, PG. 1085
LOT 1
B.M. 1996, PG. 1283
PIN 0795.06-49-8409
ZONED: CX-7-PL
USE: HOTEL

NEW VARIABLE WIDTH
PRIVATE DRAINAGE
EASEMENT (TYP.)

OUTDOOR AMENITY AREA
(0.57 AC.±)

PRIMARY TREE
CONSERVATION
AREA-NEUSE
BUFFER ZONE 2

NEUSE RIPARIAN
BUFFER

PRIMARY TREE
CONSERVATION
AREA-NEUSE
BUFFER ZONE 2

NOW OR FORMERLY
MARK V. BENSEN
CHRISTOPHER V. BENSEN
D.B. 4627, PG. 24
LOT 5 AND PART OF LAKE LOT
MARKWOOD SUBDIVISION
B.M. 1959, PG. 248
PIN 795.06-38-8982
ZONED: R-4
USE: UNDEVELOPED

NOW OR FORMERLY
MARK V. BENSEN
CHRISTOPHER V. BENSEN
D.B. 4627, PG. 22
LOT 5 AND PART OF LAKE LOT
MARKWOOD SUBDIVISION
B.M. 1959, PG. 248
PIN 795.06-48-1606
ZONED: R-4
USE: UNDEVELOPED

NEIGHBORHOOD
TRANSITION ZONE
A: TYPE 2
PROTECTIVE YARD
NEW 6.5' TALL
OPAQUE WOOD
FENCE 2' CLEAR
FROM P/L
MG-15
CJ-14
PM-6

NOW OR FORMERLY
H.G. WHITE, JR.
D.B. 2080, PG. 244
PIN 0795.06-48-3460
ZONED: R-4
USE: SINGLE FAMILY RESIDENCE

CRABTREE LAKESIDE RESIDENCES
HOMEWOOD BANKS DRIVE
AND BLUE RIDGE ROAD
RALEIGH, NORTH CAROLINA

ISSUED: 17 MARCH 2017

REVISIONS:

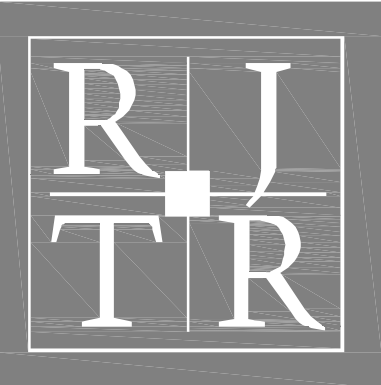
- ▲ 19 MAY 2017
REVISED PER CITY COMMENTS
- ▲ 14 JUL 2017
REV. PER CITY COMMENTS
- ▲ 09 AUG 2017
REV. PER CITY COMMENTS
- ▲ 31 AUG. 2017
LABEL DOG PARK.

DRAWN BY: MGD
CHECKED BY: RPH

PROJECT: DHBA

PRELIMINARY
LANDSCAPE
PLAN

DWG. NO. PA. 8



RULE JOY TRAMMELL RUBIO
ARCHITECTURE | INTERIOR DESIGN

300 Galleria Parkway Suite 740 Atlanta, Georgia 30339
770-661-1492 (phone) 770-661-1493 (fax)
www.rjtrdesign.com

PRINTED

DATE	ISSUE/REVISION
3-20-17	PRELIMINARY PRICING
4-20-17	SCHEMATIC DESIGN
6-1-17	DESIGN DEVELOPMENT

ELEVATIONS - BLDG. TYPE A-1

CRABTREE LAKESIDE RESIDENCES

5510 Homewood Banks Drive
RALEIGH, NORTH CAROLINA 27612

COMMISSION NO. 15-125
DRAWING NO.

A5-01

EXTERIOR MATERIAL SCHEDULE/LEGEND

HATCH/KEY	MATERIAL	BASIS OF DESIGN PRODUCT/MANUFACTURER
	BRICK VENEER	CHEROKEE BRICK AND TILE, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: 'WILLIAMSBURG'
	CULTURED STONE VENEER	NATIVE CUSTOM STONE, STACK STONE
	FIBER CEMENT SIDING WITH 6" EXPOSURE	FACTORY PRIMED & FIELD PAINTED
	CEMENTITIOUS SHINGLE SIDING	HARDIE SHINGLE 'STAGGERED - EDGE PANEL', 6" EXPOSURE
	FIBER CEMENT PANELS	W/ 1 X 4 BATTEN STRIPS AT 2'-0" O.C.
	BRICK SOLDIERS	TBD
	BRICK SILL	TBD
	ARCHITECTURAL ROOFING SHINGLES	OWENS CORNING OAKRIDGE PRO 30 AR SERIES, 'DRIFTWOOD'
	PRE-FINISHED ALUMINUM RAILING AT STAIR WINDOW OPENINGS AND UNIT BALCONIES	COLOR TO MATCH
	EXHAUST WALL CAPS	FINISH TO MATCH EXTERIOR WALL FINISH
	WINDOW TYPE, TAG COVERS WINDOW TYPE FOR ENTIRE VERTICAL STACK UNLESS NOTED OTHERWISE; REFER TO SHEET A7-01 FOR ADDITIONAL INFORMATION	SEE A7-01 FOR SPECIFIC MODEL NUMBERS



**BUILDING 1_TYPE A-1
LEFT & RIGHT END ELEVATIONS**

2 Scale: 1/8"=1'-0"

MATERIAL AREAS	
TOTAL SURFACE AREA	2,470 SF
OPENING AREA	744 SF
TOTAL AREA (EXCLUDING OPENINGS)	1,726 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	651 SF (38%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	1,075 SF (62%)



**BUILDING 1_TYPE A-1
FRONT (ROAD FRONTAGE) & REAR ELEVATIONS**

1 Scale: 1/8"=1'-0"

MATERIAL AREAS	
TOTAL SURFACE AREA	4,404 SF
OPENING AREA	1,098 SF
TOTAL AREA (EXCLUDING OPENINGS)	3,306 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	1,424 SF (43%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	1,882 SF (57%)

NOTES

1. PROVIDE CONTROL JOINTS IN BRICK @ MAX 30'-0" O.C. CONTROL JOINT COLOR SHALL MATCH MORTAR COLOR
2. ALL VENT PIPING EXTENDING ABOVE ROOF SURFACE SHALL BE PAINTED A COLOR SUCH THAT IT WILL BLEND WITH THE ROOFING MATERIAL COLOR.
3. PROVIDE CONTINUOUS 2x4 BLOCKING AT ALL HORIZONTAL JOINTS OF EXTERIOR SHEATHING WHERE FLUID-APPLIED AIR BARRIER IS CALLED OUT.

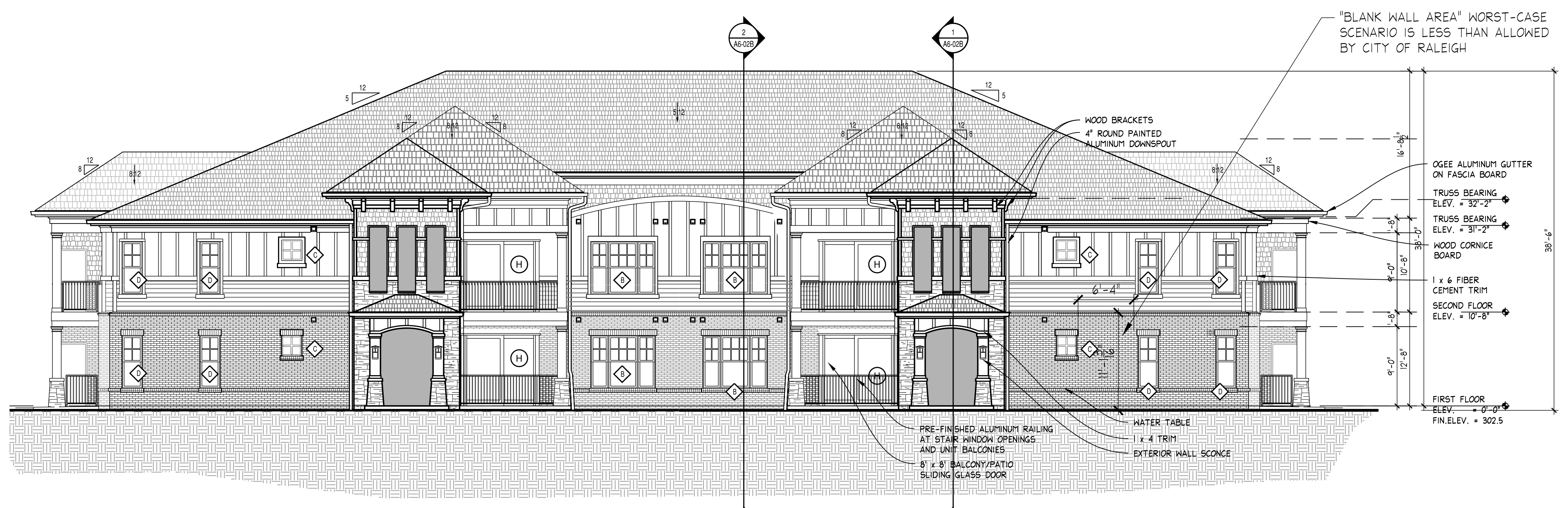
NOT ISSUED FOR CONSTRUCTION

DATE	ISSUE/REVISION
3-20-17	PRELIMINARY PRICING
4-20-17	SCHEMATIC DESIGN
6-1-17	DESIGN DEVELOPMENT

PRINTED	
DATE	ISSUE/REVISION
3-20-17	PRELIMINARY PRICING
4-20-17	SCHEMATIC DESIGN
6-1-17	DESIGN DEVELOPMENT

NOT ISSUED FOR CONSTRUCTION

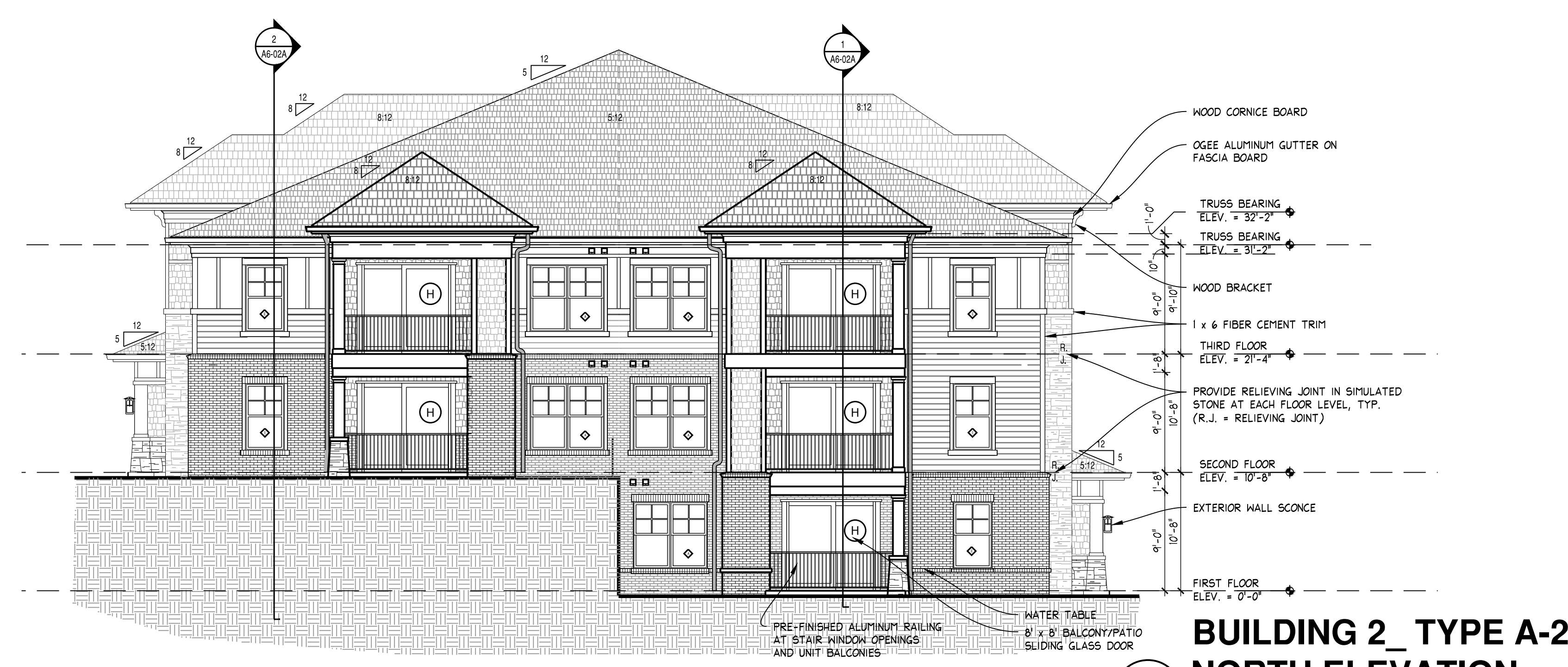
HATCH/KEY	MATERIAL	BASIS OF DESIGN PRODUCT/MANUFACTURER
	BRICK VENEER	CHEROKEE BRICK AND TILE, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: 'WILLIAMSBURG'
	CULTURED STONE VENEER	NATIVE CUSTOM STONE, STACK STONE
	FIBER CEMENT SIDING WITH 6' EXPOSURE	FACTORY PRIMED & FIELD PAINTED
	CEMENTITIOUS SHINGLE SIDING	HARDIE SHINGLE 'STAGGERED-EDGE PANEL', 6' EXPOSURE
	FIBER CEMENT PANELS	W/ 1 X 4 BATTEN STRIPS AT 2'-0" O.C.
	BRICK SOLDIERS	TBD
	BRICK SILL	TBD
	ARCHITECTURAL ROOFING SHINGLES	OWENS CORNING OAKRIDGE PRO 30 AR SERIES, 'DRIFTWOOD'
	PRE-FINISHED ALUMINUM RAILING AT STAIR WINDOW OPENINGS AND UNIT BALCONIES	COLOR TO MATCH
	EXHAUST WALL CAPS	FINISH TO MATCH EXTERIOR WALL FINISH
	WINDOW TYPE; TAG COVERS WINDOW TYPE FOR ENTIRE VERTICAL STACK UNLESS NOTED OTHERWISE; REFER TO SHEET A7-01 FOR ADDITIONAL INFORMATION	SEE A7-01 FOR SPECIFIC MODEL NUMBERS



BUILDING 2_ TYPE A-2 EAST (ROAD FRONTAGE) ELEVATION
 Scale: 1/8"=1'-0"



BUILDING 2_ TYPE A-2 WEST ELEVATION
 Scale: 1/8"=1'-0"



BUILDING 2_ TYPE A-2 NORTH ELEVATION
 Scale: 1/8"=1'-0"



BUILDING 2_ TYPE A-2 SOUTH ELEVATION
 Scale: 1/8"=1'-0"

MATERIAL AREAS	
TOTAL SURFACE AREA	3,137 SF
OPENING AREA	735 SF
TOTAL AREA (EXCLUDING OPENINGS)	2,402 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	1,315 SF (55%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	1,087 SF (45%)

MATERIAL AREAS	
TOTAL SURFACE AREA	4,536 SF
OPENING AREA	735 SF
TOTAL AREA (EXCLUDING OPENINGS)	3,801 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	1,492 SF (40%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	2,309 SF (60%)

MATERIAL AREAS	
TOTAL SURFACE AREA	2,061 SF
OPENING AREA	620 SF
TOTAL AREA (EXCLUDING OPENINGS)	1,441 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	625 SF (43%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	816 SF (57%)

MATERIAL AREAS	
TOTAL SURFACE AREA	2,136 SF
OPENING AREA	760 SF
TOTAL AREA (EXCLUDING OPENINGS)	1,376 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	762 SF (55%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	614 SF (45%)

NOTES	
1.	PROVIDE CONTROL JOINTS IN BRICK @ MAX 30'-0" O.C. CONTROL JOINT COLOR SHALL MATCH MORTAR COLOR
2.	ALL VENT PIPING EXTENDING ABOVE ROOF SURFACE SHALL BE PAINTED A COLOR SUCH THAT IT WILL BLEND WITH THE ROOFING MATERIAL COLOR.
3.	PROVIDE CONTINUOUS 2x4 BLOCKING AT ALL HORIZONTAL JOINTS OF EXTERIOR SHEATHING WHERE FLUID-APPLIED AIR BARRIER IS CALLED OUT.

