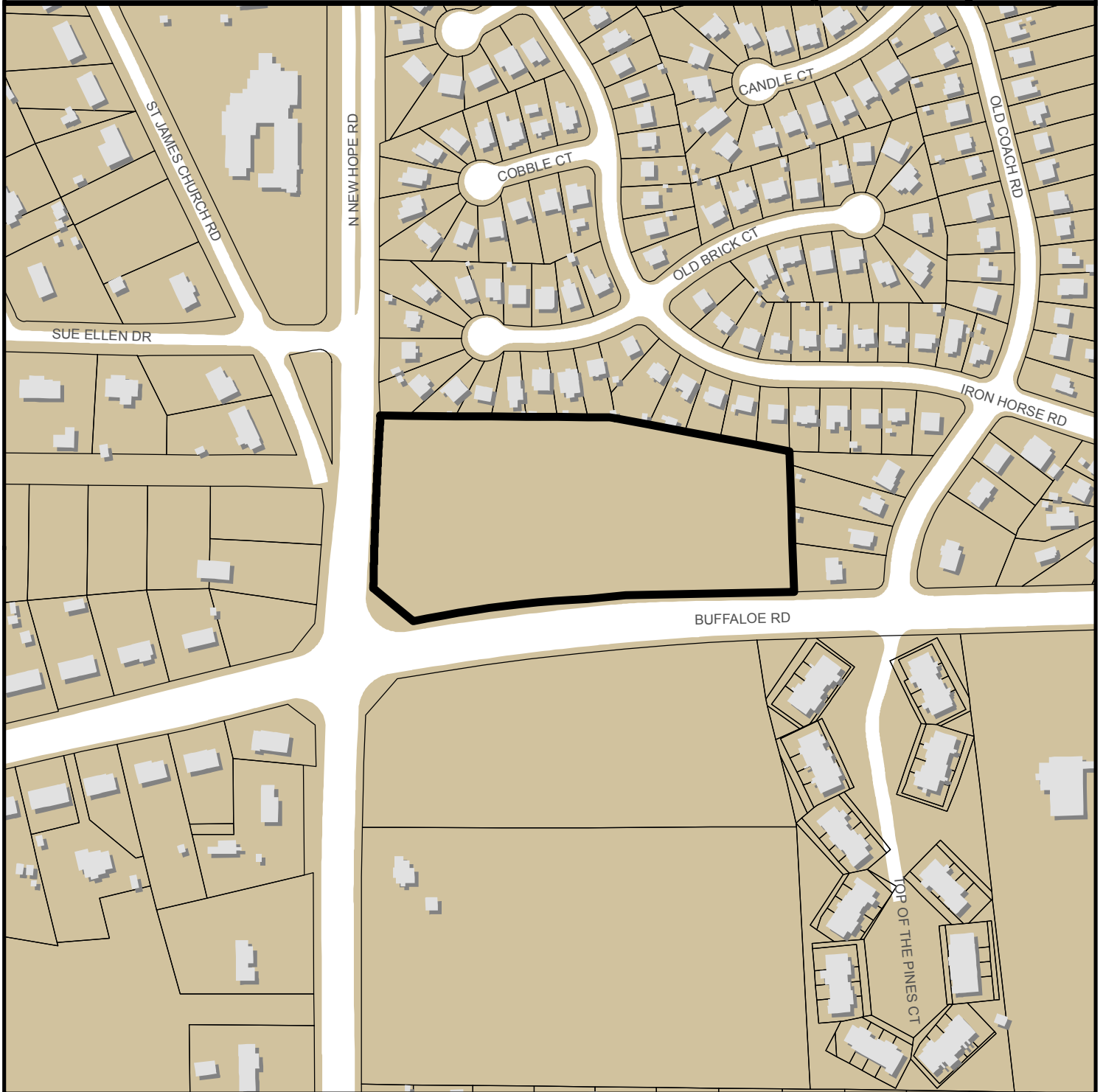


GROCERY STORE SR-22-2017



0 300 600 Feet

Zoning: **NX-3-CU**
CAC: **Northeast**
Drainage Basin: **Marsh Creek**
Acreage: **6.17**
Sq. Ft.: **35,962**

Planner: **Daniel Stegall**
Phone: **(919) 996-2712**
Applicant: **LIDL US Operations, LLC**
Phone: **(703) 346-4654**





Administrative Approval Action

Lidl Grocery Store #1157 Revision: SR-22-17,
Transaction# 549904 AA#3867

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at the northeast corner of Buffaloe Road and North New Hope Road. The address is 4115 Buffaloe Road and the PIN number is 1725789080. This site is inside the City limits.

REQUEST: Construction of a 29,100 square foot grocery store, located on one parcel of 6.17 acres. The building type is a general building type with the building height being 1-story, 28.3' in height. The property is zoned NX-3-CU. Please reference Z-38-16 for zoning conditions.

This development was previously approved under Transaction 504798. The proposed revisions include an increased building size from the originally approved 25,400 square feet to 29,100 square feet, thus exceeding the allowable changes of UDO Section 10.2.8 D and necessitating new administrative site review approval and a 30-day appeal period. See coversheet of plan set under Transaction 549904 for the complete list of revisions.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** N/A

FININGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 9/19/2018 by Mike Roselli of Bohler Engineering NC PLL.

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

CONCURRENT SITE REVIEW - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

The following items are required prior to approval of Concurrent Site Review plans:

Engineering

1. Show compliance with Transparency Standards in UDO Section 3.2.5.F and UDO Section 1.5.9



Administrative Approval Action

Lidl Grocery Store #1157 Revision: SR-22-17,
Transaction# 549904 AA#3867

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

Transportation

11. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

12. Comply with all conditions of Z-38-16.
13. Provide fire flow analysis.

Engineering

14. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
15. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
16. A fee-in-lieu for 1' of sidewalk along the frontage of Buffaloe Road and New Hope Road shall be paid to the City of Raleigh (UDO 8.1.10).
17. A public infrastructure surety for the pedestrian improvements at the intersection of Buffaloe and New Hope shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).
18. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
19. A transit deed of easement shall be approved by City staff and the location of the easement shall be shown on a plat approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from



Administrative Approval Action

Lidl Grocery Store #1157 Revision: SR-22-17,
Transaction# 549904 AA#3867

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

authorization of lot recording. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.

20. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

Public Utilities

21. A plat must be recorded at the Wake County Register of Deeds office for any utility easement dedications.

Stormwater

19. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
20. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
21. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).

The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Required underground storm drainage improvements shall be completed and as-built plan(s) and certification(s) reviewed and accepted by the City of Raleigh Development Services – Development Engineering program.
4. All street lights and street signs required as part of the development approval are installed.
5. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
6. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
7. Final inspection of all protected right of way street trees by Urban Forestry Staff.



Administrative Approval Action

Lidl Grocery Store #1157 Revision: SR-22-17,
Transaction# 549904 AA#3867

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

2. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
3. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

Stormwater

4. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
5. A surety equal to of the cost of clearing, grubbing and reseeded a site, shall be paid to the City (UDO 9.4.4).

Urban Forestry

6. Tree protection fence for trees in the right-of-way must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

RECORDED MAP(S) - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

The following items must be approved prior to recording the plat:

Public Utilities

7. Infrastructure Construction Plans (concurrent submittal) must be approved by the City of Raleigh Public Utilities Department for all public water, public sewer and/or private sewer extensions.

Stormwater

8. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).
9. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).
10. A surety equal to 125% of the cost of the construction of a stormwater device shall be paid to the Engineering Services Department (UDO 9.2.2.D.1.d).



Administrative Approval Action

Lidl Grocery Store #1157 Revision: SR-22-17,
Transaction# 549904 AA#3867

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 9-27-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee) *Angie Biley* Date: 9/27/2018

Staff Coordinator: Daniel L. Stegall

ADMINISTRATIVE SITE REVIEW

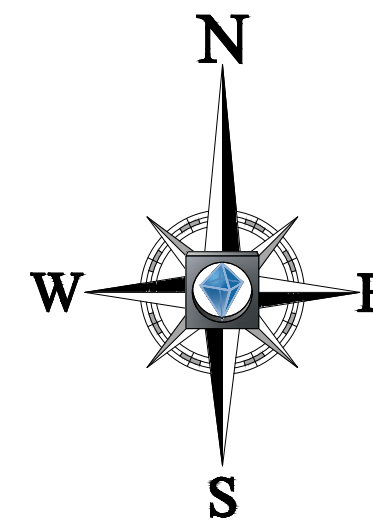
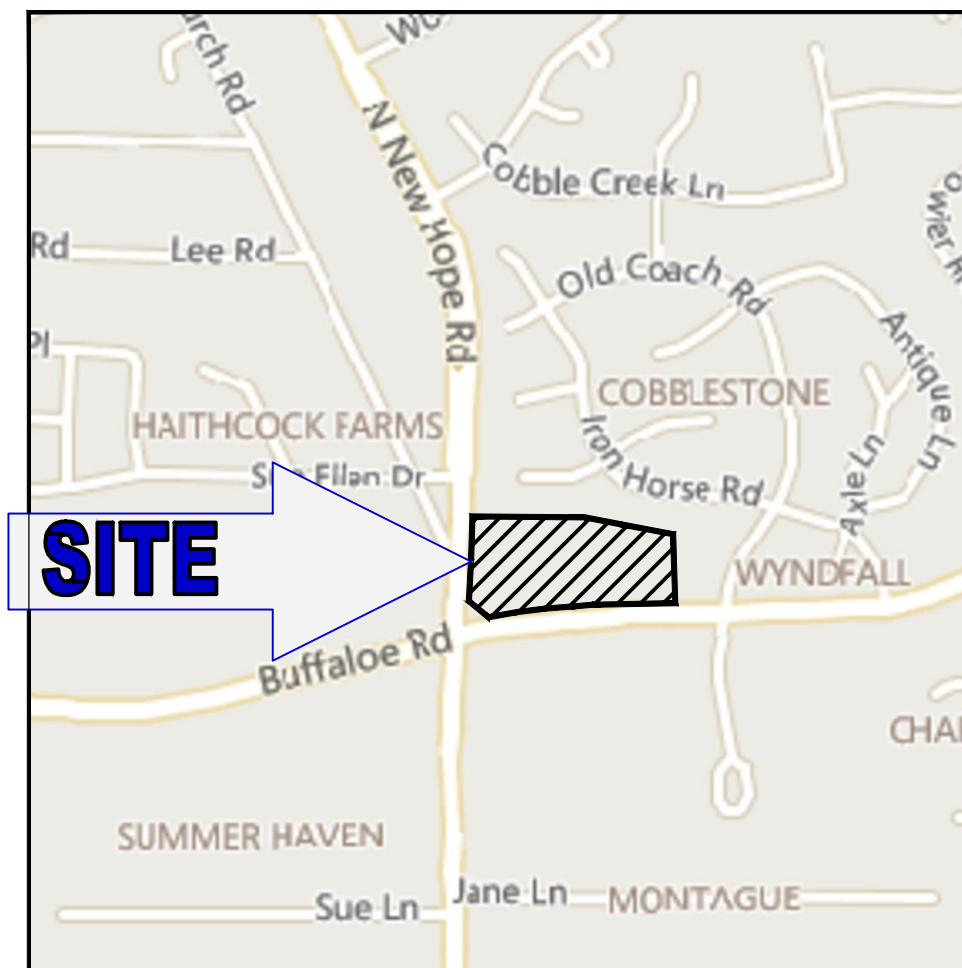
FOR

LIDL US OPERATIONS, LLC

PROPOSED GROCERY STORE #1157

LOCATION OF SITE

4115 BUFFALOE ROAD
 RALEIGH, NC 27616
 PIN #1725789080
 WAKE COUNTY,
 NORTH CAROLINA



LOCATION MAP
 COPYRIGHT 2010 NAVTEQ & 2016 MICROSOFT CORPORATION
 SCALE: 1"=750'

CONTACT INFORMATION

REFERENCES

SURVEY
 "ALTAN'S LAND TITLE SURVEY FOR LIDL - US OPERATIONS, LLC"
 PREPARED BY ALLIED ASSOCIATES, PA
 ALLIED ASSOCIATES JOB NO. PA160108
 DATED: 02/01/2016

GEOTECHNICAL INVESTIGATION REPORT:
 "REPORT OF GEOTECHNICAL EXPLORATION - LIDL RALEIGH"
 PREPARED BY ECS CAROLINAS, LLP
 ECS PROJECT NO. 06-23212
 DATED: 02/11/2016

***ADDENDUM 1 - ADDITIONAL SUBSURFACE EXPLORATION:**
 PREPARED BY ECS CAROLINAS, LLP
 ECS PROJECT NO. 06-23395
 DATED: 10/03/16

ENVIRONMENTAL SITE ASSESSMENT
 "PHASE I ENVIRONMENTAL SITE ASSESSMENT REPORT PROPOSED MSP LIDL RALEIGH"
 PREPARED BY ECS CAROLINAS, LLP
 ECS PROJECT NO. 49-1255
 DATED: 02/11/2016

TRAFFIC ASSESSMENT
 "ACCESS REVIEW - BUFFALO ROAD RALEIGH, NC"
 PREPARED BY RAMEY KEMP & ASSOCIATES, INC.
 DATED: 09/09/2015

GOVERNING AGENCIES

CITY OF RALEIGH PLANNING DEPARTMENT
 1 EXCHANGE PLAZA
 SUITE 304
 RALEIGH, NC 27601
 CONTACT: TRAVIS CRANE
 PHONE: (919) 996-2656
 EMAIL: TRAVIS.CRANE@RALEIGHNC.GOV

NC DEPARTMENT OF HEALTH AND HUMAN SERVICES
 KEVIN DODGE - ENVIRONMENTAL ENGINEER PLAN REVIEW UNIT
 NCDHHS - ENVIRONMENTAL HEALTH SECTION
 5605 SIX FORKS ROAD
 RALEIGH, NC 27609
 (919) 707-5963 (P)
 kevin.dodge@dhhs.nc.gov

UTILITY SERVICE CONTACTS

| SERVICE | UTILITY / GOVERNING AGENCY |
|--------------------------------|---|
| WATER AND SEWER | CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT ONE EXCHANGE PLAZA, 6TH FLOOR RALEIGH, NC 27601 ROBERT MASSENGILL - DIRECTOR PHONE: (919) 996-4540 |
| STORMWATER AND EROSION CONTROL | STORMWATER MANAGEMENT DIVISION 127 W. HARGETT STREET, 8TH FLOOR RALEIGH, NC 27601 PHONE: (919) 996-3640 |
| GAS | PSNC ENERGY 150 FAYETTEVILLE STREET #210 RALEIGH, NC 27601 PHONE: (602) 752-7504 |
| ELECTRIC | DUKE ENERGY 414 FAYETTEVILLE STREET RALEIGH, NC 27601 PHONE: (602) 452-2777 |
| TELEPHONE/CABLE | TIME WARNER CABLE 2505 ATLANTIC AVENUE #101 RALEIGH, NC 27604 PHONE: (919) 595-4892 |

GENERAL SITE PLAN NOTES:

- FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE, BASED ON FEMA FIRM PANELS 87-0172500J DATED 05/02/2006
- THERE ARE NO WETLANDS OR STREAMS ON THIS SITE.
- THE SITE WAS REZONED TO NX-3-CU PER PUBLIC HEARING ON 2/21/17. SEE SHEET C-0.2 FOR ZONING CONDITIONS.
- THE SITE WAS ANNEXED INTO CITY OF RALEIGH LIMITS PER PUBLIC HEARING ON 11/21/17. SEE SHEET C-0.2 FOR DECISION LETTER.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- SOLID WASTE PICK-UP WILL BE HANDLED PRIVATELY AND WILL BE STORED WITHIN BUILDING IN BETWEEN PICK-UPS.