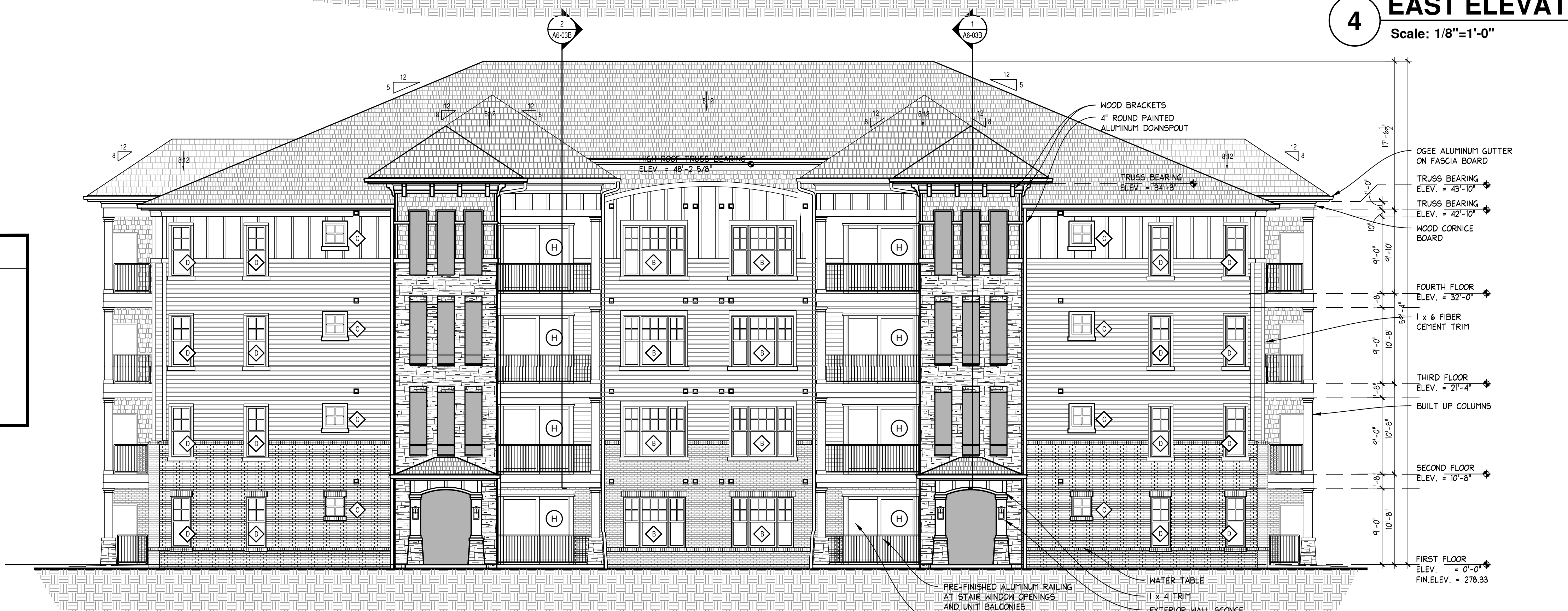
DATE	ISSUE/REVISION
3-20-17	PRELIMINARY PRICING
4-20-17	SCHEMATIC DESIGN
6-1-17	DESIGN DEVELOPMENT

EXTERIOR MATERIAL SCHEDULE/LEGEND

HATCH/KEY	MATERIAL	BASIS OF DESIGN PRODUCT/MANUFACTURER
[Hatch]	BRICK VENEER	CHEROKEE BRICK AND TILE, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: 'WILLIAMSBURG'
[Hatch]	CULTURED STONE VENEER	NATIVE CUSTOM STONE, STACK STONE
[Hatch]	FIBER CEMENT SIDING WITH 6" EXPOSURE	FACTORY PRIMED & FIELD PAINTED
[Hatch]	CEMENTITIOUS SHINGLE SIDING	HARDIE SHINGLE 'STAGGERED-EDGE PANEL', 6" EXPOSURE
[Hatch]	FIBER CEMENT PANELS	W/ 1 X 4 BATTEN STRIPS AT 2'-0" O.C.
[Hatch]	BRICK SOLDIERS	TBD
[Hatch]	BRICK SILL	TBD
[Hatch]	ARCHITECTURAL ROOFING SHINGLES	OWENS CORNING OAKRIDGE PRO 30 AR SERIES, 'DRIFTWOOD'
[Hatch]	PRE-FINISHED ALUMINUM RAILING AT STAIR WINDOW OPENINGS AND UNIT BALCONIES	COLOR TO MATCH
[Hatch]	EXHAUST WALL CAPS	FINISH TO MATCH EXTERIOR WALL FINISH
[Hatch]	WINDOW TYPE; TAG COVERS WINDOW TYPE FOR ENTIRE VERTICAL STACK UNLESS NOTED OTHERWISE; REFER TO SHEET A7-01 FOR ADDITIONAL INFORMATION	SEE A7-01 FOR SPECIFIC MODEL NUMBERS



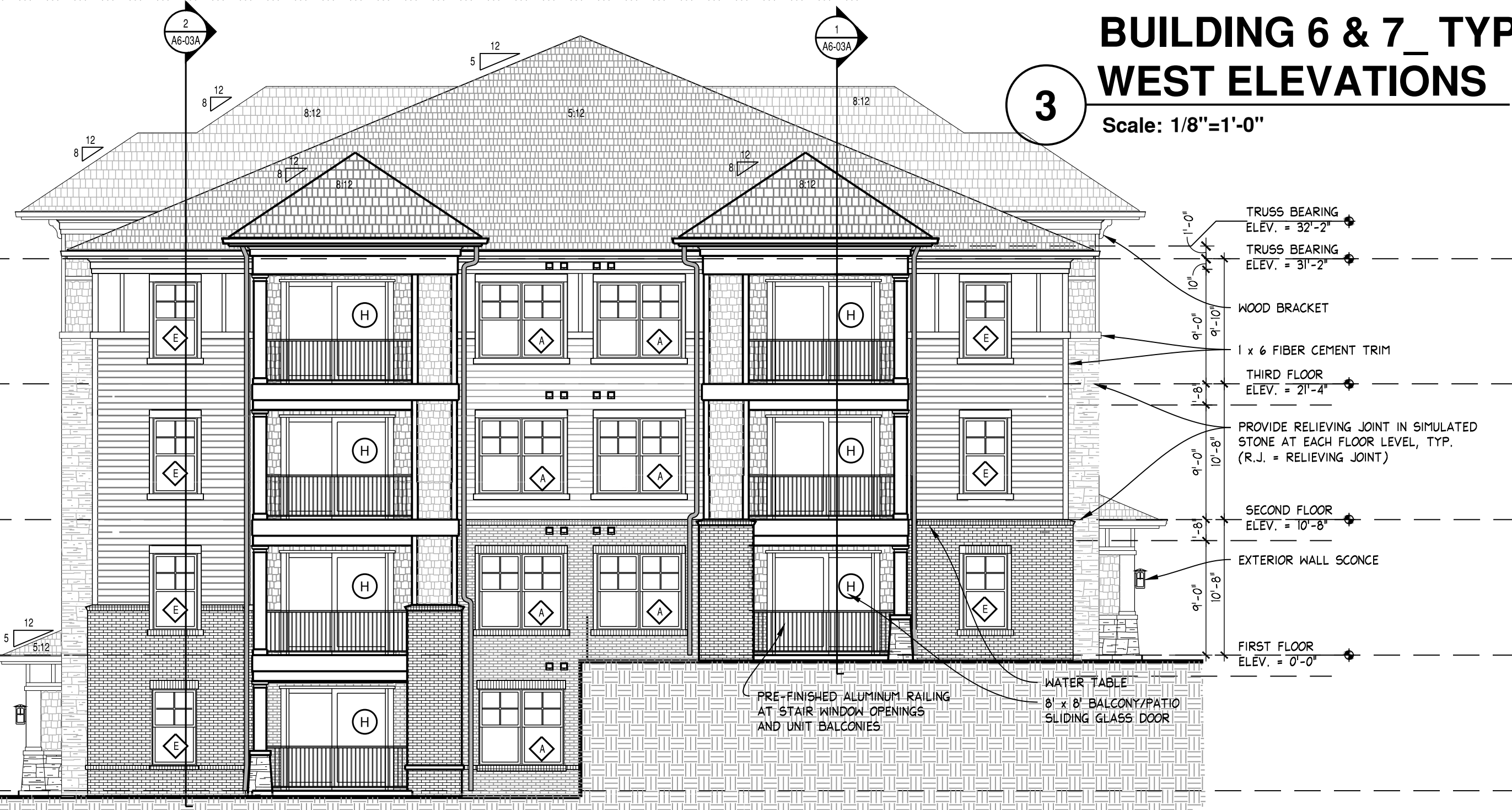
BUILDING 6 & 7_TYPE A-3 EAST ELEVATIONS
 Scale: 1/8"=1'-0"



BUILDING 6 & 7_TYPE A-3 WEST ELEVATIONS
 Scale: 1/8"=1'-0"



BUILDING 6 & 7_TYPE A-3 NORTH ELEVATION
 Scale: 1/8"=1'-0"



BUILDING 6 & 7_TYPE A-3 SOUTH ELEVATION
 Scale: 1/8"=1'-0"

MATERIAL AREAS

TOTAL SURFACE AREA	4,404 SF
OPENING AREA	1,098 SF
TOTAL AREA (EXCLUDING OPENINGS)	3,306 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	1,424 SF (43%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	1,882 SF (57%)

MATERIAL AREAS

TOTAL SURFACE AREA	5,803 SF
OPENING AREA	1,460 SF
TOTAL AREA (EXCLUDING OPENINGS)	4,343 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	1,737 SF (40%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	2,606 SF (60%)

MATERIAL AREAS

TOTAL SURFACE AREA	2,880 SF
OPENING AREA	760 SF
TOTAL AREA (EXCLUDING OPENINGS)	1,869 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	689 SF (37%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	1,180 SF (63%)

MATERIAL AREAS

TOTAL SURFACE AREA	2,880 SF
OPENING AREA	760 SF
TOTAL AREA (EXCLUDING OPENINGS)	1,869 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	857 SF (46%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	1,012 SF (54%)

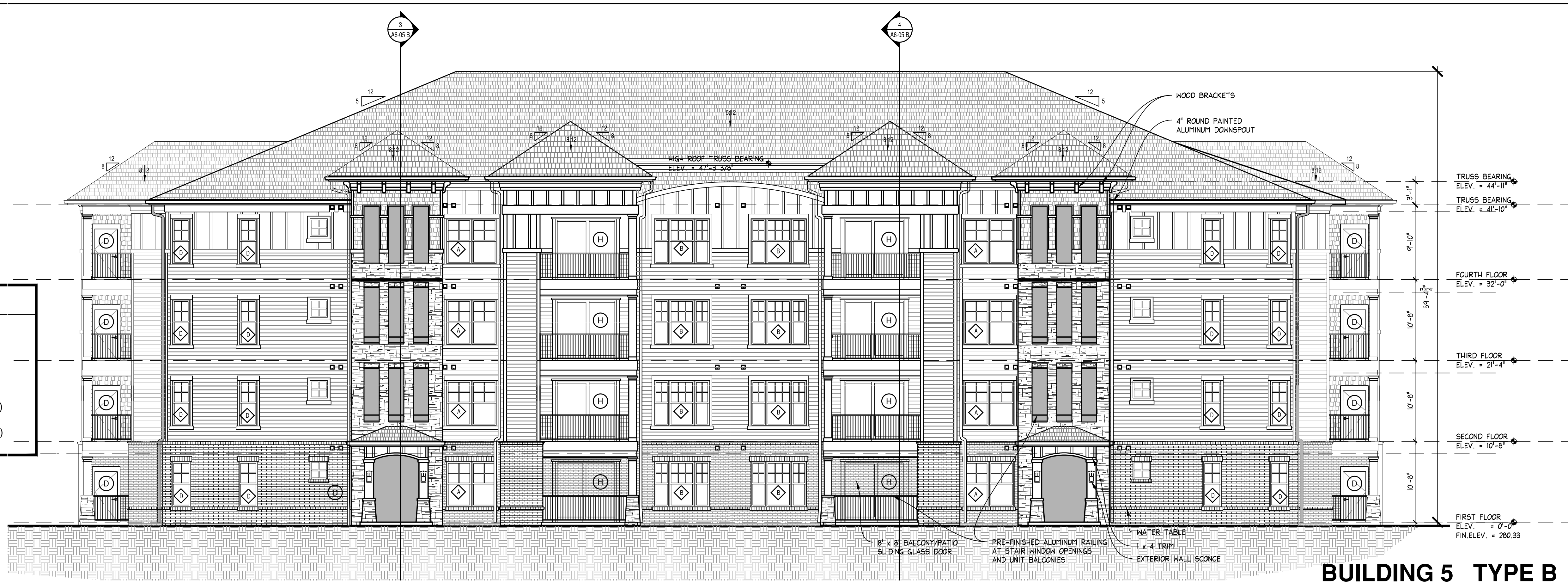
NOTES

- PROVIDE CONTROL JOINTS IN BRICK @ MAX 30'-0" O.C. CONTROL JOINT COLOR SHALL MATCH MORTAR COLOR
- ALL VENT PIPING EXTENDING ABOVE ROOF SURFACE SHALL BE PAINTED A COLOR SUCH THAT IT WILL BLEND WITH THE ROOFING MATERIAL COLOR.
- PROVIDE CONTINUOUS 2x4 BLOCKING AT ALL HORIZONTAL JOINTS OF EXTERIOR SHEATHING WHERE FLUID-APPLIED AIR BARRIER IS CALLED OUT.