SHEET INDEX

| SHEET TITLE | SHEET NUMBER |
|---------------------------------------|--------------|
| COVER SHEET | C-0.0 |
| GENERAL NOTES | C-0.1 |
| ZONING CONDITIONS SHEET | C-0.2 |
| SURVEY PLAN | 1 OF 1 |
| EXISTING CONDITIONS & DEMOLITION PLAN | C-1.0 |
| SITE PLAN | C-2.0 |
| GRADING & DRAINAGE PLAN | C-3.0 |
| SCM PLAN | C-3.1 |
| UTILITY PLAN | C-4.0 |
| LIGHTING PLAN | C-5.0 |
| NEW HOPE ROAD SIGHT DISTANCE | C-6.0 |
| BUFFALO ROAD SIGHT DISTANCE | C-6.1 |
| OFFSITE INTERSECTION IMPROVEMENTS | C-8.0 |
| OFFSITE INTERSECTION IMPROVEMENTS | C-8.1 |
| LANDSCAPE PLAN | LA-1 |
| TREE COVER REPORT | LA-2 |
| LANDSCAPE DETAILS | LA-3 |
| EW BUILDING ELEVATIONS | 01 |
| N/S BUILDING ELEVATIONS | 02 |
| BUILDING SITE PLAN | 03 |
| SIGHT LINE PERSPECTIVES | 04 |
| SIGHT LINE PERSPECTIVES | 05 |
| SIGHT LINE PERSPECTIVES | 06 |

REVISIONS

| REV | DATE | COMMENT | BY |
|-----|---------|----------------------------------|-----|
| 1 | 7/17/18 | UPDATED BUILDING / CITY COMMENTS | PMA |
| 2 | 8/27/18 | REV PER NCDOT & CITY COMMENTS | PMA |



KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG
 It's fast. It's free. It's the law.

NOT APPROVED FOR
 CONSTRUCTION

PROJECT No.: NCR151006
 DRAWN BY: PMA
 DATE: 04/20/18
 SCALE: AS NOTED
 CAD I.D.: SD1

PROJECT: PROP.
 SITE PLAN
 DOCUMENTS
 FOR
 LIDL US
 OPERATIONS, LLC

LOCATION OF SITE
 4115 BUFFALO RD
 RALEIGH, NC 27616
 WAKE COUNTY, NORTH CAROLINA

BOHLER
 ENGINEERING NC, PLLC
 NCBELS P-1132
 4130 PARK LAKE AVE., SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 Fax: (919) 703-2665
 NC@BohlerEng.com

SHEET TITLE:
 COVER SHEET

SHEET NUMBER:
 C-0.0

GENERAL NOTE:
 IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH THE INTENT OF CONSTRUCTION SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE DOCUMENTS RELATIVE TO THE SPECIFICATIONS OR APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS AND ORDINANCES.

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | (919) 996-2015 | (fax) 919-996-6133
 Litchfield Satellite Office | 130 Litchfield Road | Raleigh, NC 27601 | (919) 996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

| BUILDING TYPE | FOR OFFICE USE ONLY |
|--|---|
| <input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse | Transacted Number Approved Project Contributor Approved Plan Number |

Has your project previously been through the Due Diligence or Status Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: **Lidl Grocery Store**

Zoning District: **NX-3-CU** Overlay District (if applicable): _____ Inside City Limits? Yes No

Proposed Use: **Grocery Store**

Property Address(es): **4115 Buffalo Road, Raleigh NC 27616** Major Street Location: _____

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

| P.I.N. | P.I.N. | P.I.N. |
|------------|--------|--------|
| 1725789080 | | |

What is your project type?

| | | | |
|--|--|---|--|
| <input type="checkbox"/> Commercial | <input type="checkbox"/> Public Facilities | <input type="checkbox"/> Churches | <input type="checkbox"/> Other |
| <input type="checkbox"/> Mixed Residential | <input type="checkbox"/> Non-Residential Care | <input type="checkbox"/> Shopping Center | <input type="checkbox"/> Heavy |
| <input type="checkbox"/> Single-Family Residential | <input type="checkbox"/> Telecommunication Tower | <input type="checkbox"/> Multi-Family Residential | <input type="checkbox"/> Industrial Building |
| <input type="checkbox"/> Other: _____ | | | |

WORK SCOPE: Per City Code Section 10.2.3.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 5 of the UDO), indicate impacts on parking requirements. Construction of a 29,100 square foot grocery store with associated parking, lighting, landscaping, and related site improvements. (Modifications to approved construction drawings transaction #515979 SR-22-17)

DESIGN ADJUSTMENT OR ADMIN ALTERNATE: Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act

CLIENT/DEVELOPER/OWNER: **Lidl US Operations, LLC**
 Address: **1500 Sunday Drive, Raleigh NC 27607**
 Phone: **571-547-6465** Email: _____ Fax: _____

CONSULTANT (Contact Person for Plans): **Bohler Engineering NC PLL** (Name of) **Mike Roselli, PE**
 Address: **4130 ParkLake Avenue, Suite 130, Raleigh, NC 27612**
 Phone: **919-578-9000** Email: **mroselli@bohlereng.com** Fax: _____

| DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments) | |
|--|--|
| Zoning Information | Building Information |
| Zoning District(s) NX-3-CU | Proposed building use(s) Grocery Store |
| If more than one district, provide the acreage of each: | Existing Building(s) sq. ft. gross N/A |
| Overlay District | Proposed Building(s) sq. ft. gross ±29,100 |
| Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Total sq. ft. gross (existing & proposed) ±29,100 |
| Off-street parking: Required 97 Provided 145 | Proposed height of building(s) 28'-3" |
| COA (Certificate of Appropriateness) case # _____ | # of stories One (1) |
| SOA (Board of Adjustment) case # A- | Ceiling height of 1 st Floor ±16'-5" |
| CUO (Conditional Use District) case # Z-038-16 | |

| Stormwater information | |
|--|---|
| Existing Impervious Surface 0.11 ac | acres/square feet |
| Proposed Impervious Surface 2.81 ac | acres/square feet |
| Neuse River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| | Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| | Altitude Sols N/A Flood Study N/A |
| | FEMA Map Panel # 3720172500J |

| FOR RESIDENTIAL DEVELOPMENTS | |
|---|---|
| 1. Total # of Apartment, Condominium or Residential Units | 5. Bedroom Units: 1br 2br 3br 4br or more |
| 2. Total # of Congregate Care or Life Care Dwelling Units | 6. Infill Development 2.2.7 |
| 3. Total Number of Hotel Units | 7. Open Space (only) or Amenity |
| 4. Overall Total # of Dwelling Units (1-6 Above) | 8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate: **Bohler Engineering NC, PLLC**, to serve as my agent regarding this application, to receive and respond to administrative comments, to represent me in any public meeting regarding this application.

U.S. State of North Carolina, County of Wake, I, **Forrest Etter**, do hereby certify that I am the duly authorized agent of the above-named applicant, and that the information provided herein is true and correct to the best of my knowledge and belief.

Signed: *Forrest Etter* Date: **7/16/18**

Printed Name: **Forrest Etter**

Signed: _____ Date: _____

Printed Name: _____

CONDITIONAL USE DISTRICT ZONING CONDITIONS:

COPY OF APPROVED CONDITIONS PER PUBLIC HEARING ON 2/21/17, Z-038-16

| NARRATIVE OF ZONING CONDITIONS OFFERED |
|---|
| 1. The following principal uses shall be prohibited: telecommunications towers - all types, outdoor sports or entertainment facilities - all types, vehicle assembly, repair, maintenance, vehicle storage, any establishment engaged in the sale of fuel (gasoline or diesel fuel), game arcade, tattoo parlor; check cashing establishment; pawn shop; bar, nightclub, tavern or lounge. (Restrictions as defined in S.O.S. § 18B-200(b)). |
| 2. Prior to the issuance of a building permit for new development, if requested in writing by the City of Raleigh, a transit assessment shall be deemed to the City and recorded in the Wake County Registry. Prior to recording of the transit assessment, the assessment (and to exceed 15 feet in depth and 20 feet in width) and location of the assessment shall be agreed to by the Transportation Department and the Property Owner, and the assessment deed approved to be to the City Attorney's Office. If requested by the City of Raleigh in writing, the above referenced transit assessment shall be improved with the following prior to issuance of the first certificate of occupancy on the Property: (a) a 15x200 concrete pad; a 30-foot long cement landing zone between the back of curb and sidewalk; (b) an ADA-accessible transit waiting shelter with bench; and (c) a litter container. |
| 3. The hours of public access to any establishment operating on the property shall be limited to the period from 6:00 am until 11:00 pm. There shall be no deliveries to or shipments from establishments upon the Property between 11:00 pm and 6:00 am. Trash shall not be picked up, or dumpsters emptied, upon the Property between 11:00 pm and 6:00 am. Vehicles shall not be parked or stored at establishments upon the Property, or picking up trash or emptying dumpster upon the Property, shall not arrive upon the Property prior to 6:00 am. |
| 4. The height of any building constructed upon the Property shall not exceed one (1) story and 33 feet. |
| 5. The Property shall not be subdivided. |
| 6. Unless prohibited by the UDO or NC DOT, beginning at the right-of-way of New Hope Road as established at the time of site plan approval by NCDOT and the City of Raleigh, and extending to the common boundary lines of Lots 1-4, and 10-14 and 16-22 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1435, Wake County Registry, the common boundary lines of the Property, there shall be constructed and maintained a masonry wall at least seven (7) feet in height. Except where appropriate to save existing vegetation, said wall shall be located no closer than three (3) feet from the northern and eastern boundary lines of the Property, in the event, compliance with the tree conservation requirements of the UDO prohibit installation of the masonry wall within the 56-foot buffer, the masonry wall shall be located outside the buffer. |
| 7. In addition to the masonry wall described in Condition 6 above, a 30-foot wide Type 3 (Zone A) Protective Yard shall be installed and maintained along the northern and eastern boundaries of the Property (along the common boundary lines of Lots 1-4, and 10-14 and 16-22 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1435, Wake County Registry), except for areas required for tree conservation. The yard shall be planted by the owner with 4 shade trees, 4 understory trees and 100 shrub per 100 linear feet. The development proposals that the following be planted (or preserved in a TCA where required): 3 shade trees and 2 understory trees per 100 linear feet on the address side of the proposed masonry wall in the buffer. The development would also plant the other required 4 shade trees and 4 understory trees per 100 linear feet on the development side of the proposed masonry wall in the buffer. It is also proposed that the applicant plant shrubs at a rate of 65 shrubs per 100 linear feet, evenly distributed on each side of the masonry wall. |
| 8. Buildings situated on the Property shall not exceed a total of 38,000 square feet of floor area gross. |
| 9. No vehicular surface area shall be located directly between any buildings situated on the Property and the immediately adjacent northern boundary line of the Property (along the common boundary lines of Lots 1-4, and 10-14 and 16-22 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1435, Wake County Registry). Where the building is within 200 feet of the adjacent eastern property line, no vehicular surface area shall be located directly between any building situated on the Property and the immediately adjacent eastern boundary line of the Property (along the common boundary lines of Lots 1-4 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1435, Wake County Registry). |
| 10. If requested in writing to do so by Raleigh Department of Transportation or North Carolina Department of Transportation, signalized pedestrian crosswalks shall be installed across New Hope Road north of its intersection with Buffalo Road and across Buffalo Road west of its intersection with New Hope Road. Such crosswalk installation to occur prior to issuance of any certificate of occupancy for the Property. |
| 11. Unless a more restrictive height is noted within the UDO for specific areas on the site, light fixtures within parking and vehicular display areas may be no higher than 20 feet, and all wall pack fixtures may be no higher than 15 feet. Light fixtures within parking and vehicular display areas and wall pack fixtures will employ LED light source technology, although newer technologies may be employed as they become available. |
| 12. The internet pedestrian circulation shall connect the sidewalks in the adjacent public street right-of-way to the primary building entrance. At least one such connection shall not require crossing an internal vehicular surface area, and at least one such connection shall have at least one pedestrian bench between the right-of-way and the primary building entrance. |
| 13. Notwithstanding the provisions of UDO Section 7.1.2.D, parking shall not exceed 100% of the required parking ratio as established in Section 7.1.2.C. |