PRINTED	
DATE	ISSUE/REVISION
3-20-17	PRELIMINARY PRICING
4-20-17	SCHEMATIC DESIGN
6-1-17	DESIGN DEVELOPMENT

EXTERIOR MATERIAL SCHEDULE/LEGEND

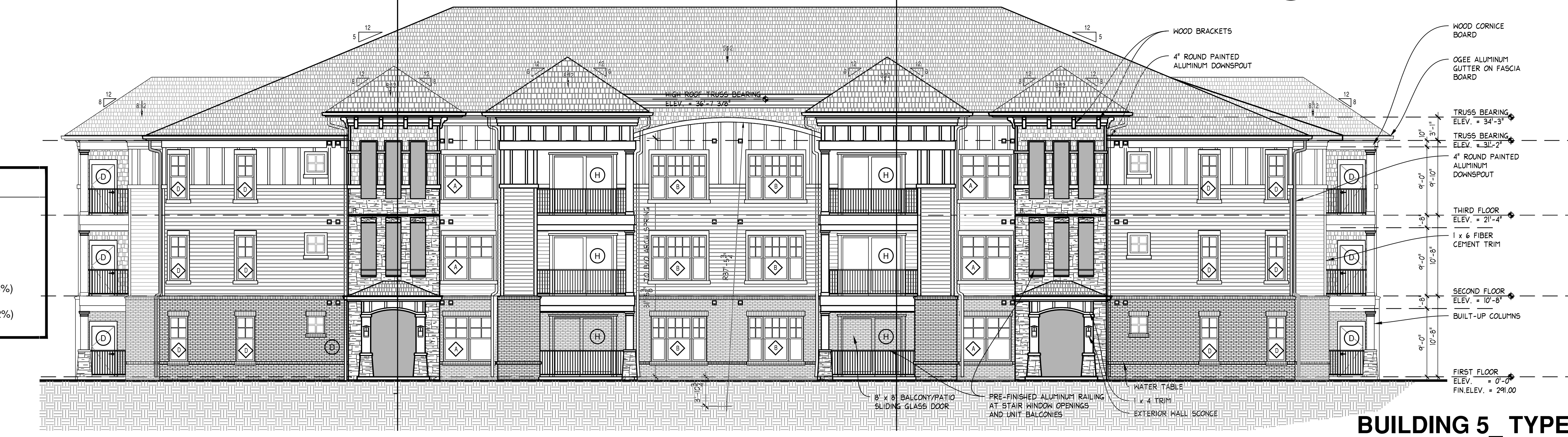
HATCH/KEY	MATERIAL	BASIS OF DESIGN PRODUCT/MANUFACTURER
[Hatch]	BRICK VENEER	CHEROKEE BRICK AND TILE, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: 'WILLIAMSBURG'
[Hatch]	CULTURED STONE VENEER	NATIVE CUSTOM STONE, STACK STONE
[Hatch]	FIBER CEMENT SIDING WITH 6' EXPOSURE	FACTORY PRIMED & FIELD PAINTED
[Hatch]	CEMENTITIOUS SHINGLE SIDING	HARDIE SHINGLE 'STAGGERED EDGE PANEL', 6' EXPOSURE
[Hatch]	FIBER CEMENT PANELS	W/ 1 X 4 BATTEN STRIPS AT 2'-0" O.C.
[Hatch]	BRICK SOLDIERS	TBD
[Hatch]	BRICK SILL	TBD
[Hatch]	ARCHITECTURAL ROOFING SHINGLES	OWENS CORNING OAKRIDGE PRO 30 AR SERIES, 'DRIFTWOOD'
[Hatch]	PRE-FINISHED ALUMINUM RAILING AT STAIR WINDOW OPENINGS AND UNIT BALCONIES	COLOR TO MATCH
[Hatch]	EXHAUST WALL CAPS	FINISH TO MATCH EXTERIOR WALL FINISH
[Hatch]	WINDOW TYPE; TAG COVERS WINDOW TYPE FOR ENTIRE VERTICAL STACK UNLESS NOTED OTHERWISE; REFER TO SHEET A7-01 FOR ADDITIONAL INFORMATION	SEE A7-01 FOR SPECIFIC MODEL NUMBERS



BUILDING 5_TYPE B WEST ELEVATION
 Scale: 3/16"=1'-0"

MATERIAL AREAS

TOTAL SURFACE AREA	6,673 SF
OPENING AREA	1,766 SF
TOTAL AREA (EXCLUDING OPENINGS)	4,907 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	1,614 SF (33%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	3,293 SF (67%)



BUILDING 5_TYPE B EAST ELEVATION
 Scale: 3/16"=1'-0"

MATERIAL AREAS

TOTAL SURFACE AREA	5,085 SF
OPENING AREA	1,330 SF
TOTAL AREA (EXCLUDING OPENINGS)	3,819 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	1,447 SF (38%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	2,372 SF (62%)



BUILDING 5_TYPE B SOUTH ELEVATIONS
 Scale: 3/16"=1'-0"

MATERIAL AREAS

TOTAL SURFACE AREA	3,078 SF
OPENING AREA	760 SF
TOTAL AREA (EXCLUDING OPENINGS)	1,677 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	902 SF (54%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	775 SF (46%)



BUILDING 5_TYPE B NORTH ELEVATION
 Scale: 3/16"=1'-0"

MATERIAL AREAS

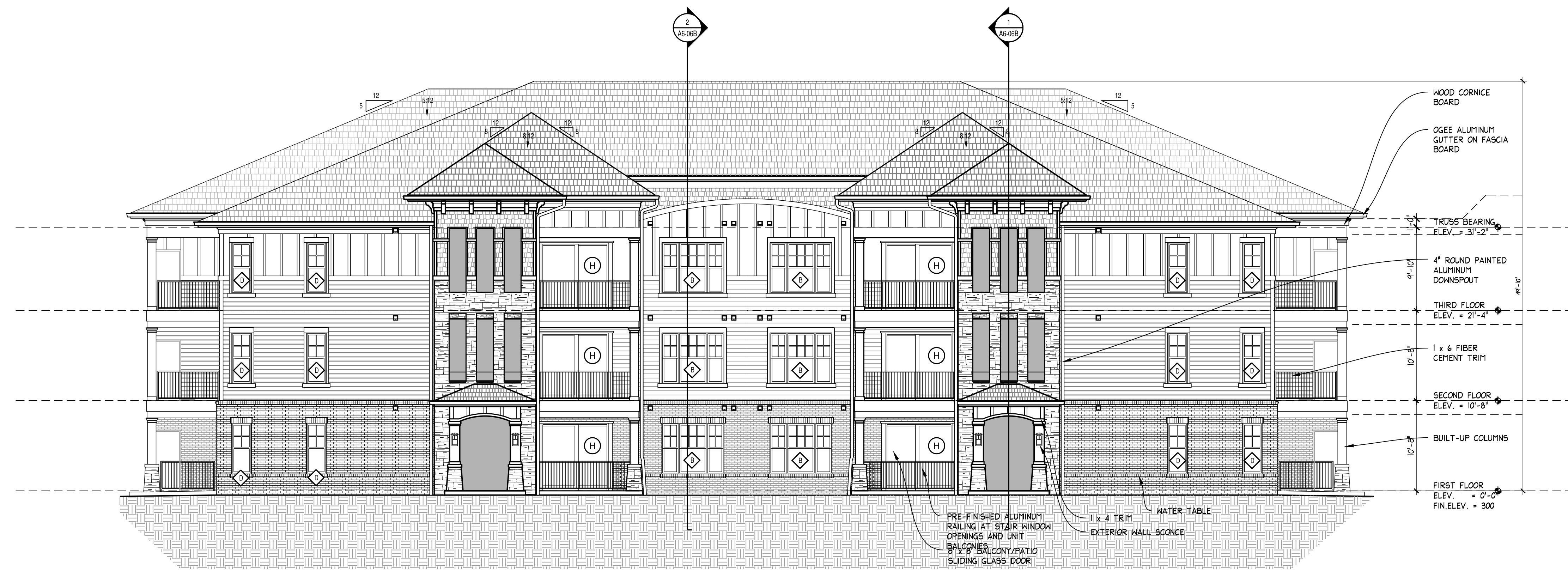
TOTAL SURFACE AREA	3,286 SF
OPENING AREA	876 SF
TOTAL AREA (EXCLUDING OPENINGS)	2,410 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	977 SF (41%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	1,433 SF (59%)

- NOTES**
- PROVIDE CONTROL JOINTS IN BRICK @ MAX 30'-0" O.C. CONTROL JOINT COLOR SHALL MATCH MORTAR COLOR
 - ALL VENT PIPING EXTENDING ABOVE ROOF SURFACE SHALL BE PAINTED A COLOR SUCH THAT IT WILL BLEND WITH THE ROOFING MATERIAL COLOR.
 - PROVIDE CONTINUOUS 2x4 BLOCKING AT ALL HORIZONTAL JOINTS OF EXTERIOR SHEATHING WHERE FLUID-APPLIED AIR BARRIER IS CALLED OUT.

PRINTED	
DATE	ISSUE/REVISION
3-20-17	PRELIMINARY PRICING
4-20-17	SCHEMATIC DESIGN
6-1-17	DESIGN DEVELOPMENT

EXTERIOR MATERIAL SCHEDULE/LEGEND

HATCH/KEY	MATERIAL	BASIS OF DESIGN PRODUCT/MANUFACTURER
	BRICK VENEER	CHEROKEE BRICK AND TILE, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: 'WILLIAMSBURG'
	CULTURED STONE VENEER	NATIVE CUSTOM STONE, STACK STONE
	FIBER CEMENT SIDING WITH 6" EXPOSURE	FACTORY PRIMED & FIELD PAINTED
	CEMENTITIOUS SHINGLE SIDING	HARDIE SHINGLE 'STAGGERED -EDGE PANEL', 6" EXPOSURE
	FIBER CEMENT PANELS	W/ 1 X 4 BATTEN STRIPS AT 2'-0" O.C.
	BRICK SOLDIERS	TBD
	BRICK SILL	TBD
	ARCHITECTURAL ROOFING SHINGLES	OWENS CORNING OAKRIDGE PRO 30 AR SERIES, 'DRIFTWOOD'
	PRE-FINISHED ALUMINUM RAILING AT STAIR WINDOW OPENINGS AND UNIT BALCONIES	COLOR TO MATCH
	EXHAUST WALL CAPS	FINISH TO MATCH EXTERIOR WALL FINISH
	WINDOW TAG; TAG COVERS WINDOW TYPE FOR ENTIRE VERTICAL STACK UNLESS NOTED OTHERWISE; REFER TO SHEET A7-01 FOR ADDITIONAL INFORMATION	SEE A7-01 FOR SPECIFIC MODEL NUMBERS



**BUILDING 4_TYPE C
FRONT & REAR ELEVATIONS**

3 Scale: 1/8"=1'-0"

MATERIAL AREAS

TOTAL SURFACE AREA	4,623 SF
OPENING AREA	1,072 SF
TOTAL AREA (EXCLUDING OPENINGS)	3,551 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	1,379 SF (39%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	2,172 SF (61%)

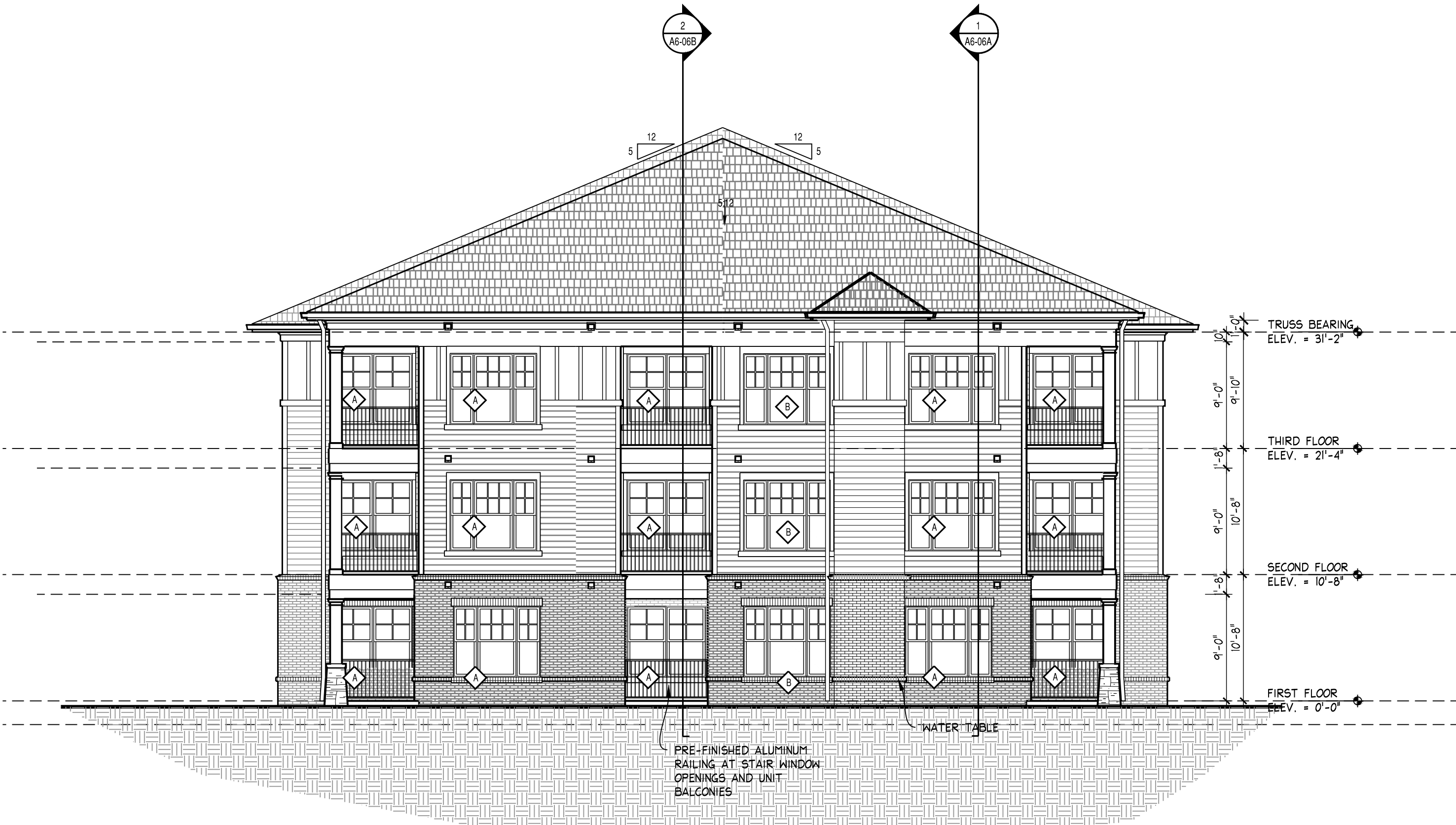


**BUILDING 4_TYPE C
EAST ELEVATION**

2 Scale: 1/8"=1'-0"

MATERIAL AREAS

TOTAL SURFACE AREA	2,413 SF
OPENING AREA	648 SF
TOTAL AREA (EXCLUDING OPENINGS)	1,765 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	622 SF (35%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	1,143 SF (65%)



**BUILDING 4_TYPE C
WEST ELEVATION**

1 Scale: 1/8"=1'-0"

MATERIAL AREAS

TOTAL SURFACE AREA	2,413 SF
OPENING AREA	648 SF
TOTAL AREA (EXCLUDING OPENINGS)	1,765 SF
TOTAL MASONRY (EXCLUDING OPENINGS)	622 SF (35%)
TOTAL NON-MASONRY (EXCLUDING OPENINGS)	1,143 SF (65%)

NOTES

- PROVIDE CONTROL JOINTS IN BRICK @ MAX 30'-0" O.C. CONTROL JOINT COLOR SHALL MATCH MORTAR COLOR
- ALL VENT PIPING EXTENDING ABOVE ROOF SURFACE SHALL BE PAINTED A COLOR SUCH THAT IT WILL BLEND WITH THE ROOFING MATERIAL COLOR.
- PROVIDE CONTINUOUS 2x4 BLOCKING AT ALL HORIZONTAL JOINTS OF EXTERIOR SHEATHING WHERE FLUID-APPLIED AIR BARRIER IS CALLED OUT.

ELEVATIONS - BUILDING TYPE C

CRABTREE LAKESIDE RESIDENCES
5510 Homewood Banks Drive
RALEIGH, NORTH CAROLINA 27612

COMMISSION NO: 15-125
DRAWING NO:

A5-05

NOT ISSUED FOR CONSTRUCTION



EXTERIOR MATERIAL SCHEDULE/LEGEND		
HATCH/KEY	MATERIAL	BASIS OF DESIGN PRODUCT/MANUFACTURER
[Hatch]	BRICK VENEER	CHEROKEE BRICK AND TILE, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: 'WILLIAMSBURG'
[Hatch]	CULTURED STONE VENEER	NATIVE CUSTOM STONE, STACK STONE
[Hatch]	FIBER CEMENT SIDING WITH 6" EXPOSURE	FACTORY PRIMED & FIELD PAINTED
[Hatch]	CEMENTITIOUS SHINGLE SIDING	HARDIE SHINGLE 'STAGGERED -EDGE PANEL', 6" EXPOSURE
[Hatch]	FIBER CEMENT PANELS	W/ 1 X 4 BATTEN STRIPS AT 2'-0" O.C.
[Hatch]	BRICK SOLDIERS	TBD
[Hatch]	BRICK SILL	TBD
[Hatch]	ARCHITECTURAL ROOFING SHINGLES	OWENS CORNING OAKRIDGE PRO 30 AR SERIES, 'DRIFTWOOD'
[Hatch]	PRE-FINISHED ALUMINUM RAILING AT STAIR WINDOW OPENINGS AND UNIT BALCONIES	COLOR TO MATCH
[Hatch]	EXHAUST WALL CAPS	FINISH TO MATCH EXTERIOR WALL FINISH
[Hatch]	WINDOW TYPE; TAG COVERS WINDOW TYPE FOR ENTIRE VERTICAL STACK UNLESS NOTED OTHERWISE; REFER TO SHEET A7-01 FOR ADDITIONAL INFORMATION	SEE A7-01 FOR SPECIFIC MODEL NUMBERS



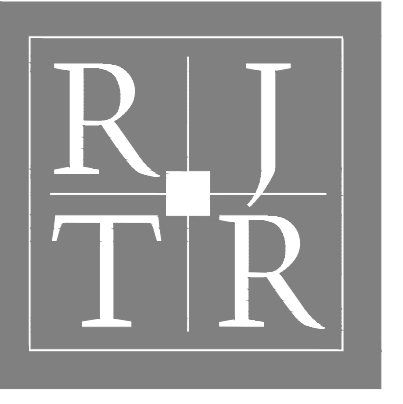
BUILDING 3_TYPE D WEST ELEVATION
Scale: 1/8"=1'-0"



BUILDING 3_TYPE D EAST (ROAD FRONTAGE) ELEVATION
Scale: 1/8"=1'-0"



- NOTES**
- PROVIDE CONTROL JOINTS IN BRICK @ MAX 30'-0" O.C. CONTROL JOINT COLOR SHALL MATCH MORTAR COLOR
 - ALL VENT PIPING EXTENDING ABOVE ROOF SURFACE SHALL BE PAINTED A COLOR SUCH THAT IT WILL BLEND WITH THE ROOFING MATERIAL COLOR.
 - PROVIDE CONTINUOUS 2x4 BLOCKING AT ALL HORIZONTAL JOINTS OF EXTERIOR SHEATHING WHERE FLUID-APPLIED AIR BARRIER IS CALLED OUT.



RULE JOY TRAMMELL | RUBIO
ARCHITECTURE | INTERIOR DESIGN
300 Galleria Parkway Suite 740 Atlanta, Georgia 30339
770-061-1492 (phone) 770-061-1493 (fax)
www.rjtrdesign.com

PRINTED	
DATE	ISSUE/REVISION
6-1-17	DESIGN DEVELOPMENT

ELEVATIONS - BUILDING TYPE D
CRABTREE LAKESIDE RESIDENCES
5510 Homewood Banks Drive
RALEIGH, NORTH CAROLINA 27612
COMMISSION NO: 15-125
DRAWING NO:
A5-06

PRINTED	
DATE	ISSUE/REVISION
3-20-17	PRELIMINARY PRICING
4-20-17	SCHEMATIC DESIGN
6-1-17	DESIGN DEVELOPMENT

EXTERIOR MATERIAL SCHEDULE/LEGEND

HATCH/KEY	MATERIAL	BASIS OF DESIGN PRODUCT/MANUFACTURER
[Hatch]	BRICK VENEER	TRIANGLE BRICK, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: CAMBRIDGE
[Hatch]	SIMULATED STONE VENEER	NATIVE STONE - NATIVE CUSTOM STONE VENEER - STACKED GRANITE
[Hatch]	FIBER CEMENT SIDING WITH 6" EXPOSURE	FACTORY PRIMED & FIELD PAINTED
[Hatch]	CEMENTITIOUS SHINGLE SIDING	HARDIE SHINGLE 'STAGGERED -EDGE PANEL', 6" EXPOSURE
[Hatch]	FIBER CEMENT PANELS	W/ 1 X 4 BATTEN STRIPS AT 2'-0" O.C.
[Hatch]	BRICK SOLDIERS	TRIANGLE BRICK, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: CAMBRIDGE
[Hatch]	BRICK SILL	TRIANGLE BRICK, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: CAMBRIDGE
[Hatch]	ARCHITECTURAL ROOFING SHINGLES	OWENS CORNING OAKRIDGE PRO 30 AR SERIES, 'DRIFTWOOD'
[Hatch]	WINDOW TYPE TAG. TYP. FOR ENTIRE VERTICAL STACK U.N.O.	SEE A9-01 FOR SPECIFIC MODEL NUMBERS

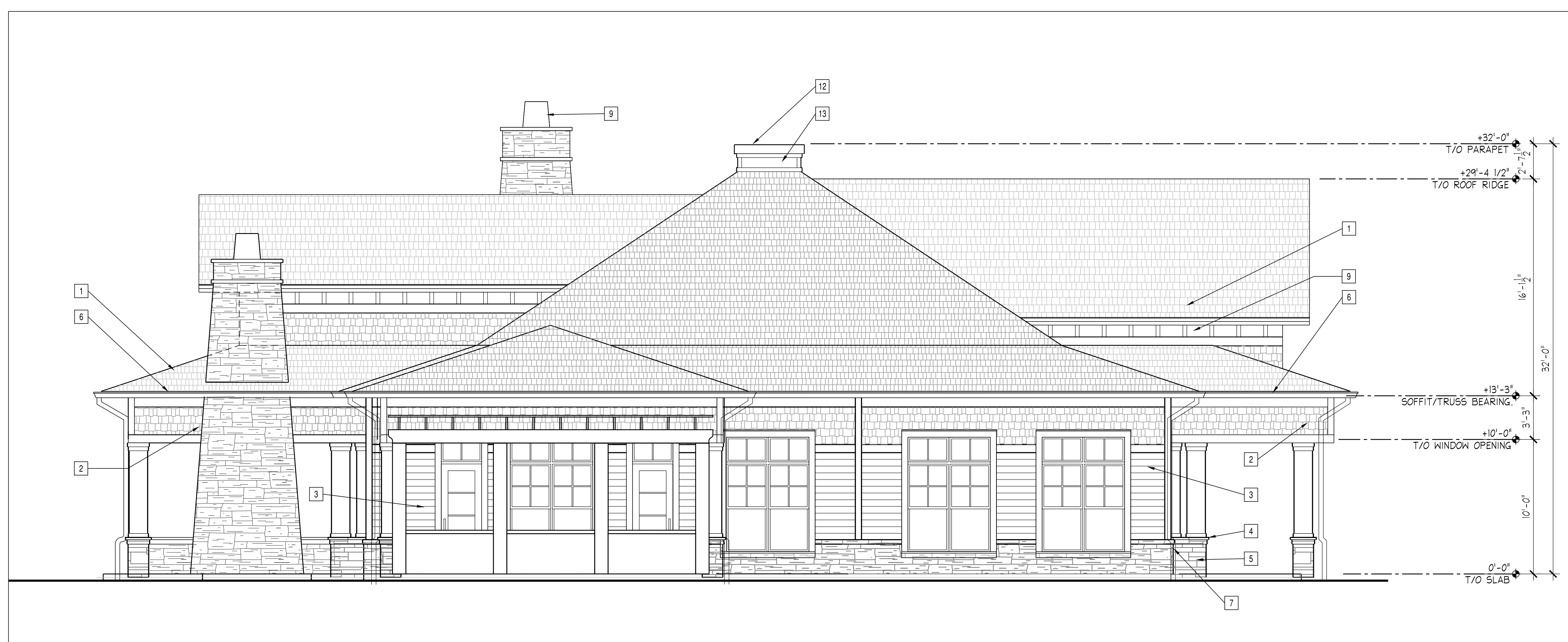
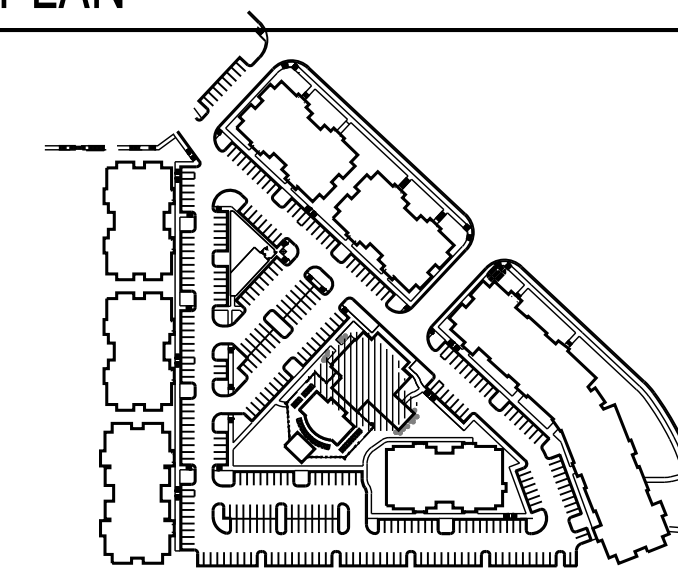
GENERAL NOTES

1. PROVIDE CONTROL JOINTS IN BRICK @ MAX 30'-0" O.C. CONTROL JOINT COLOR SHALL MATCH MORTAR COLOR
2. ALL VENT PIPING EXTENDING ABOVE ROOF SURFACE SHALL BE PAINTED A COLOR SUCH THAT IT WILL BLEND WITH THE ROOFING MATERIAL COLOR.
3. VISIBLE LIGHT TRANSMITTANCE (VLT) SHALL NOT DROP BELOW 40%. VISIBLE LIGHT REFLECTANCE (VLR) SHALL NOT EXCEED 30%.
4. ALL WINDOW TRIM: VINYL, MGM INDUSTRIES, 'EURO WHITE'

ELEVATION KEYNOTES/SPECS

- 1 ARCHITECTURAL ROOFING SHINGLES
- OWENS CORNING OAKRIDGE PRO 30 AR SERIES, 'DRIFTWOOD'
- 2 CEMENTITIOUS SHINGLE SIDING
- HARDIE SHINGLE 'STAGGERED-EDGE PANEL', 6" EXPOSURE, INTEGRAL COLOR 'AUTUMN TAN'
- 3 SELECT CEMENTITIOUS SIDING WITH 6" EXPOSURE
- HARDIE PLANK 'SELECT CEDARMILL', 6" EXPOSURE, INTEGRAL COLOR 'AUTUMN TAN'
- 4 STONE WAINSCOT CAP AND WINDOW SILL
- NATIVE CUSTOM STONE, STACK STONE
- 5 CULTURED STONE VENEER
- NATIVE CUSTOM STONE, STACK STONE
- 6 6" OGEE PRE-FINISHED ALUMINUM SEAMLESS GUTTER
MUSKET BROWN COLOR
- 7 4" DIAMETER ROUND PRE-FINISHED ALUMINUM DOWNSPOUT
MUSKET BROWN COLOR
- 8 CEMENTITIOUS 1X6 CORNER TRIM
- 9 PRE-FINISHED ALUMINUM CHIMNEY SHROUD - FLAT BLACK
- 10 16" TUSCAN PERMACAST COLUMN BY HB&G OR EQUAL
- 11 EXTERIOR WALL SCONCE
- 12 CEMENTITIOUS CORNICE BOARD
- 13 CEMENTITIOUS PANELING
- HARDIE PANEL 'SMOOTH', 4'-0" WIDE, MULTIPLE LENGTHS, INTEGRAL COLOR 'ARCTIC WHITE' WITH 1X4 BATTEN STRIPS
- 14 BRICK VENEER
- CHEROKEE BRICK AND TILE, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: WILLIAMSBURG
- 15 WOOD BRACKET

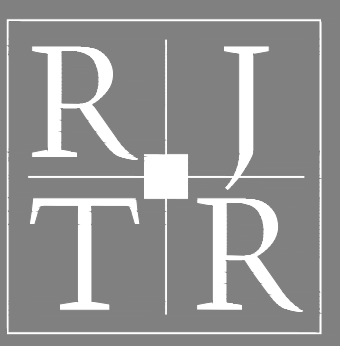
KEY PLAN



2 CLUBHOUSE - LEFT ELEVATION (SOUTH)
 Scale: 1/4" = 1'-0"



1 CLUBHOUSE - POOL ENTRY ELEVATION (WEST)
 Scale: 1/4" = 1'-0"



RULE JOY TRAMMELL | RUBIO
 ARCHITECTURE | INTERIOR DESIGN
 300 Galleria Parkway Suite 740 Atlanta, Georgia 30339
 770-061-1492 (phone) 770-061-1493 (fax)
 www.rjtrdesign.com