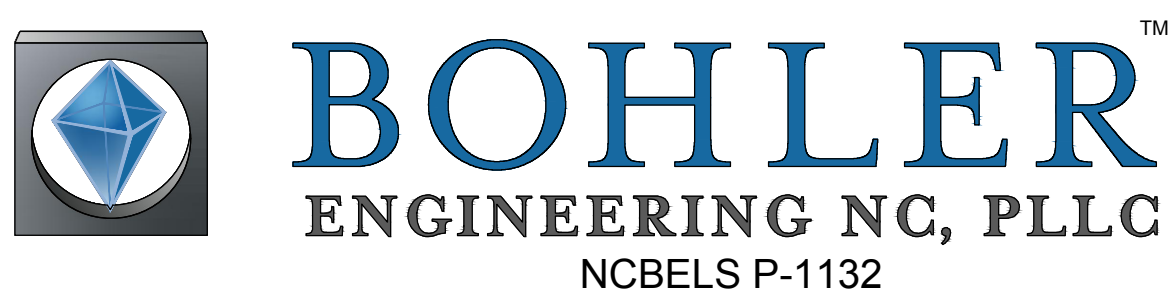
REVISIONS NARRATIVE:

Lidl Store #1157 - Raleigh
 Previous Transaction #515979 SR-22-17
 Revised Administrative Site Review #549904
 Conditional Use District Case 02-038-16

- Summary of changes:
- Building from ±25,400 SF to ±29,100 SF
 - Parking increased from 127 to 145 spaces
 - Removed parking spaces immediately west of building
 - Impervious area increased from 2.51 ac to 2.81 ac
 - Storm drainage network updated to new layout (No changes to wet pond)
 - Added generator cabinet behind trash enclosure
 - Landscaping updated around perimeter of parking lot to match new layout
 - Added offsite improvement sheets C-8.0 & C-8.1

LIDL US OPERATIONS, LLC
 STORE # 1157
 1500 SUNDAY DRIVE, SUITE 101
 RALEIGH, NC 27607
 TELEPHONE (571) 447-8533
 CONTACT: FORREST ETTER
 EMAIL: FORREST.ETTER@LIDL.US

PREPARED BY



4011 WESTCHASE BLVD., SUITE 290
 RALEIGH, NC 27607
 Phone: (919) 578-9000
 Fax: (919) 703-2665
 NC@BohlerEng.com

SURVEYOR

ALLIED ASSOCIATES, P.A.
 4720 KESTER MILL RD
 WINSTON-SALEM, NC 27103
 NC LICENSE #C-2198
 TELEPHONE (336) 765-2377

OWNER

LIDL US OPERATIONS, LLC
 3500 SOUTH CLARK ST
 ARLINGTON, VA 22202-4045

CONTACT: MIKE ROSELLI - MROSELLI@BOHLERENG.COM

EXISTING CONDITIONS NOTES

- REFER TO GENERAL NOTES SHEET C-0.1
- THIS PLAN REFERENCES DOCUMENTS & INFORMATION BY:
 - *ALTANSPS LAND TITLE SURVEY FOR: LIDL-US OPERATIONS, LLC.*
ALLIED ASSOCIATES, P.A.
4720 KESTER MILL ROAD
WINSTON-SALEM, NC 27103
DATED: 2/1/16
- ALL ELEVATIONS ARE IN REFERENCE TO THE CONTROL BENCHMARK AT N757.7048476', E2.127.7772808' WITH AN ELEVATION OF 354.92', BASED ON NAD 83 DATUM.
- THERE ARE NO WETLANDS OR STREAMS ON THIS SITE.
- FLOOD NOTE: THIS SITE IS NOT LOCATED IN A FLOOD HAZARD ZONE BASED ON FEMA FIRM MAP NUMBER 3720172500J PANEL 1725 DATED 05/02/06.
- ABANDON ANY WELLS AND SEPTIC TANKS PER WAKE COUNTY GUIDELINES.

GENERAL DEMOLITION NOTES:

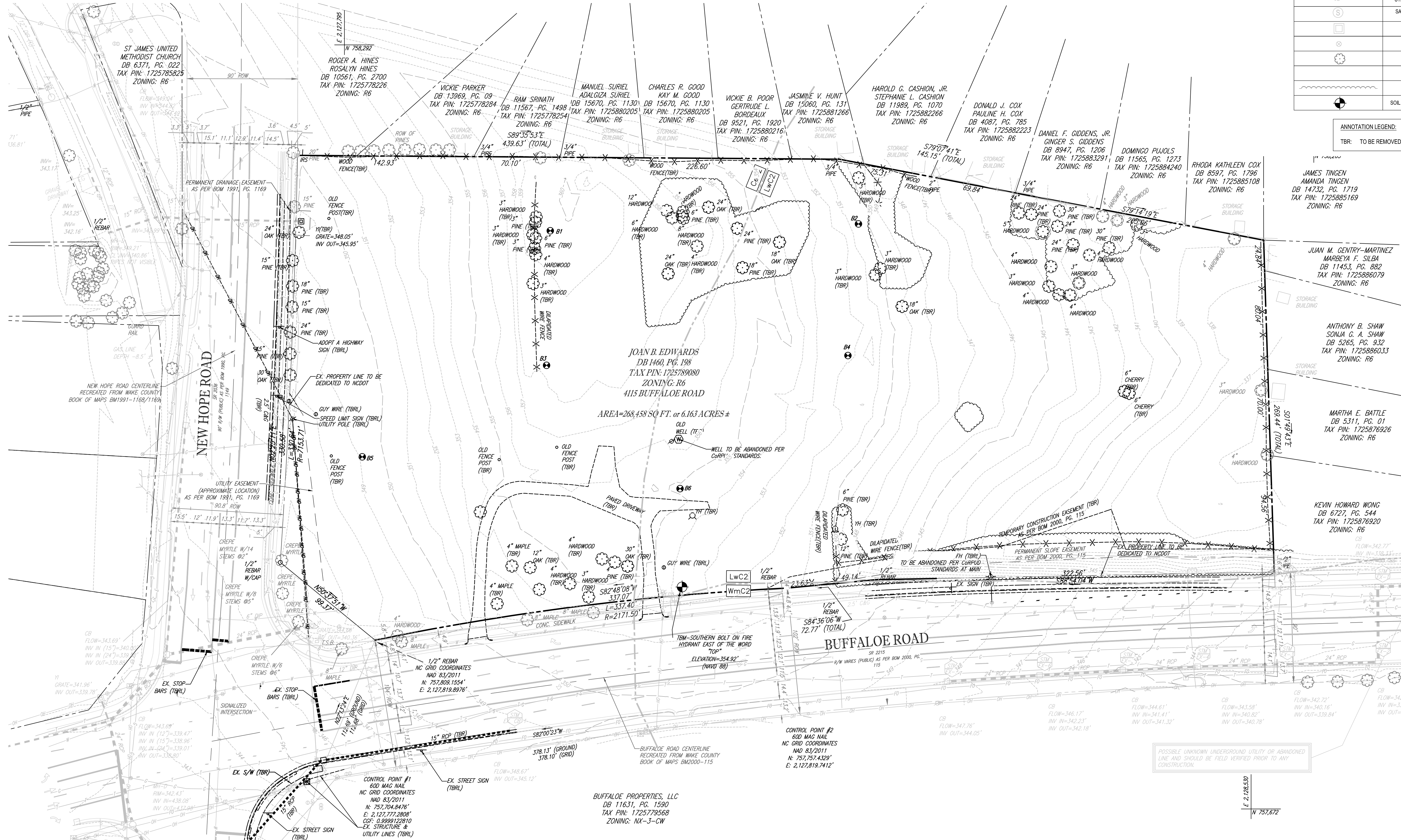
- THIS PLAN REFERENCES DOCUMENTS & INFORMATION BY:
 - *ALTANSPS LAND TITLE SURVEY FOR: LIDL-US OPERATIONS, LLC.*
ALLIED ASSOCIATES, P.A.
4720 KESTER MILL ROAD
WINSTON-SALEM, NC 27103
DATED: 2/1/16
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
- BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK AND DEMOLITION WORK.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS INDICATED ON THE PLAN IS APPROXIMATE. FIELD LOCATE ALL UNDERGROUND EXISTING UTILITIES LOCATED IN THE AREA OF WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CALL "NO ONE CALL" PRIOR TO CONSTRUCTION FOR ASSISTANCE IN LOCATING EXISTING UNDERGROUND UTILITIES. SUBSURFACE FEATURES ARE SHOWN IN AN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UNDERGROUND UTILITY LOCATIONS AND DEPTH.
- ALL SIDEWALKS AND CURB AND GUTTER SECTIONS SHALL BE REMOVED BY SAWCUTTING THE NEAREST CONTROL JOINT AWAY FROM THE LOCATION DESIGNATED FOR REMOVAL ON THE PLANS. EXISTING PAVEMENT SHALL BE SAWCUT IN ALL LOCATIONS WHERE ABUTTING NEW PAVEMENT OR CONCRETE.
- COORDINATE ALL UTILITY REMOVAL, RELOCATION, & ABANDONMENT WITH THE APPROPRIATE UTILITY SERVICE PROVIDER. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL UTILITY SERVICES TO ADJACENT PROPERTIES DURING ALL PHASES OF CONSTRUCTION.

DEMOLITION LEGEND

| EXISTING NOTE | TYPICAL NOTE TEXT | DEMOLITION NOTE |
|---------------|------------------------|-----------------|
| --- | PROPERTY LINE | |
| --- | ADJACENT LOT LINE | |
| --- | CONCRETE CURB & GUTTER | ===== |
| --- | SAWCUT LINE | ----- |
| --- | WIRE FENCE | ---X---X---X--- |
| --- | UNDERGROUND WATER LINE | --- |
| --- | UNDERGROUND GAS LINE | --- |
| --- | OVERHEAD WIRE | --- |
| --- | ELECTRIC LINE | --- |
| --- | UNDERGROUND TELEPHONE | --- |
| --- | STORM SEWER | ----- |
| --- | SANITARY SEWER MAIN | ----- |
| --- | HYDRANT | ⊙ |
| --- | UTILITY POLE/LIGHT | ⊙ |
| --- | SANITARY MANHOLE | ⊙ |
| --- | STORM INLET | ⊙ |
| --- | WATER VALVE | ⊙ |
| --- | TREE | ⊙ |
| --- | GUY WIRE | ⊙ |
| --- | TREELINE | ~~~~~ |
| --- | SOIL BORING LOCATION | ⊙ |

ANNOTATION LEGEND:

TBR: TO BE REMOVED



BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING AND ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

CHARLOTTE, NC
ATLANTA, GA
BALTIMORE, MD
BIRMINGHAM, AL
BOULDER, CO
CHICAGO, IL
DENVER, CO
FORT LAUDERDALE, FL
HOUSTON, TX
INDIANAPOLIS, IN
JACKSONVILLE, FL
KANSAS CITY, MO
LONG BEACH, CA
LOS ANGELES, CA
MEMPHIS, TN
MIAMI, FL
MINNEAPOLIS, MN
NEW YORK, NY
PHILADELPHIA, PA
RICHMOND, VA
SAN ANTONIO, TX
SAN FRANCISCO, CA
WASHINGTON, DC

REVISIONS

| REV | DATE | COMMENT | BY |
|-----|---------|----------------------------------|-----|
| 1 | 7/17/18 | UPDATED BUILDING / CITY COMMENTS | PMA |
| 2 | 8/27/18 | REV PER WCDOT & CITY COMMENTS | PMA |

811

KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG

It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: NCR151006
DRAWN BY: PMA
CHECKED BY: MAR
DATE: 04/02/18
SCALE: 1" = 40'
CAD I.D.: SS1

PROP. SITE PLAN DOCUMENTS FOR LIDL US OPERATIONS, LLC

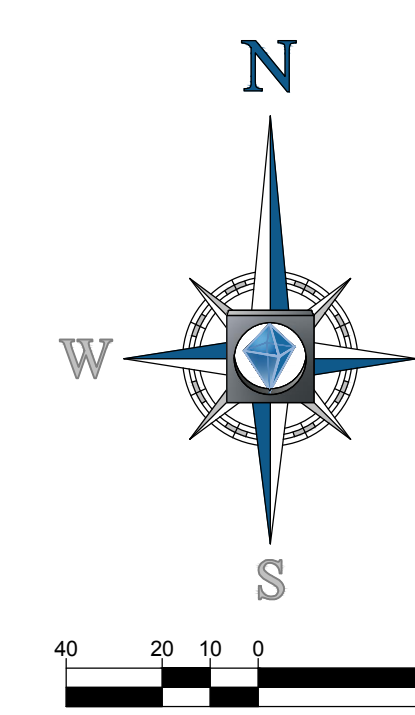
LOCATION OF SITE
4115 BUFFALO RD
RALEIGH, NC 27616
WAKE COUNTY, NORTH CAROLINA

BOHLER ENGINEERING NC, PLLC

4130 PARK LAKE AVE., SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
Fax: (919) 703-2665
NC@BohlerEng.com

SHEET TITLE:
EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NUMBER:
C-1.0



| PAVEMENT LEGEND | |
|-----------------|--|
| | DELINEATES PROPOSED HEAVY DUTY ASPHALT PAVEMENT |
| | DELINEATES PROPOSED STANDARD DUTY ASPHALT PAVEMENT |
| | DELINEATES PROPOSED CONCRETE SIDEWALK |
| | DELINEATES PROPOSED STANDARD DUTY CONCRETE |
| | DELINEATES PROPOSED HEAVY DUTY CONCRETE PAVEMENT* |

(*) CONCRETE JOINTING AND FILLERS TO BE COMPLETED PER DETAIL AND SPECIFICATIONS.

| GRAPHIC LEGEND | | |
|----------------|--------------------------------|---------------|
| EXISTING NOTE | TYPICAL NOTE TEXT | PROPOSED NOTE |
| | PROPERTY/LEASE LINE | |
| | ADJACENT LOT LINE | |
| | BUILDING OR PARKING SETBACK | |
| | CURB & GUTTER | |
| | FLUSH CURB | |
| | PARKING COUNT | |
| | ELEC. TRANSFORMER ON CONC. PAD | |
| | PAVEMENT STRIPING - 4" SSYL | |
| | STOP SIGN | |
| | ADA ACCESSIBLE PARKING SIGN | |
| | PAINTED STOP BAR | |
| | TREE | |

LAND USE AND ZONING INFORMATION AND NOTES:

- REFER TO GENERAL NOTES SHEET C-0.1
- SURVEYOR: ALLIED ASSOCIATES, P.A. 4720 KESTER MILL ROAD WINSTON-SALEM, NC 27103
- APPLICANT: LIDL US OPERATIONS, LLC 1500 SUNDAY DRIVE, STE. 101 RALEIGH, NC 27607
- OWNER: JOAN B EDWARDS 5119 EAGLES LANDING DR. RALEIGH, NC 27616
- PARCEL: 1725789080 RALEIGH WAKE COUNTY, NORTH CAROLINA EXISTING AREA: 6.16 AC PROPOSED AREA: 6.09 AC
- ZONED: NX-3-CU PER REZONING CASE #2-038-16 GROCERY/RETAIL SALES (PERMITTED)
- PREVIOUS TRANSACTION #604798 SR-22-17
- ALL DIMENSIONS ARE SHOWN FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 50' LANDSCAPE BUFFER REQUIRED ON SIDES ADJACENT TO RESIDENTIAL ZONING

| BULK REQUIREMENTS: | REQUIRED | PROPOSED |
|--|---------------------------|--|
| GROCERY STORE SITE | N/A | 6.16 AC |
| AREA DEDICATED TO NDOT RIGHT-OF-WAY | N/A | 0.08 AC |
| TOTAL AREA | N/A | 6.08 AC |
| BUILDING/STRUCTURE SETBACKS | | |
| FROM PRIMARY STREET | 5' | 141.4' |
| FROM SIDE STREET | 5' | 195.3' |
| FROM SIDE LOT LINE | 6' | 326' |
| FROM REAR LOT LINE | 6' | 76' |
| PARKING SETBACKS | | |
| FROM PRIMARY STREET | 10' | 10.2' |
| FROM SIDE STREET | 10' | 13.7' |
| FROM SIDE LOT LINE | 3' | 208' |
| FROM REAR LOT LINE | 3' | 56.4' |
| LANDSCAPE BUFFERS | | |
| REAR ADJACENT TO RESIDENTIAL | 50' | 50' |
| EAST LOT LINE ADJACENT TO RESIDENTIAL | 50' | 50' |
| AMENITY AREA | 10% OF 6.16 AC = ±0.62 AC | ±0.68 AC |
| PARKING REQUIREMENTS | | |
| 1 VEHICLE SPACE / 300 SF GFA | 97 | 145 |
| PARKING DIMENSIONS | 8.5' x 18' | 10' x 20' (INTERIOR) 10' x 18' (PERIMETER) |
| 1 SHORT-TERM BICYCLE PARKING / 5000 SF GFA | 6 | 7 |
| MIN AISLE WIDTH (ONE-WAY) | 20' | N/A |
| MIN AISLE WIDTH (TWO-WAY) | 22' | 24' |

N/A - NOT APPLICABLE N/S - NOT SPECIFIED (V) = VARIANCE (W) = WAIVER (E) = EXISTING

BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING AND ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

CHARLOTTE, NC
ATLANTA, GA
BALTIMORE, MD
BOSTON, MA
CHICAGO, IL
COLUMBIA, SC
DENVER, CO
FORT LAUDERDALE, FL
HOUSTON, TX
INDIANAPOLIS, IN
JACKSONVILLE, FL
KANSAS CITY, MO
LOS ANGELES, CA
MEMPHIS, TN
MIAMI, FL
MINNEAPOLIS, MN
NEW YORK, NY
PHILADELPHIA, PA
RICHMOND, VA
SAN ANTONIO, TX
SAN FRANCISCO, CA
WASHINGTON, DC

| REVISIONS | | | |
|-----------|---------|----------------------------------|-----|
| REV | DATE | COMMENT | BY |
| 1 | 7/17/18 | UPDATED BUILDING / CITY COMMENTS | PMA |
| 2 | 8/27/18 | REV PER NCDOT & CITY COMMENTS | PMA |

811

KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG

It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

| | |
|--------------|-----------|
| PROJECT No.: | NCR151006 |
| DRAWN BY: | PMA |
| CHECKED BY: | MAR |
| DATE: | 04/02/18 |
| SCALE: | 1" = 40' |
| CAD I.D.: | SS1 |

PROJECT: **PROP. SITE PLAN DOCUMENTS**
FOR
LIDL US OPERATIONS, LLC

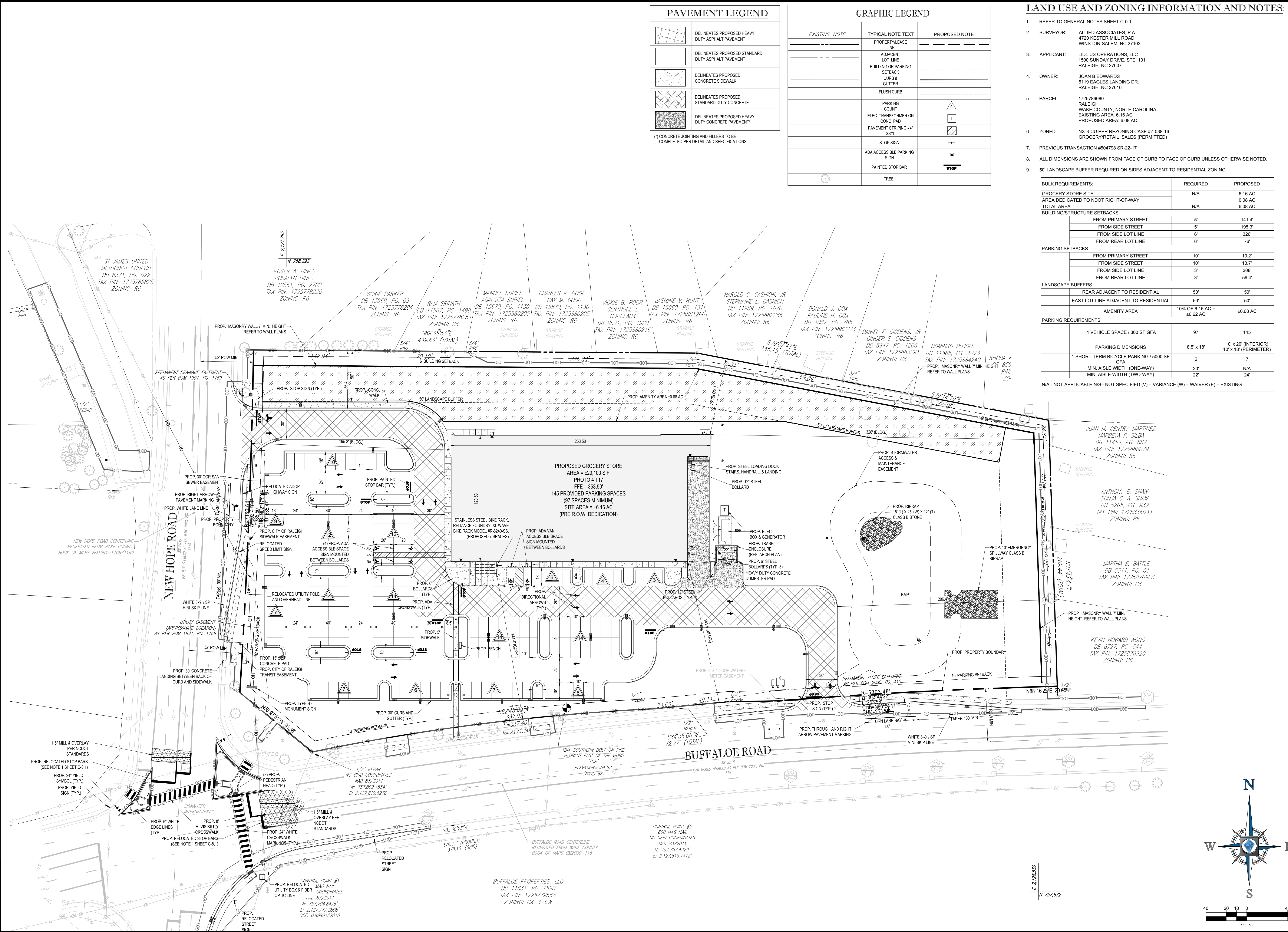
LOCATION OF SITE
4115 BUFFALO RD
RALEIGH, NC 27616
WAKE COUNTY, NORTH CAROLINA

BOHLER ENGINEERING NC, PLLC

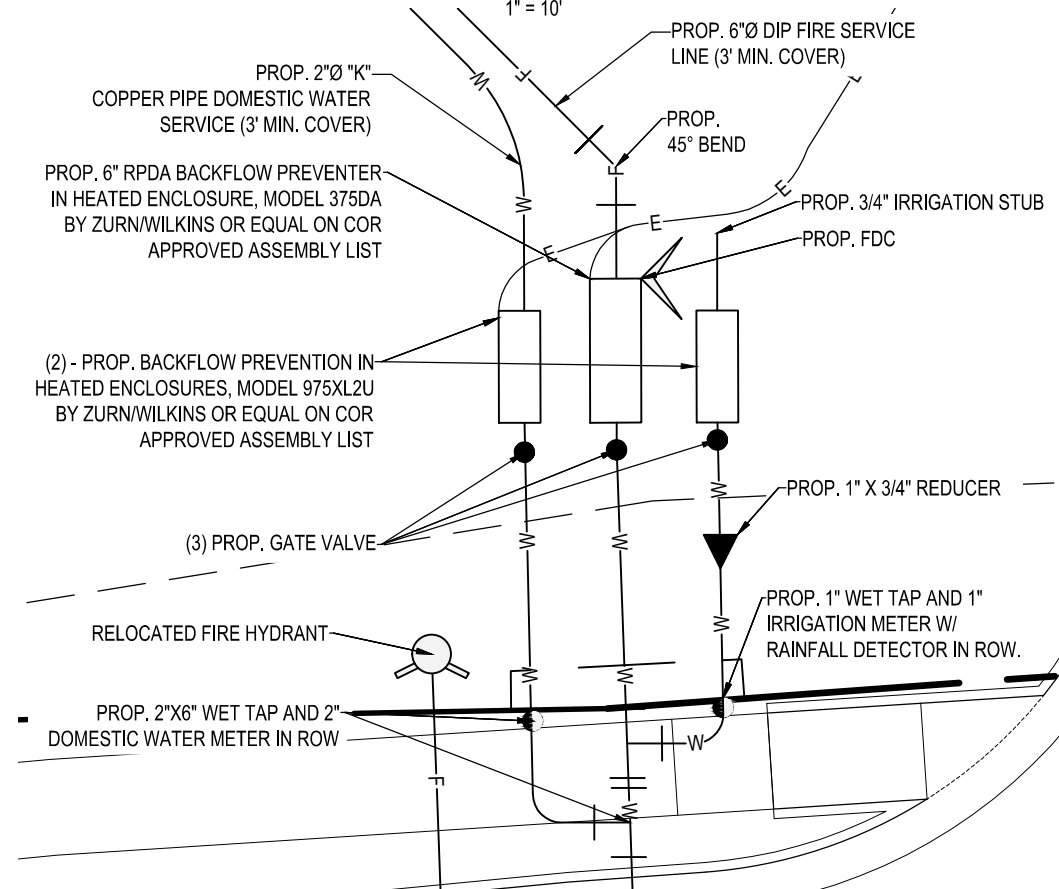
4130 PARK LAKE AVE., SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
Fax: (919) 703-2665
NC@BohlerEng.com

SHEET TITLE:
SITE PLAN

SHEET NUMBER:
C-2.0



UTILITY AREA DETAIL

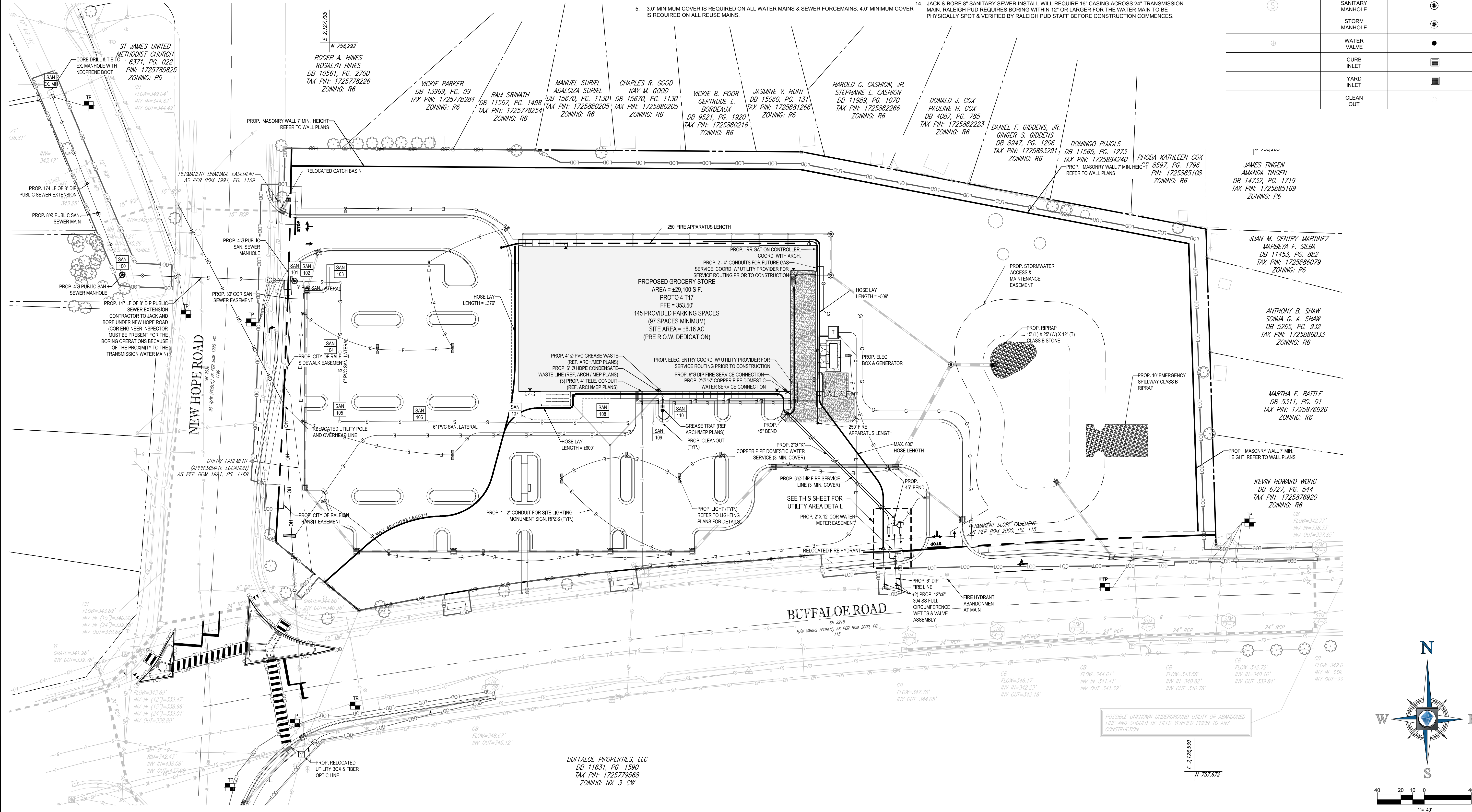


CITY OF RALEIGH STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25" FROM A PUBLIC WELL OR 50" FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 18" IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS, THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN &/OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METER LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICES FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 6" PVC SEWER SERVICES @ 1% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75 LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE &/OR FEMR FOR ANY RIPARIAN BUFFER, WETLAND &/OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT /RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATIONS SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIME BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- JACK & BORE 8" SANITARY SEWER INSTALL WILL REQUIRE 16" CASING ACROSS 24" TRANSMISSION MAIN. RALEIGH PUD REQUIRES BORING WITHIN 12" OR LARGER FOR THE WATER MAIN TO BE PHYSICALLY SPOT & VERIFIED BY RALEIGH PUD STAFF BEFORE CONSTRUCTION COMMENCES.