PRINTED	
DATE	ISSUE/REVISION
3-20-17	PRELIMINARY PRICING
4-20-17	SCHEMATIC DESIGN
6-1-17	DESIGN DEVELOPMENT

EXTERIOR MATERIAL SCHEDULE/LEGEND

HATCH/KEY	MATERIAL	BASIS OF DESIGN PRODUCT/MANUFACTURER
	BRICK VENEER	TRIANGLE BRICK, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: CAMBRIDGE
	SIMULATED STONE VENEER	NATIVE STONE - NATIVE CUSTOM STONE VENEER - STACKED GRANITE
	FIBER CEMENT SIDING WITH 6" EXPOSURE	FACTORY PRIMED & FIELD PAINTED
	CEMENTITIOUS SHINGLE SIDING	HARDIE SHINGLE 'STAGGERED -EDGE PANEL', 6" EXPOSURE
	FIBER CEMENT PANELS	W/ 1 X 4 BATTEN STRIPS AT 2'-0" O.C.
	BRICK SOLDIERS	TRIANGLE BRICK, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: CAMBRIDGE
	BRICK SILL	TRIANGLE BRICK, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: CAMBRIDGE
	ARCHITECTURAL ROOFING SHINGLES	OWENS CORNING OAKRIDGE PRO 30 AR SERIES, 'DRIFTWOOD'
	WINDOW TYPE TAG. TYP. FOR ENTIRE VERTICAL STACK U.N.O.	SEE A9-01 FOR SPECIFIC MODEL NUMBERS

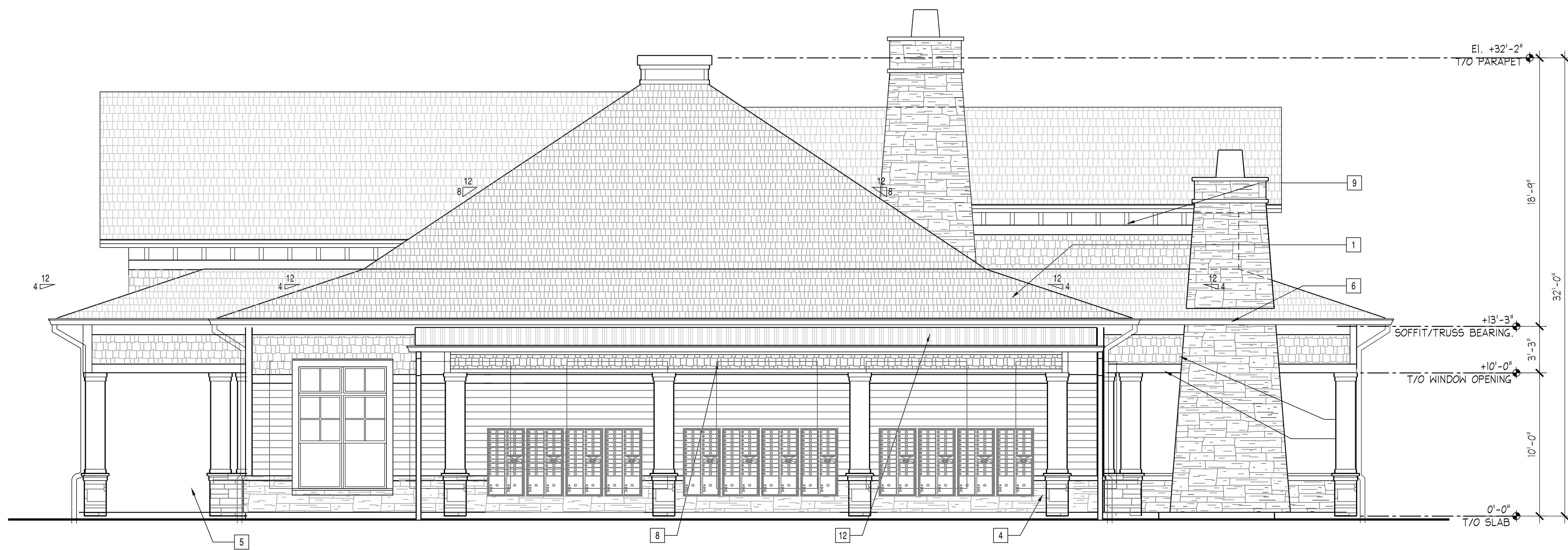
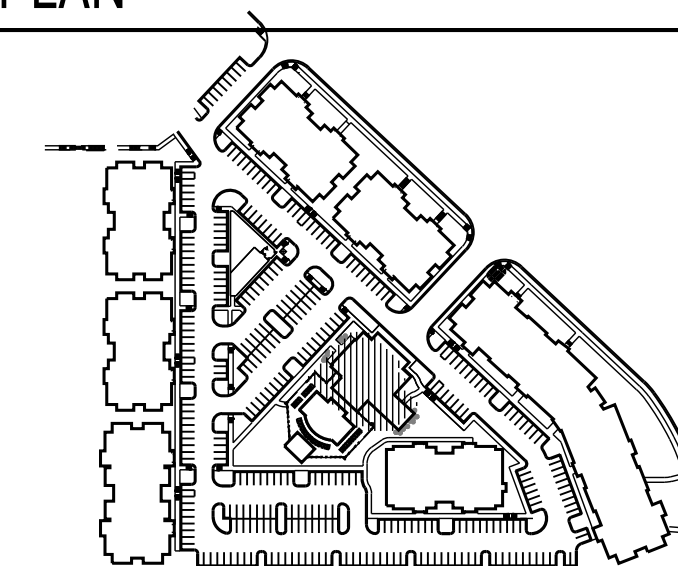
GENERAL NOTES

1. PROVIDE CONTROL JOINTS IN BRICK @ MAX 30'-0" O.C. CONTROL JOINT COLOR SHALL MATCH MORTAR COLOR
2. ALL VENT PIPING EXTENDING ABOVE ROOF SURFACE SHALL BE PAINTED A COLOR SUCH THAT IT WILL BLEND WITH THE ROOFING MATERIAL COLOR.
3. VISIBLE LIGHT TRANSMITTANCE (VLT) SHALL NOT DROP BELOW 40%. VISIBLE LIGHT REFLECTANCE (VLR) SHALL NOT EXCEED 30%.
4. ALL WINDOW TRIM: VINYL, MGM INDUSTRIES, 'EURO WHITE'

ELEVATION KEYNOTES/SPECS

- 1 ARCHITECTURAL ROOFING SHINGLES
- OWENS CORNING OAKRIDGE PRO 30 AR SERIES, 'DRIFTWOOD'
- 2 CEMENTITIOUS SHINGLE SIDING
- HARDIE SHINGLE 'STAGGERED-EDGE PANEL', 6" EXPOSURE, INTEGRAL COLOR 'AUTUMN TAN'
- 3 SELECT CEMENTITIOUS SIDING WITH 6" EXPOSURE
- HARDIE PLANK 'SELECT CEDARMILL', 6" EXPOSURE, INTEGRAL COLOR 'AUTUMN TAN'
- 4 STONE WAINSCOT CAP AND WINDOW SILL
- NATIVE CUSTOM STONE, STACK STONE
- 5 CULTURED STONE VENEER
- NATIVE CUSTOM STONE, STACK STONE
- 6 6" OGEE PRE-FINISHED ALUMINUM SEAMLESS GUTTER
MUSKET BROWN COLOR
- 7 4" DIAMETER ROUND PRE-FINISHED ALUMINUM DOWNSPOUT
MUSKET BROWN COLOR
- 8 CEMENTITIOUS 1X6 CORNER TRIM
- 9 PRE-FINISHED ALUMINUM CHIMNEY SHROUD - FLAT BLACK
- 10 16" TUSCAN PERMACAST COLUMN BY HB&G OR EQUAL
- 11 EXTERIOR WALL SCONCE
- 12 CEMENTITIOUS CORNICE BOARD
- 13 CEMENTITIOUS PANELING
- HARDIE PANEL 'SMOOTH', 4'-0" WIDE, MULTIPLE LENGTHS, INTEGRAL COLOR 'ARCTIC WHITE' WITH 1X4 BATTEN STRIPS
- 14 BRICK VENEER
- CHEROKEE BRICK AND TILE, MODULAR: 3 5/8" x 2 1/4" x 7 5/8", COLOR: 'WILLIAMSBURG'
- 15 WOOD BRACKET

KEY PLAN



2 CLUBHOUSE - RIGHT ELEVATION (NORTH)
 Scale: 1/4" = 1'-0"



1 CLUBHOUSE - FRONT ELEVATION (EAST)
 Scale: 1/4" = 1'-0"

CLUBHOUSE ELEVATIONS

CRABTREE LAKESIDE RESIDENCES
 5510 Homewood Banks Drive
 RALEIGH, NORTH CAROLINA 27612

COMMISSION NO: 15-125
 DRAWING NO:

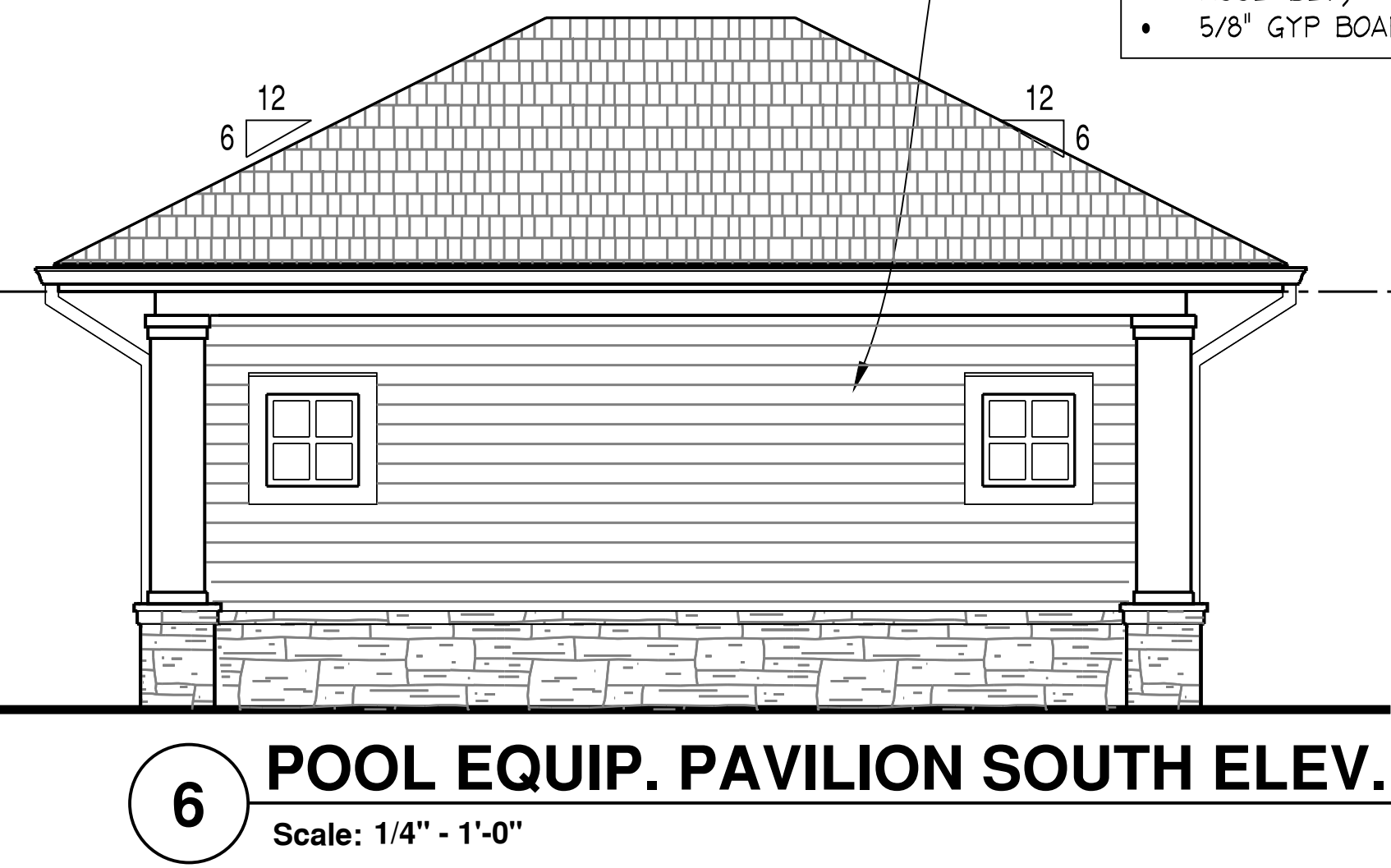
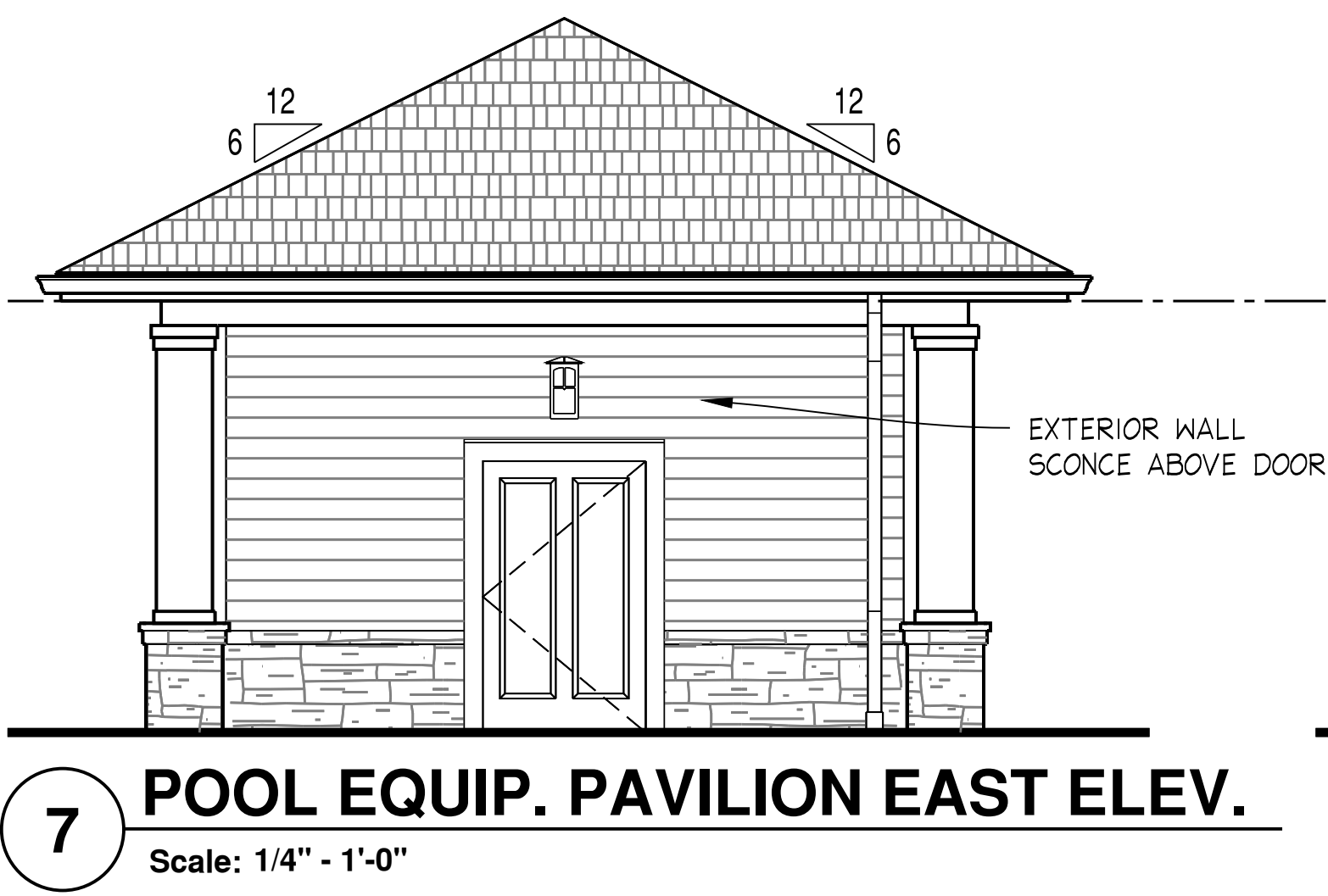
AC1-04