UTILITY LEGEND

| EXISTING NOTE | TYPICAL NOTE | PROPOSED NOTE |
|---------------|----------------------------|---------------|
| | UNDERGROUND WATER LINE | W-W |
| | UNDERGROUND FIRE LINE | F-F |
| | UNDERGROUND ELECTRIC LINE | E-E |
| | UNDERGROUND GAS LINE | G-G |
| | UNDERGROUND TELEPHONE LINE | T-T |
| | FIBEROPTIC CABLE | FC-FC |
| | STORM SEWER | SS-SS |
| | SANITARY SEWER MAIN | S-S |
| | SANITARY SEWER LATERAL | SL-SL |
| | FIRE DEPARTMENT CONNECTION | FD-FD |
| | SANITARY MANHOLE | SM |
| | STORM MANHOLE | SMH |
| | WATER VALVE | WV |
| | CURB INLET | CI |
| | YARD INLET | YI |
| | CLEAN OUT | CO |



BOHLER ENGINEERING NC, PLLC

1000 W. HARRIS STREET, SUITE 100, RALEIGH, NC 27612
 PHONE: (919) 703-2665
 FAX: (919) 703-2665
 WWW: BOHLERENG.COM

SITE CIVIL AND CONSULTING ENGINEERING
 LAND SURVEYING AND ARCHITECTURE
 SUSTAINABLE DESIGN
 PERMITTING SERVICES
 TRANSPORTATION SERVICES

CHARLOTTE, NC
 ATLANTA, GA
 BALTIMORE, MD
 BOSTON, MA
 CHICAGO, IL
 COLUMBIA, SC
 DALLAS, TX
 DENVER, CO
 HOUSTON, TX
 INDIANAPOLIS, IN
 JACKSONVILLE, FL
 LOS ANGELES, CA
 MEMPHIS, TN
 MIAMI, FL
 MINNEAPOLIS, MN
 NEW YORK, NY
 PHOENIX, AZ
 RICHMOND, VA
 SAN ANTONIO, TX
 TAMPA, FL
 WASHINGTON, DC

REVISIONS

| REV | DATE | COMMENT | BY |
|-----|---------|----------------------------------|-----|
| 1 | 7/17/18 | UPDATED BUILDING / CITY COMMENTS | PMA |
| 2 | 8/27/18 | REV PER NCDOT & CITY COMMENTS | PMA |

811

KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG

It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: NCR151006
 DRAWN BY: PMA
 CHECKED BY: MAR
 DATE: 04/20/18
 SCALE: 1" = 40'
 CAD I.D.: SS1

PROJECT: **PROP. SITE PLAN DOCUMENTS FOR LIDL US OPERATIONS, LLC**

LOCATION OF SITE
 4115 BUFFALO RD
 RALEIGH, NC 27616
 WAKE COUNTY, NORTH CAROLINA

BOHLER ENGINEERING NC, PLLC

4130 PARK LAKE AVE., SUITE 130
 RALEIGH, NC 27612
 Phone: (919) 578-9000
 Fax: (919) 703-2665
 NC@BohlerEng.com

SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C-4.0



PLANTING NOTES:

1. ALL LANDSCAPED AND LAWN AREAS ARE TO RECEIVE A MINIMUM OF 4" OF TOPSOIL.
2. ALL PLANT MATERIAL SHALL BE HEALTHY, VIGOROUS, AND FREE OF PESTS AND DISEASE.
3. ALL PLANT MATERIAL SHALL BE CONTAINER GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT LIST.
4. ALL TREES SHALL HAVE A STRAIGHT TRUNK AND FULL HEAD AND MEET ALL REQUIREMENTS SPECIFIED.
5. ALL GRASSED AREAS SHALL BE SOODED WITH A LOCALLY GROWN COMMERCIAL RESCUE SEED MIX MEETING LATEST NORTH CAROLINA AGRICULTURE STANDARDS FOR SEED AND PLANT CERTIFICATION.
6. ALL MATERIALS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
7. ALL TREES MUST BE GUYED OR STAKED AS SHOWN IN THE DETAILS.
8. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. LOCATIONS OF EXISTING BURIED UTILITY LINES SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJACENT TO THE WORK AREA TO PROTECT OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD; TO REPAIR ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPLURANCES, ETC. WHICH OCCURS AS A RESULT OF THE CONSTRUCTION.
9. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
10. CONTRACTOR SHALL BE RESPONSIBLE FOR DELIVERY SCHEDULE AND PROTECTION BETWEEN DELIVERY AND PLANTING PER SPECIFICATIONS TO MAINTAIN HEALTHY PLANT CONDITIONS.
11. THE CONTRACTOR SHALL COMPLETELY GUARANTEE AND BE RESPONSIBLE FOR FULLY MAINTAINING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) ALL OF THE PLANT MATERIALS AND LAWN FOR A ONE YEAR GROWING PERIOD.
12. ANY PLANT MATERIAL WHICH IS DISEASED, DISTRESSED, DEAD, OR REJECTED (PRIOR TO SUBSTANTIAL COMPLETION) SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE MEETING ALL PLANT LIST SPECIFICATIONS.
13. STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
14. WHERE SHOWN ON THE PLANS AND DETAILS, PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH A MINIMUM 4" DEPTH OF TRIPLE SHRED HARDWOOD MULCH FROM A LOCAL MULCH SOURCE HARVESTED IN A SUSTAINABLE MANNER.
15. BIODEGRADABLE WEED MATTING (ALL-PRO WEED MAT OR APPROVED EQUAL) SHALL BE REQUIRED IN SHRUB BEDS AT BUILDING FACADE.
16. ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT SPACING SHOWN.
17. THE CONTRACTOR IS ENCOURAGED TO COMPLETE TEMPORARY OR PERMANENT SEEDING IN STAGES FOR SOIL STABILIZATION AS AREAS ARE COMPLETED AFTER GRADING.
18. THIS PLAN DOES NOT PRESENT ANY TEMPORARY STABILIZATION REQUIRED AS PART OF AN EROSION CONTROL PLAN.
19. CONTRACTOR SHALL PROVIDE GATOR BAGS ON ALL TREES NOT RECEIVING IRRIGATION.
20. REFER TO DETAIL PRN-01 ON SHEET D-3.1 FOR TREE PROTECTION FENCING FOR THE TREES IN THE RIGHT-OF-WAY.

| LANDSCAPE SCHEDULE | | | | | |
|---|------|------------------------------------|----------------------------|----------------------|---------|
| KEY | QTY. | BOTANICAL NAME | COMMON NAME | SIZE | REMARKS |
| CANOPY / UNDERSTORY TREE(S) | | | | | |
| AS | 13 | ACER SACCHARUM 'LEGACY' | SUGAR MAPLE | 3" CAL., 10'-12" HT. | B+B |
| AR | 10 | ACER BARBATUM | SOUTHERN SUGAR MAPLE | 3" CAL., 10'-12" HT. | B+B |
| UP | 17 | ULMUS PARVIFOLIA 'UPMTP' | BOSQUE ELM | 3" CAL., 10'-12" HT. | B+B |
| ZS | 13 | ZELKOVA SERRATA 'GREEN VASE' | JAPANESE ZELKOVA | 3" CAL., 10'-12" HT. | B+B |
| QP | 13 | QUERCUS PHELLOS 'HIGHTOWER' | WILLOW OAK | 3" CAL., 10'-12" HT. | B+B |
| AG | 4 | ACER GRISEUM | PAPERBARK MAPLE | 3" CAL., 10'-12" HT. | B+B |
| NS | 8 | NYSSA SYLVATICA | BLACK GUM | 3" CAL., 10'-12" HT. | B+B |
| TC | 8 | TILIA CORDATA | LITTLELEAF LINDEN | 3" CAL., 10'-12" HT. | B+B |
| QV | 17 | QUERCUS VIRGINIANA 'HIGHRISE' | HIGHRISE LIVE OAK | 3" CAL., 10'-12" HT. | B+B |
| QC | 5 | QUERCUS COCCINIA | SCARLET OAK | 3" CAL., 10'-12" HT. | B+B |
| QL | 6 | QUERCUS LAURIFOLIA | LAUREL OAK | 3" CAL., 10'-12" HT. | B+B |
| QPO | 5 | QUERCUS PALustris | PIN OAK | 3" CAL., 10'-12" HT. | B+B |
| CC | 13 | CERCIS CANADENSIS 'FOREST PANSEY' | EASTERN REDBUD | 1.5" CAL., 6'-8" HT. | B+B |
| CF | 14 | CORNUS FLORIDA 'CHEROKEE PRINCESS' | DOGWOOD | 1.5" CAL., 6'-8" HT. | B+B |
| LI | 9 | LAGERSTROEMIA INDICA 'CHEROKEE' | RED FLOWERING CRAPE MYRTLE | 6" H 3/4 STEMS | B+B |
| MS | 10 | MAGNOLIA GRANDIFLORA 'LITTLE GEM' | LITTLE GEM MAGNOLIA | 1.5" CAL., 6'-8" HT. | B+B |
| INS | 17 | ILEX 'NELLIE R STEVENS' | NELLIE STEVENS HOLLY | 1.5" CAL., 6'-8" HT. | B+B |
| BN | 1 | BETULA NIGRA 'HERITAGE' | RIVER BIRCH | 6" H 3/4 STEMS | B+B |
| PC | 3 | PRUNUS CERASIFERA 'ATROPUREA' | PURPLELEAF PLUM | 1.5" CAL., 6'-8" HT. | B+B |
| CL | 9 | CUPRESSOCYPRIS LEYLANDII | LEYLAND CYPRESS | 6" H | B+B |
| EVERGREEN SHRUB(S) | | | | | |
| IG | 199 | ILEX GLABRA 'SHAMROCK' | INKBERRY HOLLY | 36" H | 7 GAL. |
| ICBN | 166 | ILEX CORNUTA 'BURFORDI NANA' | DWARF BURFORD HOLLY | 36" H | 7 GAL. |
| LC | 96 | LOROPETALUM CHINENSE 'RUBY' | LOROPETALUM | 36" H | 7 GAL. |
| PA | 2 | PANSETIUM ALPEAUCURIDES | FOUNTAIN GRASS | 12"-18" H | 3 GAL. |
| PV | 14 | PANICUM VIRGATUM 'SHENANDOAH' | BURGUNDY SWITCHGRASS | 12"-18" H | 3 GAL. |
| BUFFER PLANTINGS (638 TOTAL) - PROVIDE AN EVEN MIX OF THE FOLLOWING: | | | | | |
| OF | 128 | OSMANTHUS FORTUNEI | FORTUNES OSMANTHUS | 24" H | 5 GAL. |
| MC | 128 | MYRICA CERIFERA | WAX MYRTLE | 24" H | 5 GAL. |
| CJ | 128 | CLEYERA JAPONICA | JAPANESE CLEYERA | 24" H | 5 GAL. |
| ICBN | 128 | ILEX CORNUTA 'BURFORDI NANA' | DWARF BURFORD HOLLY | 24" H | 5 GAL. |
| IVN | 128 | ILEX VOMITORIA 'NANA' | DWARF YALPOU HOLLY | 24" H | 5 GAL. |

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN PLANT COUNTS SHOWN IN THE PLAN AND THE PLANT LIST, THE PLANT COUNTS ON THE PLAN SHALL DICTATE.

BOHLER ENGINEERING NC, PLLC

SITE CIVIL AND CONSULTING ENGINEERING
LAND SURVEYING AND ARCHITECTURE
SUSTAINABLE DESIGN PERMITTING SERVICES TRANSPORTATION SERVICES

CHARLOTTE, NC
ATLANTA, GA
BALTIMORE, MD
BALTIMORE, MD
BOSTON, MA
CHICAGO, IL
COLUMBIA, SC
DENVER, CO
FORT WORTH, TX
HOUSTON, TX
INDIANAPOLIS, IN
JACKSONVILLE, FL
KANSAS CITY, MO
LONG BEACH, CA
LOS ANGELES, CA
MEMPHIS, TN
MIAMI, FL
MINNEAPOLIS, MN
NEW YORK, NY
PHILADELPHIA, PA
RICHMOND, VA
SAN ANTONIO, TX
SAN DIEGO, CA
WASHINGTON, DC

| REVISIONS | | | |
|-----------|---------|----------------------------------|-----|
| REV | DATE | COMMENT | BY |
| 1 | 7/17/18 | UPDATED BUILDING / CITY COMMENTS | PMA |
| 2 | 8/27/18 | REV. PER WCDOT & CITY COMMENTS | PMA |

LANDSCAPE COMPLIANCE CHART
RALEIGH, NC

| CODE SECTION | REQUIREMENT | CALCULATIONS (REQUIRED/PROVIDED) |
|--|--|---|
| 3.5.3.C TRANSITIONAL PROTECTIVE YARD | TYPE 3 TRANSITIONAL PROTECTIVE YARD 6 SHADE TREES PER 100 LF 8 SHRUBS PER 100 LF | NORTH TRANSITIONAL PROTECTIVE YARD = 789.84 LF TOTAL LF MINUS 15' WIDE STREET PROTECTIVE YARD = 778.84 LF 7.74 X 8 = 61.92 SHADE TREES REQUIRED / PROVIDED 7.74 X 8 = 61.92 SHRUBS REQUIRED / PROVIDED |
| 7.2.4.B STREET PROTECTIVE YARD | PER ZONING CONDITIONS TYPE 3 TRANSITIONAL PROTECTIVE YARD 7 SHADE TREES PER 100 LF 8 SHRUBS PER 100 LF 8 MASONRY WALL | EAST TRANSITIONAL PROTECTIVE YARD = 268.44 LF TOTAL LF MINUS 15' WIDE STREET PROTECTIVE YARD WIDTH AND MINUS 12' WIDE SLOPE EASEMENT = 207.44 LF 2.07 X 7 = 14.51 SHADE TREES REQUIRED / PROVIDED 2.07 X 8 = 16.58 SHRUBS REQUIRED / PROVIDED 2.07 X 66 = 136.62 SHRUBS REQUIRED / PROVIDED |
| 7.2.4.B STREET PROTECTIVE YARD | BUFFALO ROAD 15 WIDE TYPE C2 STREET PROTECTIVE YARD SHADE TREES - 4 PER 100 LF SHRUBS - 15 PER 100 LF (8' MIN HT) X 7 = 105 | BUFFALO ROAD 15 WIDE TYPE C2 STREET PROTECTIVE YARD 75 LF - 37 LF (GREENWAY WIDTH) = 38 LF SHADE TREES - 4 PER 100 LF X 7 = 28 TREES - PROVIDED SHRUBS - 15 PER 100 LF (8' MIN HT) X 7 = 105 |
| 7.1.7 VEHICLE PARKING LOT LANDSCAPING (VSA) | NEW HOPE ROAD 15 WIDE TYPE C2 STREET PROTECTIVE YARD SHADE TREES - 4 PER 100 LF SHRUBS - 15 PER 100 LF (8' MIN HT) | NEW HOPE ROAD 15 WIDE TYPE C2 STREET PROTECTIVE YARD 15 WIDE TYPE C2 STREET PROTECTIVE YARD SHADE TREES - 4 PER 100 LF X 3 = 12 TREES - PROVIDED SHRUBS - 15 PER 100 LF (8' MIN HT) X 3 = 45 |
| C. PERIMETER ISLANDS | 5' W LANDSCAPE AREA - 30 SHRUBS PER 100 LF (18" HT) | TYPE C3 SURFACE PARKING AREA SCREENING PROVIDED |
| D. INTERIOR ISLANDS | PROVIDE EVERY 10 PARKING SPACES - 8' MIN WIDTH / 300 SF AREA 1 SHADE TREE IN EACH ISLAND AT A RATE OF 1 SHADE TREE PER 2000 SF OF PARKING AREA | 67,112 SF OF PARKING AREA / 2000 = REQUIRES 34 SHADE TREES / 38 PROVIDED |
| E. MEDIAN ISLANDS | REQUIRED EVERY 6 PARKING ROWS | NOT APPLICABLE |
| G. PARKING LOT LIGHTING | LIGHTING FIXTURES MUST BE LOCATED AT LEAST 20' FROM A TREE | REQUIREMENT MET |
| 7.2.5.B & C SCREENING | OUTDOOR LOADING AREAS SHALL BE SCREENED FROM VIEW FROM ADJACENT PROPERTY OR PUBLIC STREET RIGHT OF WAY FOR THE ENTIRE LENGTH. SERVICE AREAS MUST BE SCREENED BY 6H WALL ON 3 SIDES & 6H GATE IN FRONT | (B) NELLIE STEVENS HOLLY PROPOSED TO SCREEN OUTDOOR LOADING AREA. MUST BE A MINIMUM 6' TALL WITH 4' SPREAD WITHIN 3 YEARS OF PLANTING. |
| 7.2.6.C STORMWATER POND SCREENING REQUIREMENTS | PROVIDE A VEGETATIVE SCREEN OCCUPYING 15% OF THE VERTICAL PLANE AROUND THE PERIMETER OF THE FACILITY UP TO AN AVERAGE MATURE HEIGHT OF 6' | BMP SCREENING WEST: (4) JAPANESE ZELKOVA, (1) RIVER BIRCH SOUTH: (9) LEYLAND CYPRESS, (8) HIGHRISE LIVE OAK NORTH/EAST: (7) 7' MIN HEIGHT MASONRY WALL, TRANSITIONAL PROTECTIVE YARD PLANTINGS |
| 1.5.3.C AMENITY AREA CALCULATION | 10% OF THE SITE MUST BE DESIGNATED AS AMENITY AREA. | SITE AREA = 46.16 AC PROPOSED AMENITY AREA = 46.88 AC REQUIREMENT MET |

811

KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG

It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: NCR151006
DRAWN BY: PMA
CHECKED BY: MAR
DATE: 04/02/18
SCALE: 1" = 40'
CAD I.D.: LPD

PROJECT: **PROP. SITE PLAN DOCUMENTS**
FOR
LIDL US OPERATIONS, LLC

LOCATION OF SITE
4115 BUFFALO RD
RALEIGH, NC 27616
WAKE COUNTY, NORTH CAROLINA

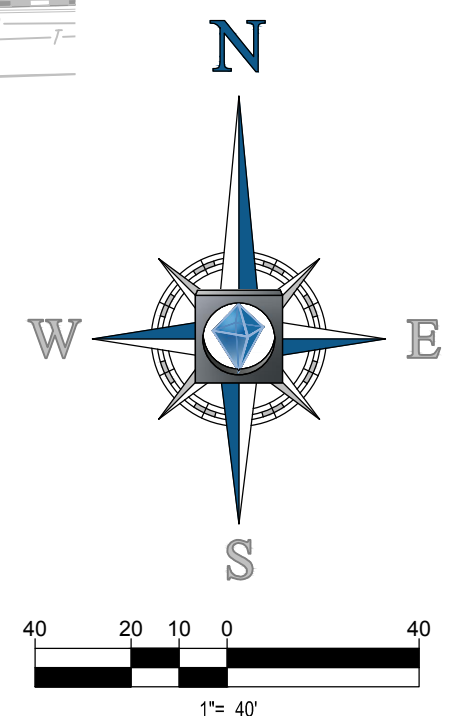
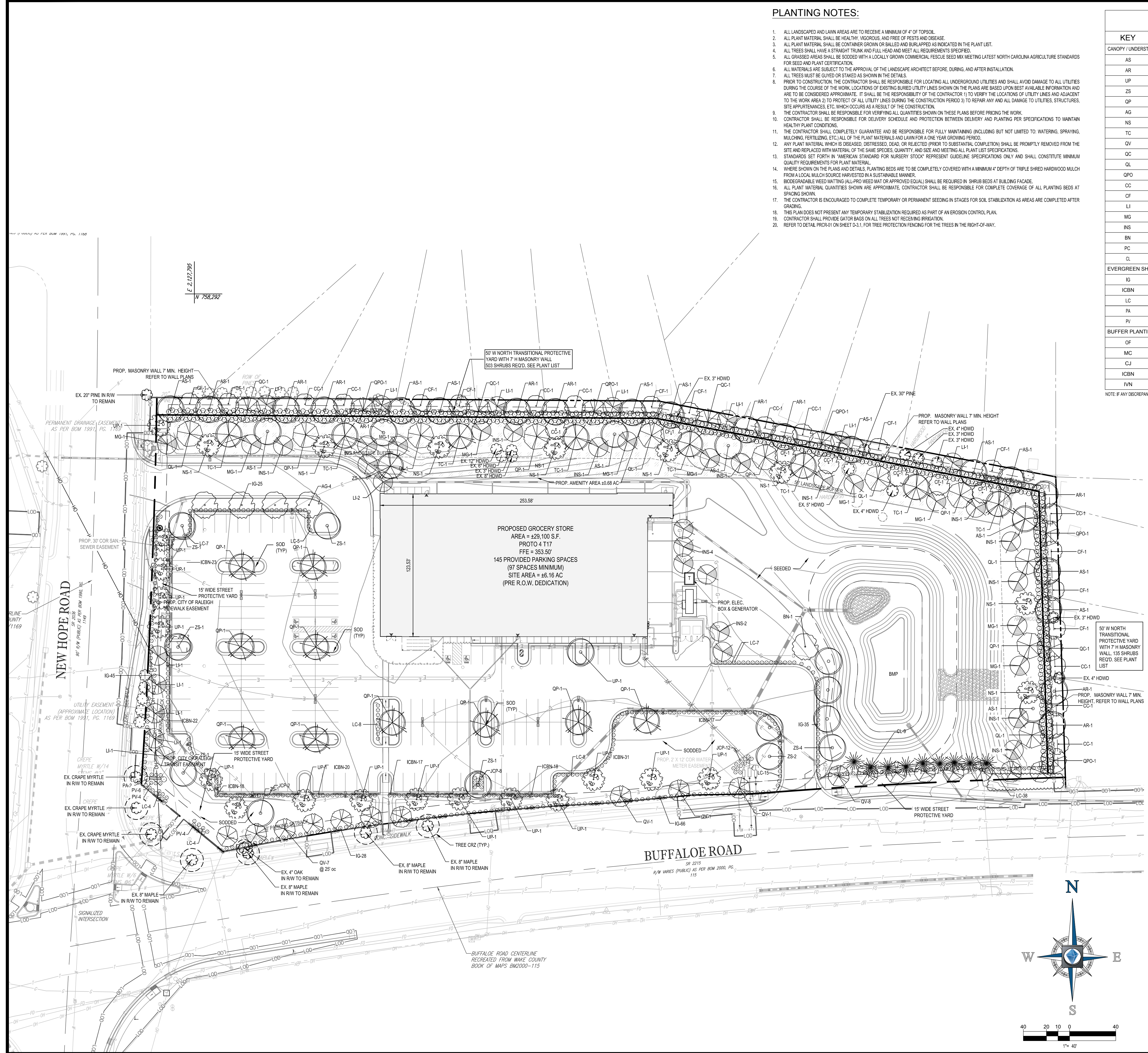
BOHLER ENGINEERING NC, PLLC
NCEBLS P-1122

4130 PARK LAKE AVE., SUITE 130
RALEIGH, NC 27612
Phone: (919) 578-9000
Fax: (919) 703-2665
NC@BohlerEng.com

NORTH CAROLINA PROFESSIONAL ENGINEER
MICHAEL A. ROSE, III
04678
2018.08.27

SHEET TITLE:
LANDSCAPE PLAN

SHEET NUMBER:
LA-1





Administrative Action

Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

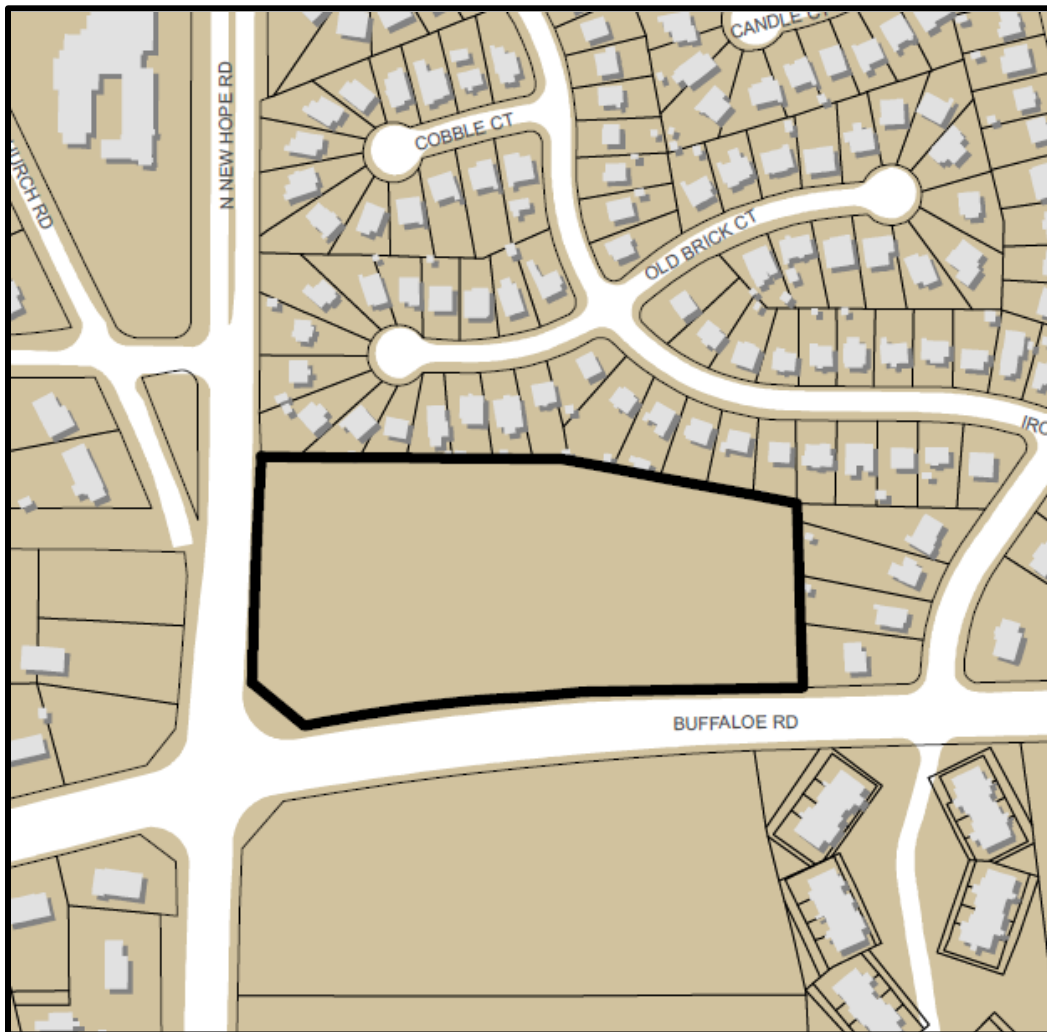
Case File / Name: SR-22-17 / LIDL US Operations, LLC Grocery Store #1157 (Transaction #504798)

General Location: This site is located at the northeast quadrant of Buffalo Road and New Hope Road, located outside the city limits.