NOT ISSUED FOR CONSTRUCTION

L:\15-125 Homewood Banks Apartments\DRAWINGS\AC1-04.dwg, 7/5/2017 11:48:29 AM, edavis, 1:1

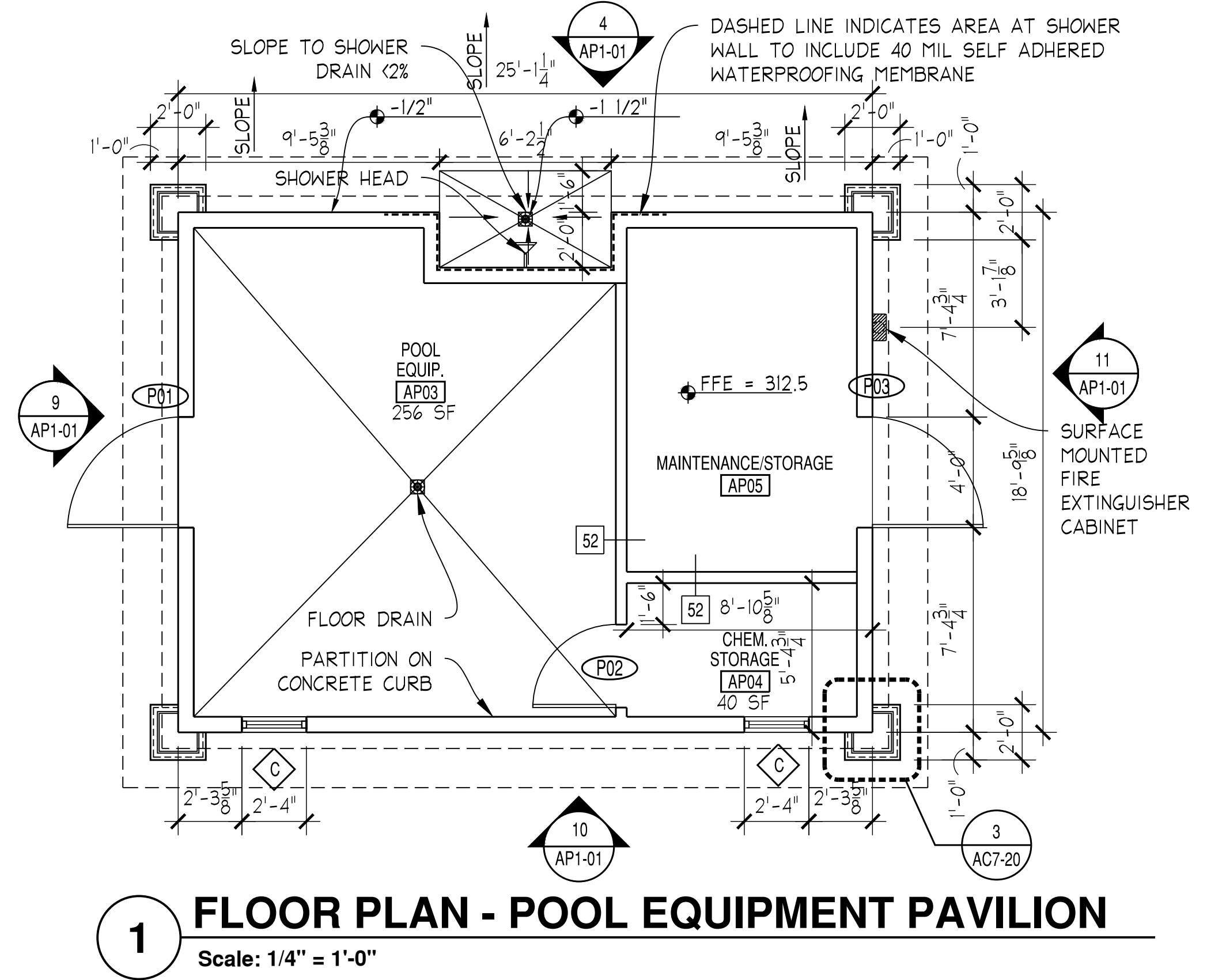
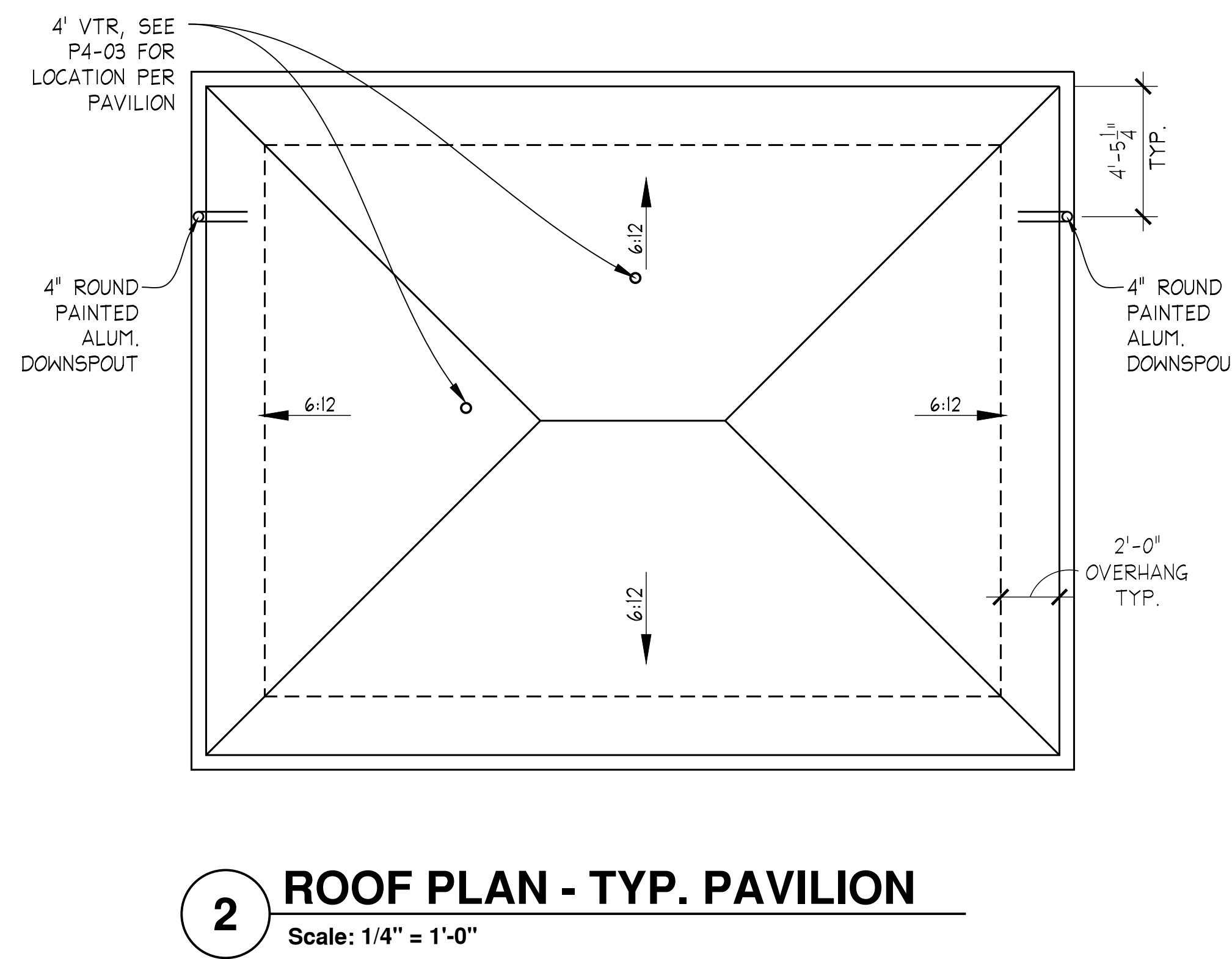
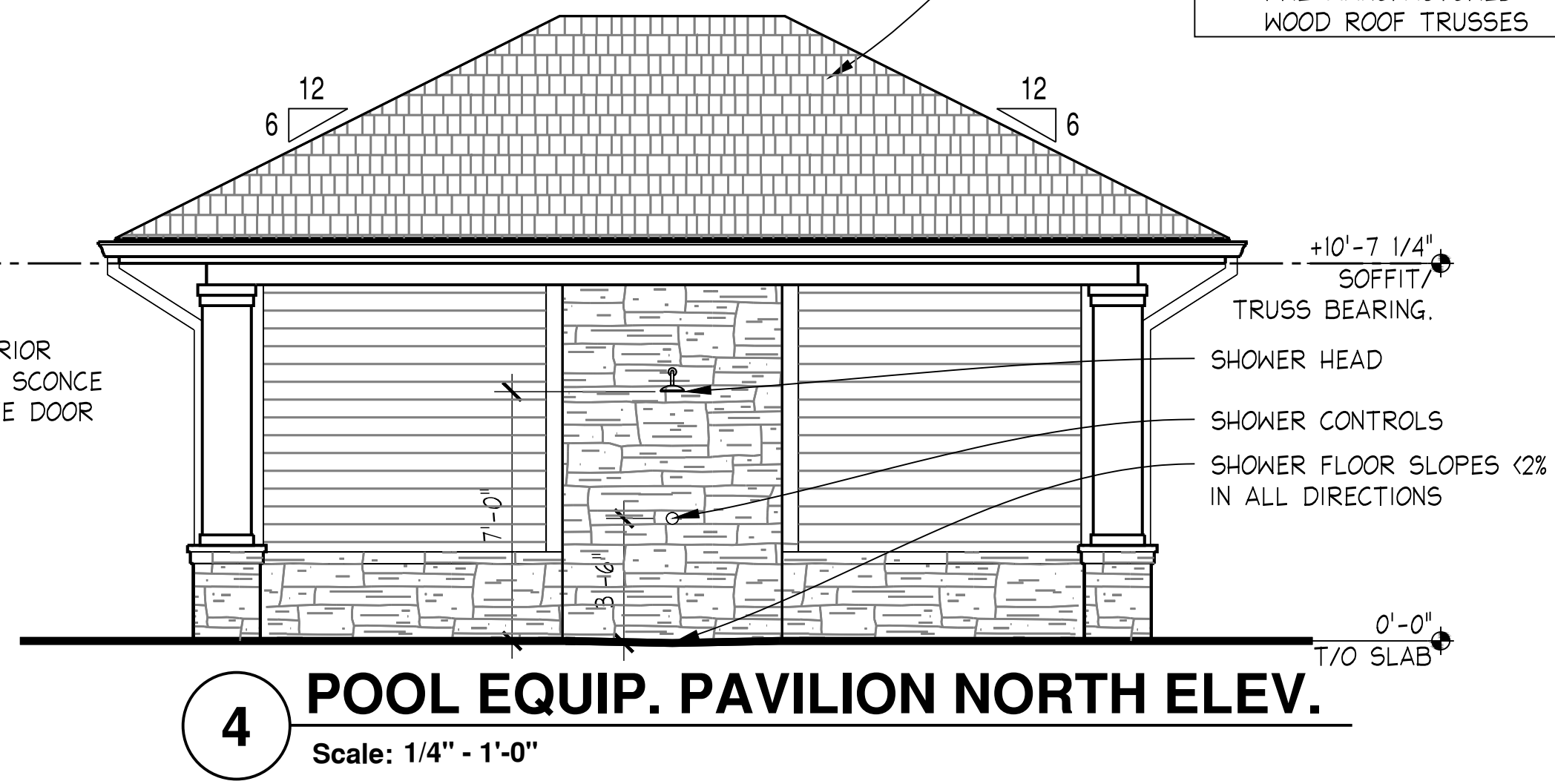
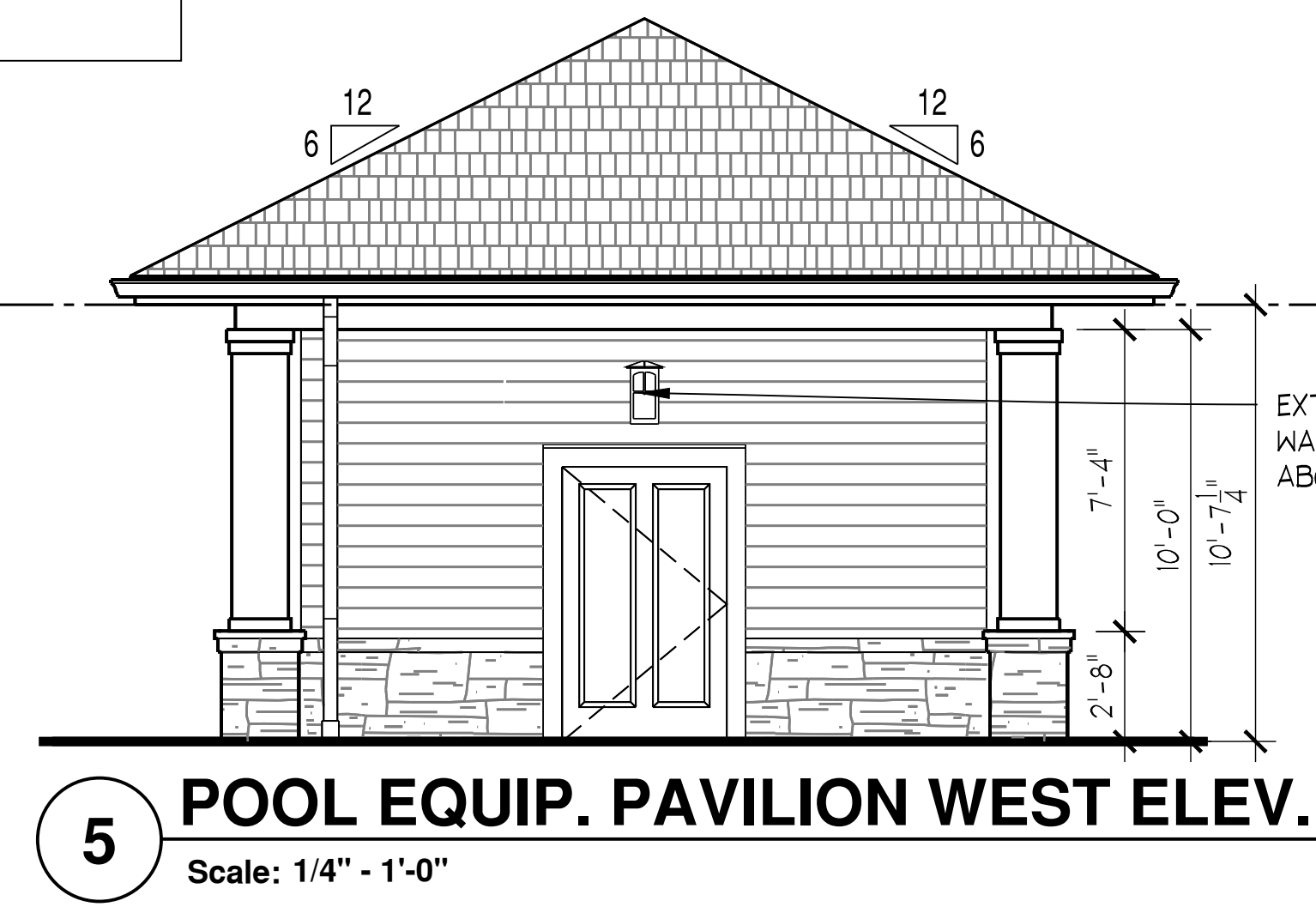
PRINTED