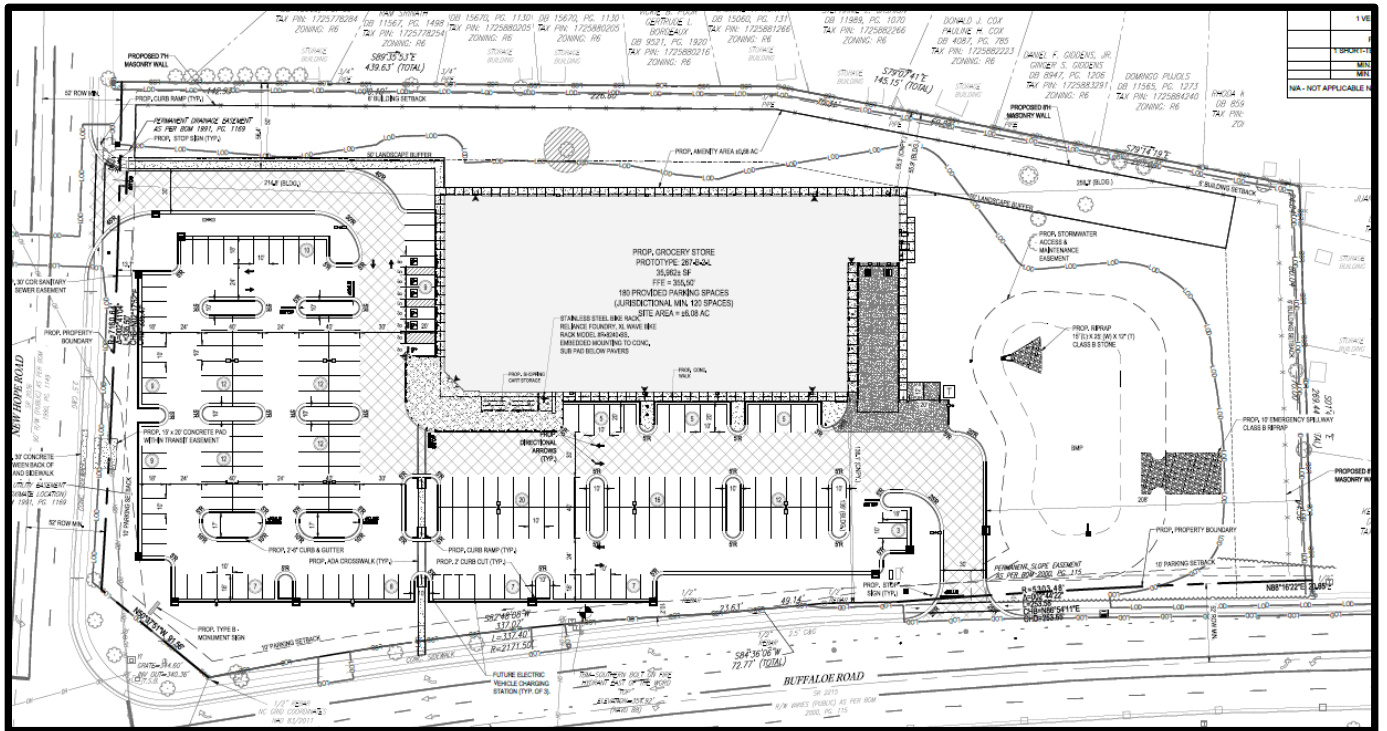
CAC: Northeast

Request: Construction of a 35,962 square foot grocery store, located on 1 parcel totaling 6.17 acres. The building type is a general building type with the building height being 1-story, 29.5' in height. The property is zoned NX-3-CU.

Cross-Reference: Z-08-16, SR-22-17, Transaction# 504798



SR-22-17 Location Map



SR-22-17 Preliminary Site Plan

| Code Conformance: | | Code Section(s) |
|---|---|--|
| Zoning District: | NX-3-CU; Z-038-16 | 3.1 |
| Overlay District: | N/A | 5.1 |
| Parking: | Automobile Required 120; Provided 180 Bicycle (Short term) Required – 7 Provided 7 Bicycle (Long term) Required – None; 0 | 7.1.2 |
| Street Type(s): | Buffaloe Road (NCDOT) – Avenue 4-Lane, Divided ½-104' right-of-way dedicated with ½-76' B-B constructed New Hope Road- Avenue 4-Lane, Divided ½-76' B-B constructed | 8.4 |
| Streetscape: | Buffaloe Road and New Hope Road are NC DOT maintained Roads C2 Street Protective Yards (7.2.4B) is placed along both frontages. A fee-in-lieu of construction for 1' of sidewalk will be required along the entirety of the property's street frontage. | 8.5 |
| Setbacks/Frontage: | Minimum Building Setbacks: Primary Street = 5' Side = 0' or 6' Rear = 0' or 6' | 3.2.5, |
| Neighborhood Transitions: | Along northern property line starting from New Hope Road- 7' masonry wall and 50'wide Type 3 Zone A Transitional Protective Yard (zoning condition 6) Along the northern and eastern yard is planted at the rate of 7 shade trees, 6 understory trees and 65 shrubs per 100 lineal feet (zoning condition 7) Along the north side of the masonry wall there are 3 shade trees and 2 understory trees per 100 lineal feet (zoning condition 7) Along the masonry wall are 65 shrubs per 100 lineal feet. | 3.5; Ordinance (2017) 672 ZC 741 |
| Transitional Protective Yards: | See Neighborhood Transitions Section (above) | 7.2.4 |
| Stormwater: | This development will discharge stormwater into 1 wet pond in order to meet stormwater quality and quantity regulations. The proposed wet pond will be used for both peak runoff rate control and nitrogen reduction with a onetime nitrogen buydown payment. | 9.2 |
| Tree Conservation: | This site is 6.17 acres in size and subject to Article 9.1, Tree Conservation. This site is providing 0.016 acres or 0.26 % of tree conservation area in accordance with Article 9.1. | 9.1 |

| | | |
|--|---|----------------|
| Variances, Design Adjustments, Administrative Alternates: | N/A | |
| Other: | 10% or 0.68 acres of the site has been designated as amenity area | 3.2.5.; 1.5.3. |

Ordinance (2017) 672 ZC 741
Effective: 2/21/17

Z-38-16 – Buffaloe Road, north side, at its intersection with New Hope Road, being Wake County PIN #1725789080, approximately 6.17 acres rezoned to Neighborhood Mixed Use-3 Stories-Conditional Use (NX-3-CU).

Conditions dated: January 26, 2017

1. The following principal uses shall be prohibited: telecommunication towers – all types; outdoor sports or entertainment facilities – all types; vehicle sales/rental; detention center, jail, prison; vehicular repair (minor); any establishment engaged in the sale of fuel (gasoline or diesel fuel); game arcade; tattoo parlor; check cashing establishment; pawn shop; bar, nightclub, tavern or lounge. Restaurant as defined In N.C.G.S. § 18B-1000(6), is permitted. Drive-through windows shall be prohibited.
2. Prior to the issuance of a building permit for new development, if requested in writing by the City of Raleigh, a transit easement shall be deeded to the City and recorded in the Wake County Registry. Prior to recordation of the transit easement, the dimensions (not to exceed 15 feet in depth and 20 feet in width) and location of the easement shall be agreed to by the Transportation Department and then Property Owner, and the easement deed approved as to form by the City Attorney's Office. If requested by the City of Raleigh in writing, the above referenced transit easement shall be improved with the following prior to issuance of the first certificate of occupancy on the Property:
 - (a) a 15'x 20' cement pad; a 30-foot long cement landing zone between the back of curb and sidewalk;
 - (b) an ADA-accessible transit waiting shelter with bench; and
 - (c) a litter container.
3. The hours of public access to any establishment operating on the property shall be limited to the period from 6:00am until 11:00 pm. There shall be no deliveries to or shipments from establishments upon the Property between 11:00 pm and 6:00 am. Trash shall not be picked up, or dumpsters emptied, upon the Property between 11:00 pm and 6:00 a.m. Vehicles making deliveries to or shipments from establishments upon the Property, or picking up trash or emptying dumpster upon the Property, shall not arrive upon the Property prior to 6:00 am.
4. The height of any building constructed upon the Property shall not exceed one (1) story and 33 feet.
5. The Property shall not be subdivided.
6. Unless prohibited by the UDO or NC DOT, beginning at the right-of-way of New Hope Road as established at the time of site plan approval (or as close thereto as allowed by NCDOT and the City's Department of Transportation) and extending along the northern and eastern boundary lines of the Property (along the common boundary lines of Lots 1-4, and 10-14 and 16-22 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1435, Wake County Registry) to the right-of-way of Buffaloe Road as established at the time of site plan approval (or as close thereto as allowed by NCDOT and the

Ordinance (2017) 672 ZC 741
Effective: 2/21/17

City's Department of Transportation), there shall be constructed and maintained a masonry wall at least seven (7) feet in height. Except where appropriate to save existing vegetation, said wall shall be located no closer than fifteen (15) feet from said northern and eastern boundary lines of the Property. In the event compliance with the tree conservation requirements of the UDO prohibit installation of the masonry wall within the 50-foot buffer the masonry wall may be located outside the buffer.

7. In addition to the masonry wall described in condition 6 above, a 50-foot wide Type 3 (Zone A) Protective Yard shall be installed and maintained along the northern and eastern boundaries of the Property (along the common boundary lines of Lots 1-4, and 10-14 and 16-22 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1435, Wake County Registry), except for areas required for tree conservation, the yard shall be planted to at the rate of 7 shade trees, 6 understory trees and 65 shrubs per 100 lineal feet. This development proposes that the following be planted (or preserved in a TCA where required): 3 shade trees and 2 understory trees per 100 lineal feet on the adjacent property side of the proposed masonry wall in the buffer. This development would also plant the other required 4 shade trees and 4 understory trees per 100 lineal feet on the development side of the proposed masonry wall in the buffer. It is also proposed that the applicant plant shrubs at a rate of 65 shrubs per 100 lineal feet, evenly distributed on each side of the masonry wall.
8. Buildings situated on the Property shall not exceed a total of 36,000 square feet of floor area gross.
9. No vehicular surface area shall be located directly between any buildings situated on the Property and the immediately adjacent northern boundary line of the Property (along the common boundary lines of lots 10-14 and 16-22 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1435, Wake County Registry). Where the building is within 200' feet of the adjacent eastern property line, no vehicular surface area shall be located directly between any building situated on the Property and the immediately adjacent eastern boundary line of the Property (along the common boundary lines of Lots 1-4 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1435, Wake County Registry).
10. If requested in writing to do so by Raleigh Department of Transportation or North Carolina Department of Transportation, signalized pedestrian crosswalks shall be installed across New Hope Road north of its intersection with Buffalo Road and across Buffalo Road west of its intersection with New Hope Road. Such crosswalk installation to occur prior to issuance of any certificate of occupancy for the Property.
11. Unless a more restrictive height is noted within the UDO for specific areas of the site, light fixtures within parking and vehicular display areas may be no higher than 20 feet; and all wall pack fixtures may be no higher than 15 feet. Light fixtures within parking and vehicular display areas and wall pack fixtures will employ LED light source technology; although newer technologies may be employed as they become available.

Ordinance (2017) 672 ZC 741
Effective: 2/21/17

12. The internal pedestrian circulation shall connect the sidewalks in the adjacent public street rights-of-way to the primary building entrance. At least one such connection shall not require crossing an internal vehicular surface area, and at least one such connection shall have at least one pedestrian bench between the right of way and the primary building entrance.
13. Notwithstanding the provisions of UDO Section 7.1.2.D, parking shall not exceed 150% of the required parking ratio as established in Section 7.1.2.C.

OFFICIAL ACTION: Approval with conditions

**CONDITIONS OF
APPROVAL:**

Prior to issuance of a mass land disturbing permit for the site:

1. That prior to issuance of a grading permit, in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;
2. That a final tree conservation plan with permit be approved by Urban Forestry. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas. Tree protection fence must be located in the field and inspected by the Forested Specialist;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:

3. That a stormwater control plan with a stormwater operations & maintenance manual & budget shall be approved by the Stormwater Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance;
4. That 7 required bike parking spaces are to be shown and labeled on plan prior to concurrent approval;
5. That all conditions of Z-38-16 are complied with;
6. That a nitrogen offset payment must be made to a qualifying mitigation bank;
7. That encroachment agreements and driveway permits are approved by NCDOT with copies sent to the Department of Engineering prior to concurrent approval and any requirements from the TIA review are addressed during concurrent review;
8. That a final tree conservation plan with permit be approved by Urban Forestry. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas. Tree protection fence must be located in the field and inspected by the Forested Specialist;

Prior to issuance of building permits:

9. That a petition for annexation into the City Limits be submitted in accordance with City Council policy for extension of utility service to properties currently outside of the City limits. This voluntary annexation in no way obligates the City to extend utility services to the property;
10. That in accordance with UDO 9.2.2, the developer shall pay to the City a stormwater facility replacement fund payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities;
11. That in accordance with UDO 9.2.2, a surety equal to 125% of the cost of construction of a stormwater device shall be paid to the City;
12. That a 15'x20' transit easement located on New Hope Road be approved by the Transit Planner in the Public Works Transportation Department, be shown on all maps for recording, and that a transit easement deed approved by the City is recorded with the local County Register of Deeds. That the recorded copy of this transit easement be provided to the Planning Department prior to building permit approval;
13. That infrastructure Construction Plans, street protective yard and a street lighting plan are approved by the City of Raleigh;
14. That in accordance with Part 10A Section 8.1.10, a fee-in-lieu for 1' of sidewalk along the property frontage of Buffaloe Road and New Hope Road is paid to the City of Raleigh prior to building permit approval;
15. That any required right of way for Buffaloe Road and New Hope Road is dedicated to the City of Raleigh and a copy of the recorded plat is provided to the City prior to the building permit issuance;

Prior to issuance of building occupancy permit:

16. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification for any stormwater control device shall be reviewed and accepted by the City

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Rousseau Date: 6/9/2017
(RT)

Staff Coordinator: Daniel L. Stegall

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS: City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 03/23/2017 submitted by Mike Roselli of Bohler Engineering.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 06/09/2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.