DATE	ISSUE/REVISION
2/17/17	SCHEMATIC DESIGN
6-1-17	DESIGN DEVELOPMENT



SIDING WALL ASSEMBLY (UL U348):

- CEMENTITIOUS HORIZONTAL OR SHINGLE SIDING (SEE ELEV'S)
- BUILDING WRAP
- 1/2" OSB EXTERIOR SHEATHING
- 2 x 6 WOOD STUD FRAMING
- R-15 BATT INSULATION W/ VAPOR BARRIER (R-19 FOR TOTAL ASSEMBLY)
- 5/8" GYP BOARD



EXTERIOR MATERIAL SCHEDULE/LEGEND

HATCH/KEY	MATERIAL	BASIS OF DESIGN PRODUCT/MANUFACTURER
[Hatch]	BRICK VENEER	CHEROKEE BRICK AND TILE, MODULAR, 3 5/8" x 2 1/4" x 7 5/8", COLOR: 'WILLIAMSBURG'
[Hatch]	CULTURED STONE VENEER	NATIVE CUSTOM STONE, STACK STONE
[Hatch]	FIBER CEMENT SIDING WITH 6" EXPOSURE	FACTORY PRIMED & FIELD PAINTED
[Hatch]	CEMENTITIOUS SHINGLE SIDING	HARDIE SHINGLE 'STAGGERED -EDGE PANEL', 6" EXPOSURE
[Hatch]	FIBER CEMENT PANELS	W/ 1 X 4 BATTEN STRIPS AT 2'-0" O.C.
[Hatch]	BRICK SOLDIERS	TBD
[Hatch]	BRICK SILL	TBD
[Hatch]	ARCHITECTURAL ROOFING SHINGLES	OWENS CORNING OAKRIDGE PRO 30 AR SERIES, 'DRIFTWOOD'

- GENERAL NOTES**
1. REFER TO SHEET A4-06 FOR PARTITION TYPES.
 2. REFER TO SHEET A4-07 FOR MOUNTING HEIGHTS.
 3. REFER TO SHEET A8-00 FOR ACCESSORY, DOOR, & WINDOW SCHEDULES.

ROOF ATTIC VENTILATION CALCULATIONS

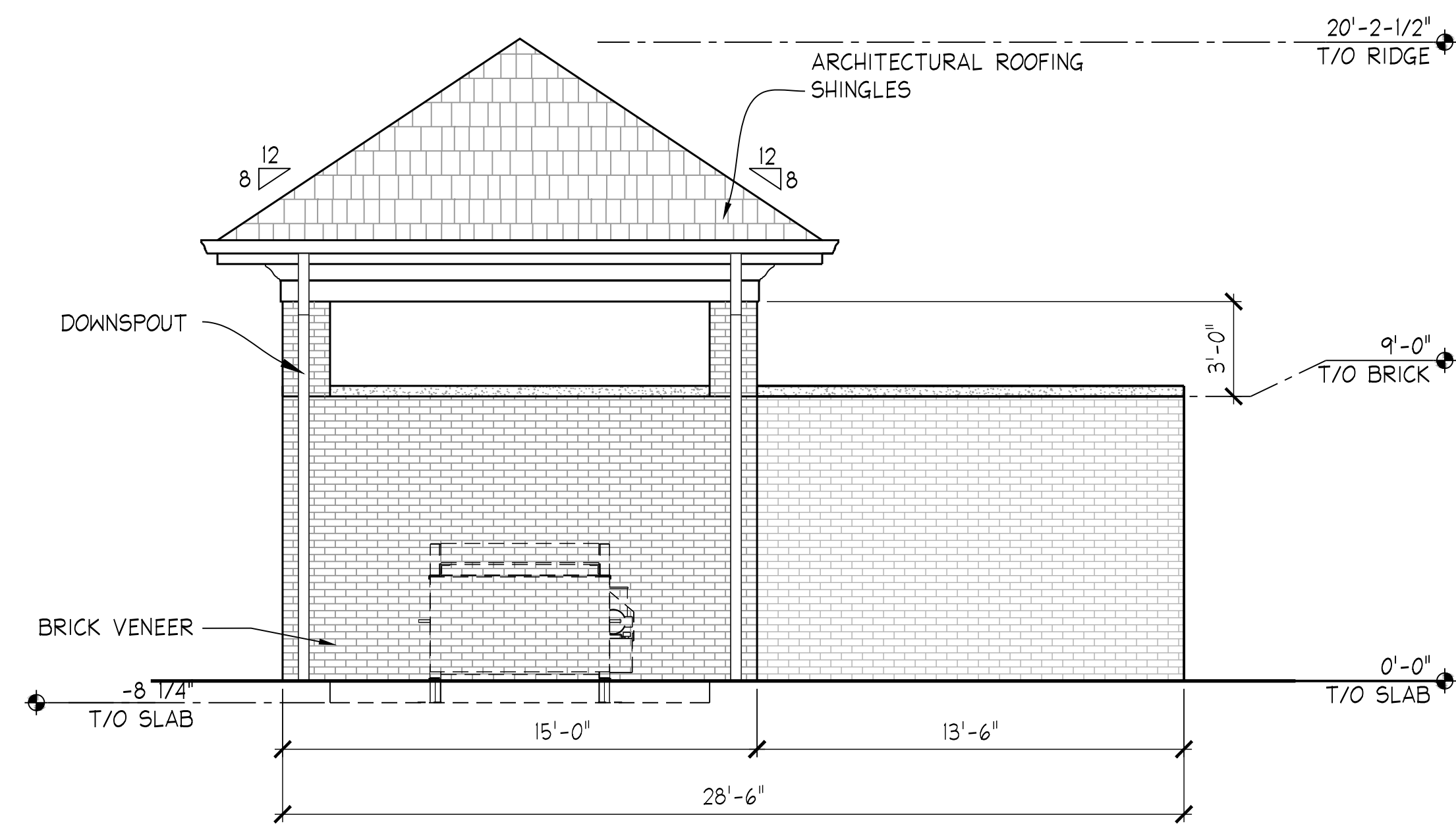
POOL PAVILIONS	ATTIC ZONE	AREA (SF)	FACTOR	REQUIRED TOTAL VENT AREA (SQ IN)	UPPER VENT				LOWER VENT											
					REQUIRED UPPER VENT AREA (SQ IN)	EXHAUST LOUVERS (SQ IN/LF)	EXHAUST LOUVERS QUANTITY	EXHAUST LOUVERS (SQ IN)	ROOF VENT PROVIDED QUANTITY	ROOF VENT AREA (SQ IN)	ROOF VENT AREA PROVIDED (SQ IN)	UPPER VENT EXHAUST AREA PROVIDED (SQ IN)	LOWER VENT INTAKE AREA REQUIRED (SQ IN)	CONTINUOUS SOFFIT VENT (SQ IN/FT)	CONTINUOUS SOFFIT VENT PROVIDED AT ROOF EAVE (SQ IN)	COAT SOFFIT VENT AREA PROVIDED AT ROOF EAVE (SQ IN)	UNDEREAVE VENT AREA (SQ IN)	UNDEREAVE VENTS PROVIDED QUANTITY	UNDEREAVE VENT AREA PROVIDED (SQ IN)	LOWER VENT INTAKE AREA PROVIDED (SQ IN)
A		664	300	319	159	57	4	228	0	144	0	228	159	5	103	515	56	0	0	515

2012 NC State Building Code Section 1203.2
the minimum required net free ventilating area shall be 1/300 of the area of the space ventilated

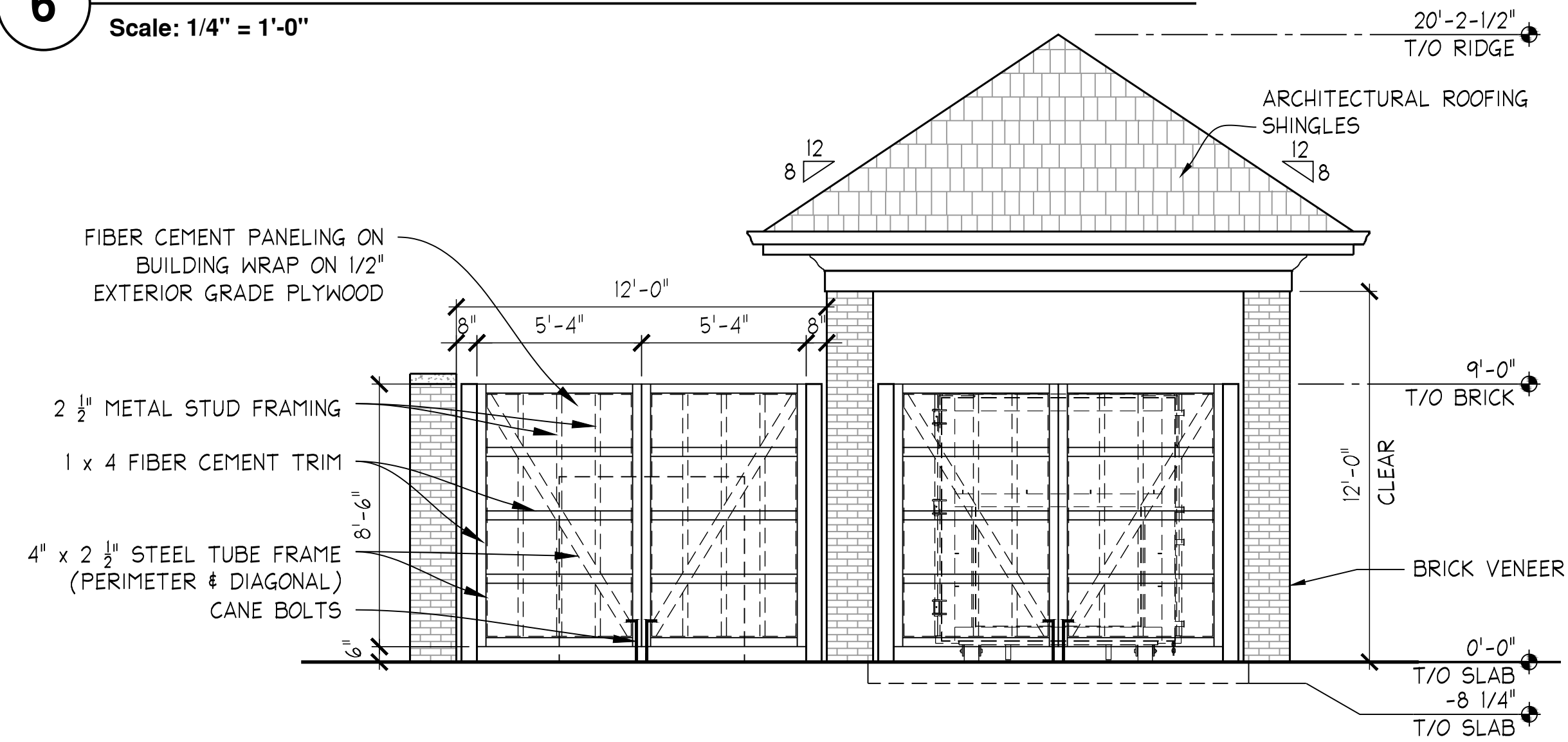
Basis of Design Products

Exhaust
Ridge Vent - VenturiVent Plus by Air Vent Inc. - 18 SQ IN free area per linear foot
Static Roof Vent - Active Ventilation Products PV-14-C1 - Hole Size 14"Ø - 144 SQ IN free area

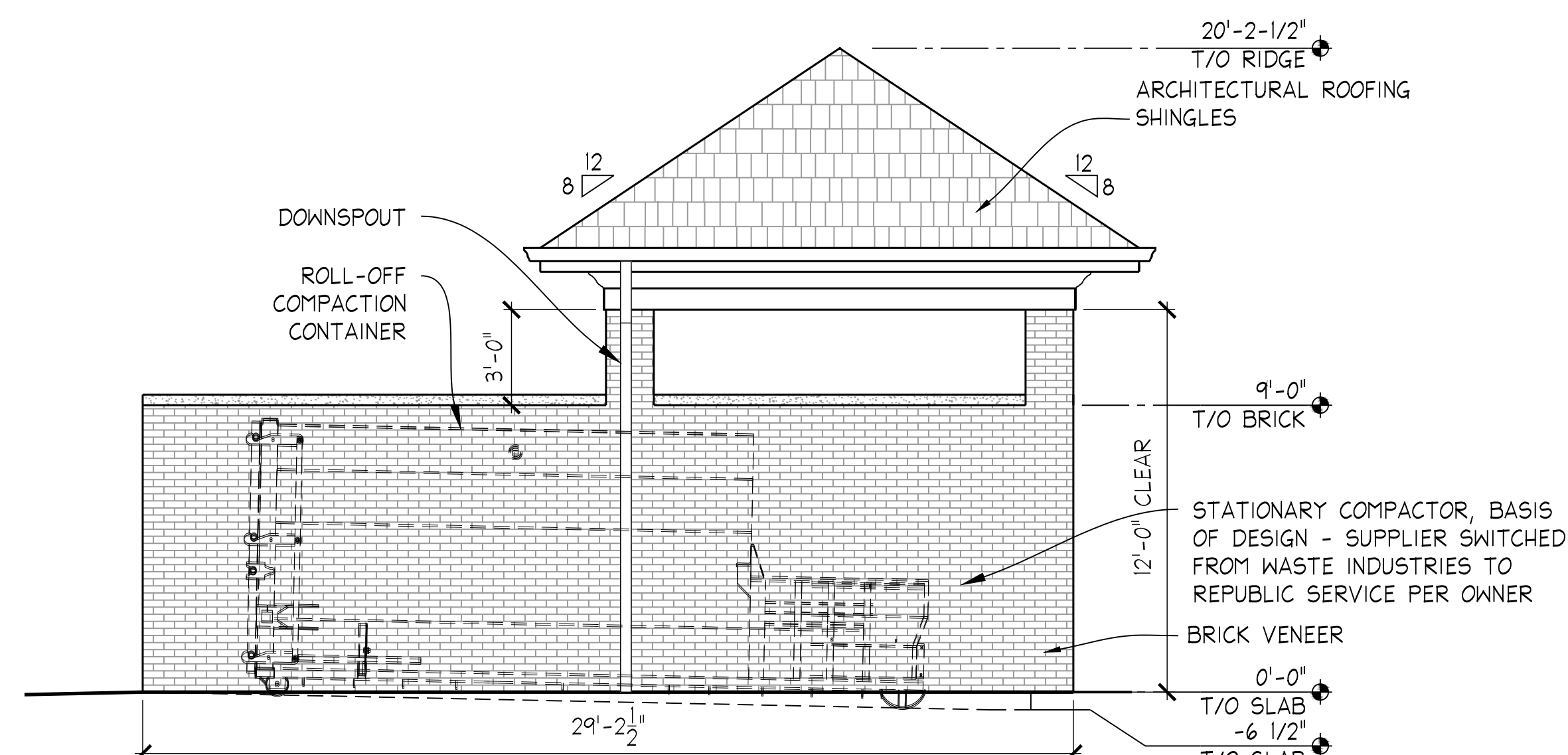
Intake
Continuous Soffit Vent - Perforated Hardie Soffit - 5 SQ IN free area per linear foot
In lieu of Under-eave Vents (56 SQ IN) provided additional strips of continuous perforated strip added @ 3" deep soffits at eave lowers.
At Bid type 2 provided 5" sq in/ft x 12' ft = 60 SQ IN intake.
At Bid type 3 provided 5" sq in/ft x 34' ft = 170 SQ IN intake.
Round Mini Soffit Vent - Owens Corning - 4" round - 2.43 SQ IN



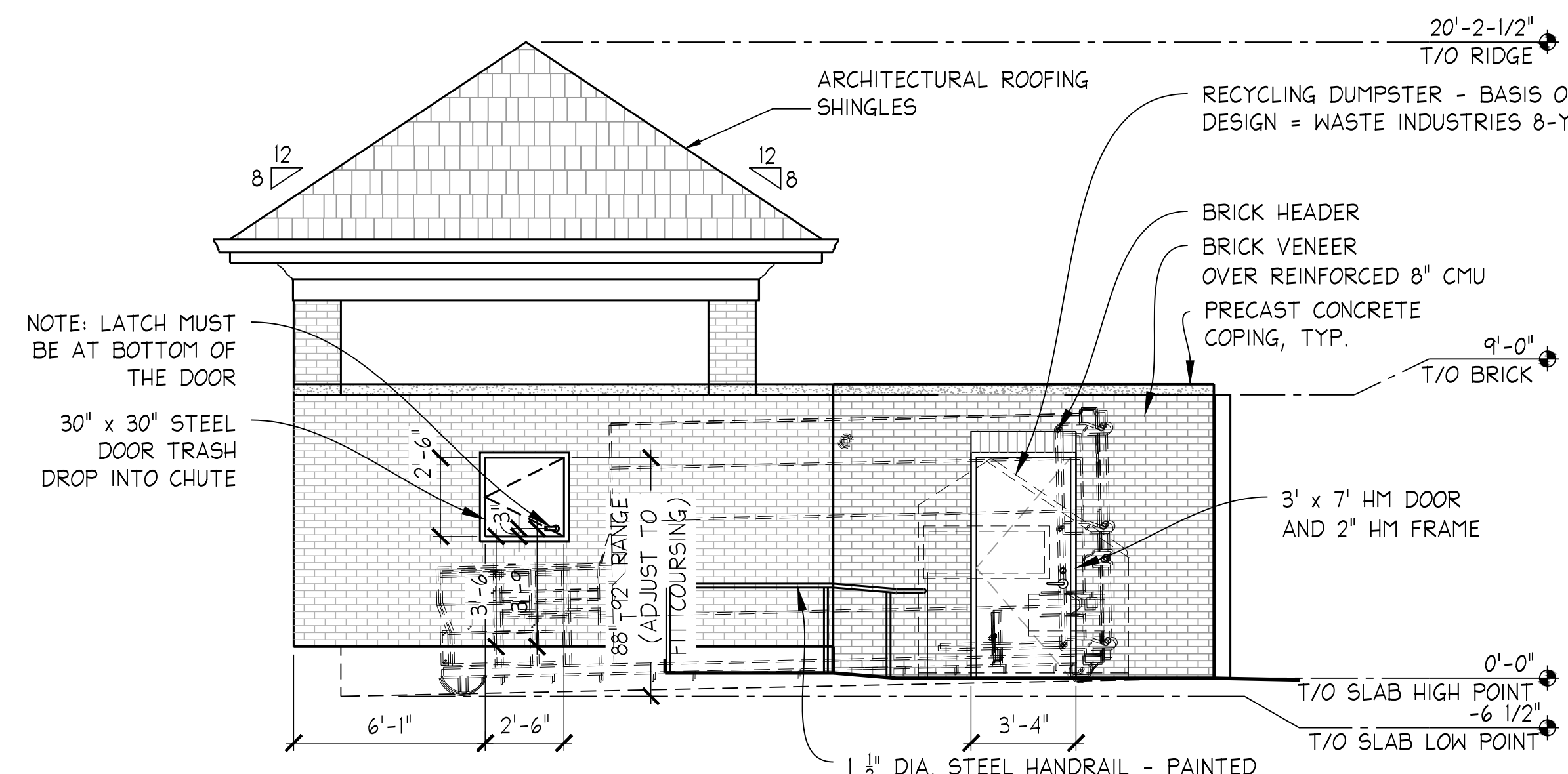
6 COMPACTOR/ RECYCLING REAR ELEVATION
Scale: 1/4" = 1'-0"



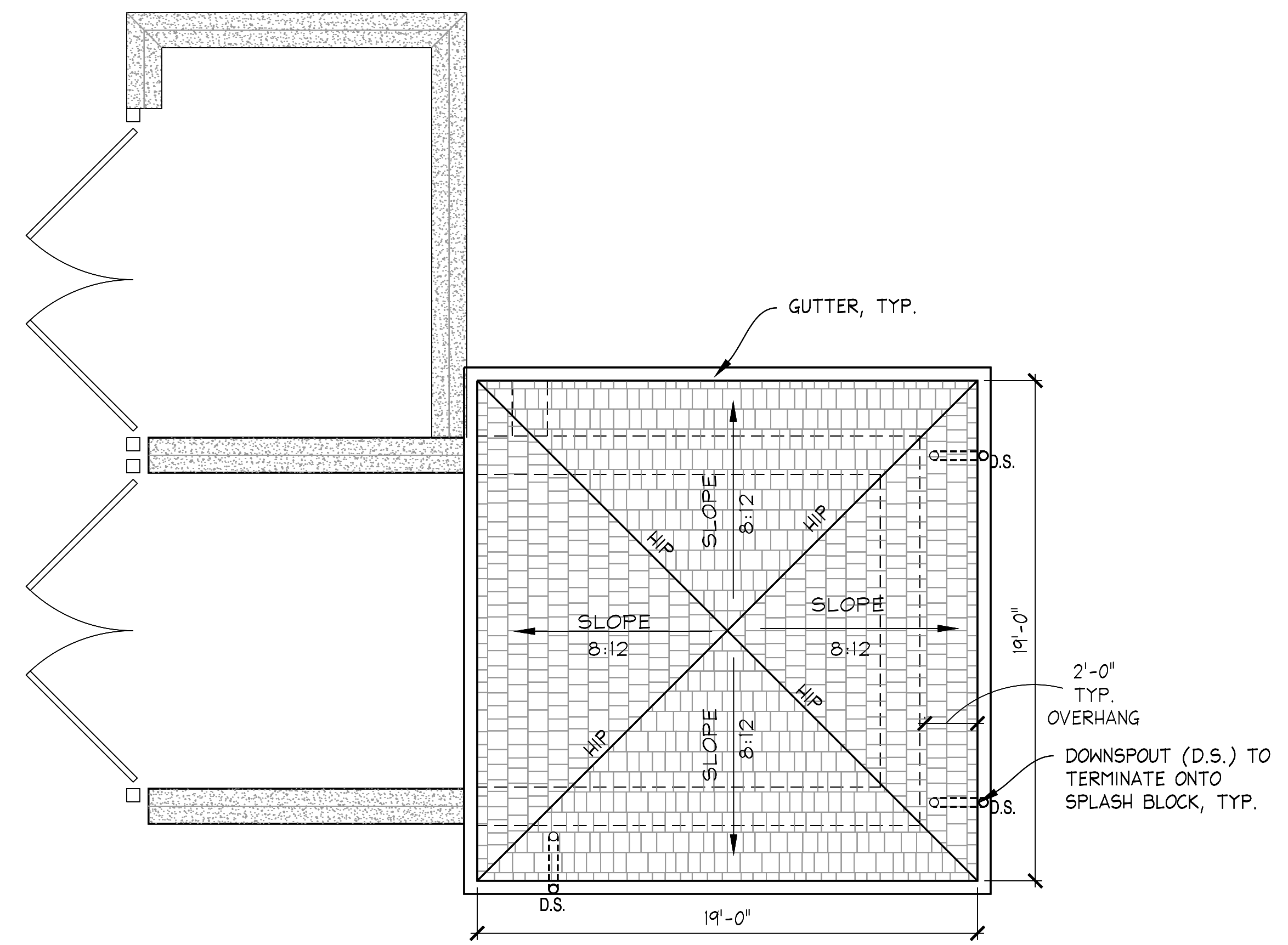
5 COMPACTOR/ RECYCLING FRONT ELEVATION
Scale: 1/4" = 1'-0"



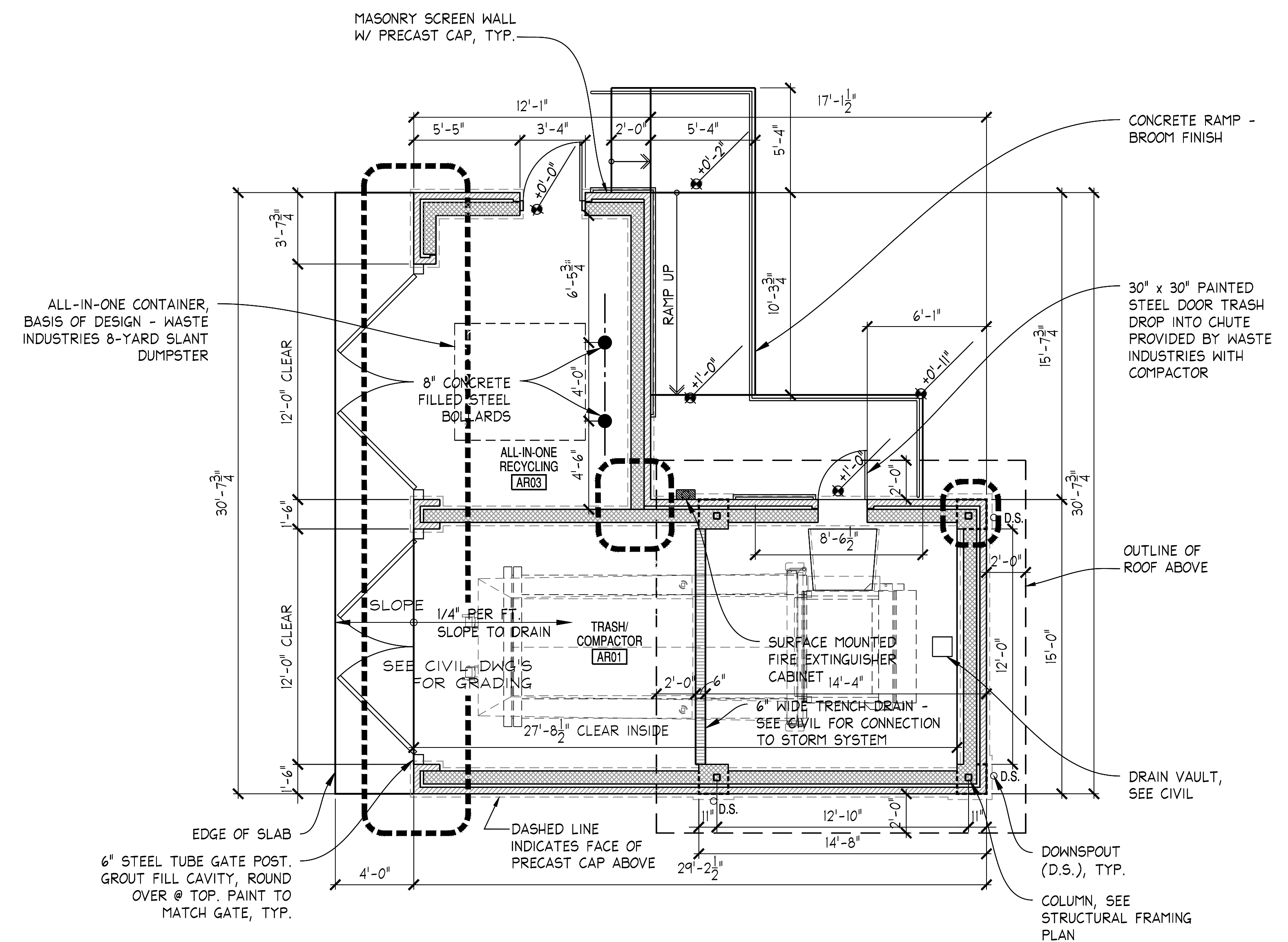
4 COMPACTOR/ RECYCLING RIGHT ELEVATION
Scale: 1/4" = 1'-0"



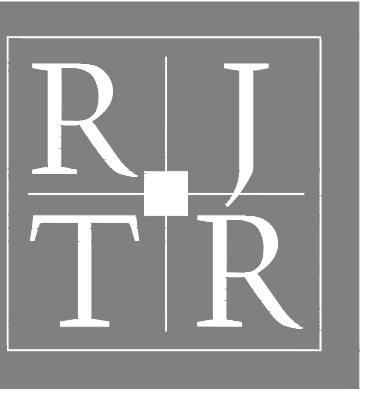
3 COMPACTOR/ RECYCLING LEFT ELEVATION
Scale: 1/4" = 1'-0"



2 COMPACTOR/ RECYCLING ROOF PLAN
Scale: 1/4" = 1'-0"



1 COMPACTOR/ RECYCLING FLOOR PLAN
Scale: 1/4" = 1'-0"



RULE JOY TRAMMELL | RUBIO
ARCHITECTURE + INTERIOR DESIGN
300 Galleria Parkway Suite 740 Atlanta, Georgia 30339
770-661-1492 (phone) 770-661-1493 (fax)
www.rjttrdesign.com

PRINTED	
DATE	ISSUE/REVISION
4-20-17	SCHEMATIC DESIGN
6-1-17	DESIGN DEVELOPMENT

COMPACTOR/RECYCLING PLAN, ELEV.
CRABTREE LAKESIDE RESIDENCES
5510 Homewood Banks Drive
RALEIGH, NORTH CAROLINA 27612

COMMISSION NO: 15-125
DRAWING NO:
AR1-01

NOT ISSUED FOR CONSTRUCTION

L:\15-125 Homewood Banks Apartments\DRAWINGS\AR1-01.dwg, 7/5/2017 11:43:36 AM, edavis, L1