ADMINISTRATIVE SITE REVIEW

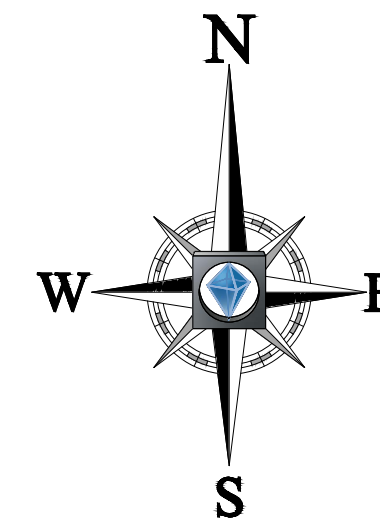
FOR

LIDL US OPERATIONS, LLC

PROPOSED GROCERY STORE #1157

LOCATION OF SITE

4115 BUFFALOE ROAD
 RALEIGH, NC 27616
 PIN #1725789080
 WAKE COUNTY,
 NORTH CAROLINA



LOCATION MAP

COPYRIGHT 2010 NAVTEQ & 2016 MICROSOFT CORPORATION
 SCALE: 1"=50'

CITY OF RALEIGH PLANNING
 DEPARTMENT NUMBER:
 SR-22-17
 TRANSACTION #504798

LIDL US OPERATIONS, LLC
 STORE # 1157
 1500 SUNDAY DRIVE, SUITE 101
 RALEIGH, NC 27607
 TELEPHONE (571) 547-6465
 CONTACT: CHRIS KAPPER
 EMAIL: CHRIS.KAPPER@LIDL.US

PREPARED BY



BOHLER
 ENGINEERING NC, PLLC
 NCBELS P-1132

SURVEYOR

ALLIED ASSOCIATES, P.A.
 4720 KESTER MILL RD
 WINSTON-SALEM, NC 27103
 NC LICENSE #C-2198
 TELEPHONE (336) 765-2377

Administrative Site Review Application
 (for UDO Districts only)

Development Services Customer Service Center | 1 Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2455 | FAX 919-996-1831
 Lickford Satellite Office | 4320 - 134 Lickford Road, Raleigh, NC 27601 | 919-996-4209

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE
 Detached
 Attached
 Apartment
 Townhouse

FOR OFFICE USE ONLY
 Transaction Number
 Assigned Project Coordinator
 Assigned Team Leader

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION
 Development Name: Grocery Store
 Zoning District: NX-3-CU
 Overlay District (if applicable):
 Inside City Limits? Yes No
 Proposed Use: Grocery Store
 Property Address: 4115 Buffalo Road Raleigh NC 27616
 Major Street Location:
 Wake County Property Identification Number(s) for each parcel which these guidelines will apply:
 P.I.N. 1725789080
 What is your project type?
 Apartment
 Elderly Facilities
 Hospitals
 Hotels/Hotels
 Office
 School
 Residential Care
 Shopping Center
 Industrial Building
 Duplex
 Religious Institution
 Retail
 Cottage Court
 Other: other, please describe:

WORK SCOPE
 Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
 Construction of a 35,962 square foot grocery store with associated parking, lighting, landscaping and related site appurtenances.

DESIGN ADJUSTMENT OR ADMIN. ALTERNATE
 Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

CLIENT/DEVELOPER/OWNER
 Company: Lidl US Operations, LLC
 Name: Chris Kapper
 Address: 1500 Sunday Drive, Raleigh NC 27607
 Phone: 571-547-6465
 Email: chris.kapper@lidl.us
 Fax:

CONSULTANT
 Company: Bohler Engineering NC PLLC
 Name: Mike Roselli, PE
 Address: 4011 WestChase Boulevard Suite 290 Raleigh NC 27607
 Phone: 919-578-9000
 Email: mroselli@bohlereng.com
 Fax: 919-703-2665

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

| Zoning Information | | Building Information | |
|--|---|--|---|
| Zoning District: NX-3-CU | Proposed building use(s): Grocery Store | Existing Building(s) sq. ft. gross: N/A | |
| If more than one district, provide the acreage of each: | Existing Building(s) sq. ft. gross: 35,962 sf | Proposed Building(s) sq. ft. gross: 35,962 sf | |
| Overlay District: | | Total sq. ft. gross (existing & proposed): 35962 | |
| Total Site Acres: Inside City Limits: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | Proposed height of building(s): 29.5' | |
| Off street parking: Required: 120 Provided: 180 | | # of stories One (1) | |
| COA (Certificate of Appropriateness) case #: | | BOA (Board of Adjustment) case #: | |
| BOA (Board of Adjustment) case #: | | CUD (Conditional Use District) case # Z-038-16 | |
| CUD (Conditional Use District) case # Z-038-16 | | | |
| Stormwater Information | | | |
| Existing Impervious Surface: 0.10 AC | acres/square feet | Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | |
| Proposed Impervious Surface: 3.14 AC | acres/square feet | If Yes, please provide: Allowable Soils (FEMA Map Panel #) | Flood Study |
| Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No | | |
| FOR RESIDENTIAL DEVELOPMENTS | | | |
| 1. Total # of Apartment, Condominium or Residential Units | 2. Bedroom Units: 1br 2br 3br 4br or more | 3. Total # of Congregate Care Or Life Care Dwelling Units | 4. Initial Development Z.O.Z. |
| 5. Total Number of Hotel Units | 6. Open Space (only) or Amenity | 7. Overall Total # of Dwelling Units (1-6 above) | 8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| SIGNATURE BLOCK (Applicable to all developments) | | | |
| In filing this plan as the property owner(s), I/We do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all decisions as shown on this proposed development plan as approved by the City. | | | |
| I/We hereby designate Bohler Engineering NC, PLLC to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meetings regarding this application. | | | |
| I/We have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use. | | | |
| Signed: <i>Jean B. Edwards</i> | Date: 3-27-2017 | | |
| Printed Name: Jean B. Edwards | | | |
| Signed: _____ | Date: _____ | | |
| Printed Name: _____ | | | |

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

CONDITIONAL USE DISTRICT ZONING CONDITIONS:

COPY OF APPROVED CONDITIONS PER PUBLIC HEARING ON 2/21/17, Z-038-16

NARRATIVE OF ZONING CONDITIONS OFFERED

- The following principal uses shall be prohibited: telecommunications towers - all types, outdoor sports or entertainment facilities - all types, vehicle wash, car, pickup, vehicle repair center, any establishment engaged in the sale of fuel (gasoline or diesel fuel), game arcade, tattoo parlor, check cashing establishment, pawn shop, bar, nightclub, tavern or lounge, restaurant, as defined in S.O.S. 15B-200(b), if permitted. Drive through activities shall be prohibited.
- Prior to the issuance of a building permit for new development, if requested in writing by the City of Raleigh, a transit easement shall be deeded to the City and recorded in the Wake County Registry. Prior to recording of the transit easement, the dimensions (not to exceed 15 feet in depth and 20 feet in width) and location of the easement shall be agreed to by the Transportation Department and the Property Owner, and the easement deed approved as to form by the City Attorney's Office. If requested by the City of Raleigh in writing, the above referenced transit easement shall be improved with the following prior to issuance of the first certificate of occupancy on the Property:
 - a 15x20 concrete pad; a 30-foot long cement landing zone between the back of curb and sidewalk;
 - an ADA-accessible transit waiting shelter with bench; and
 - a litter container.
- The hours of public access to any establishment operating on the property shall be limited to the period from 6:00 am until 11:00 pm. There shall be no deliveries to or shipments from establishments upon the Property between 11:00 pm and 6:00 am. Trash shall not be picked up, or dumpsters emptied, upon the Property between 11:00 pm and 6:00 am. Vehicle washing, deliveries to or shipments from establishments upon the Property, or picking up trash or emptying dumpster upon the Property, shall not arrive upon the Property prior to 6:00 am.
- The height of any building constructed upon the Property shall not exceed one (1) story and 33 feet.
- The Property shall not be subdivided.
- Unless prohibited by the UDO or NC DOT, beginning at the right-of-way of New Hope Road as established at the time of site plan approval (or as those lines as altered by NC DOT and the City of Raleigh) and extending along the northern and eastern boundary lines of the Property (along the common boundary lines of Lots 1-4, and 10-14 and 16-22 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1432, Wake County Registry), where the building is within 10-22 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1432, Wake County Registry), there shall be constructed and maintained a masonry wall at least seven (7) feet in height. Except where appropriate to save existing vegetation, said wall shall be located no closer than fifteen (15) feet from said northern and eastern boundary lines of the Property, and the event, compliance with the tree conservation requirements of the UDO prohibit installation of the masonry wall within the 55-foot buffer, the masonry wall be located outside the buffer.
- In addition to the masonry wall described in Condition 6 above, a 30-foot wide Type 3 (Zone A) Protective Yard shall be installed and maintained along the northern and eastern boundaries of the Property (along the common boundary lines of Lots 1-4, and 10-14 and 16-22 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1432, Wake County Registry), except for areas required for tree conservation. The yard shall be planted to the rate of 7 shade trees, 4 understory trees and 15 shrubs per 100 linear feet. This development proposes that the following be planted (or preserved in a TCA where required): 3 shade trees and 2 understory trees per 100 linear feet on the address side of the proposed masonry wall in the buffer. This development would also plant the other required 4 shade trees and 4 understory trees per 100 linear feet on the development side of the proposed masonry wall in the buffer. If it is proposed that the applicant plant shrubs at a rate of 65 shrubs per 100 linear feet, evenly distributed on each side of the masonry wall.
- Buildings situated on the Property shall not exceed a total of 38,000 square feet of floor area gross.
- No vehicular surface area shall be located directly between any buildings situated on the Property and the immediately adjacent northern boundary line of the Property (along the common boundary lines of Lots 1-4, and 10-14 and 16-22 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1432, Wake County Registry), where the building is within 10-22 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1432, Wake County Registry). Where the building is within 10-22 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1432, Wake County Registry), no vehicular surface area shall be located directly between any building situated on the Property and the immediately adjacent eastern boundary line of the Property (along the common boundary lines of Lots 1-4 of Cobblestone Subdivision as recorded in Book of Maps 1985, Page 1432, Wake County Registry).
- If requested in writing to do so by Raleigh Department of Transportation or North Carolina Department of Transportation, appraised pedestrian crosswalks shall be installed across New Hope Road north of its intersection with Buffalo Road and across Buffalo Road west of its intersection with New Hope Road. Such crosswalk installation to occur prior to issuance of any certificate of occupancy for the Property.
- Unless a more restrictive height is noted within the UDO for specific areas of the site, light fixtures within parking and vehicular display areas may be no higher than 20 feet, and all wall pack fixtures may be no higher than 15 feet. Light fixtures within parking and vehicular display areas and wall pack fixtures will employ LED light source technology; however newer technologies may be employed as they become available.
- The internal pedestrian circulation shall connect the sidewalks in the adjacent public street right-of-way to the primary building entrance. At least one such connection shall not require crossing an internal vehicular surface area, and at least one such connection shall have at least one pedestrian bench between the right-of-way and the primary building entrance.
- Notwithstanding the provisions of UDO Section 7.1.2.D, parking shall not exceed 100% of the required parking ratio as established in Section 7.1.2.C.

GENERAL SITE PLAN NOTES:

- FLOOD NOTE: THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD ZONE, BASED ON FEMA FIRM PANELS 8372017250J DATED 05/02/2006
- THERE ARE NO WETLANDS OR STREAMS ON THIS SITE.
- THE SITE WAS ZONED TO NX-3-CU PER PUBLIC HEARING ON 2/21/17. SEE THIS SHEET FOR ZONING CONDITIONS.
- ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NC DOT STANDARDS AND SPECIFICATIONS.
- SOLID WASTE PICK-UP WILL BE HANDLED PRIVATELY AND WILL BE STORE WITHIN BUILDING IN BETWEEN PICK-UPS.

OWNER

JOAN B. EDWARDS
 5119 EAGLES LANDING DR.
 RALEIGH, NC 27616

4011 WESTCHASE BLVD., SUITE 290
 RALEIGH, NC 27607

Phone: (919) 578-9000
 Fax: (919) 703-2665

NC@BohlerEng.com

CONTACT: MIKE ROSELLI - MROSELLI@BOHLERENG.COM

CONTACT INFORMATION

REFERENCES

SURVEY
 "PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY OF MGP SITE- 4115 BUFFALOE ROAD"
 PREPARED BY ALLIED ASSOCIATES, PA
 ALLIED ASSOCIATES JOB NO. PA160108
 DATED: 01/28/2016, UPDATED: 12/22/2016

GEOTECHNICAL INVESTIGATION REPORT:
 "REPORT OF GEOTECHNICAL EXPLORATION - LIDL RALEIGH"
 PREPARED BY ECS CAROLINAS, LLP
 ECS PROJECT NO. 06-23212
 DATED: 02/11/2016

***ADDENDUM 1 - ADDITIONAL SUBSURFACE EXPLORATION:**
 PREPARED BY ECS CAROLINAS, LLO
 ECS PROJECT NO. 06-23395
 DATED: 10/03/16

ENVIRONMENTAL SITE ASSESSMENT
 "PHASE 1 ENVIRONMENTAL SITE ASSESSMENT REPORT PROPOSED MGP LIDL RALEIGH"
 PREPARED BY ECS CAROLINAS, LLP
 ECS PROJECT NO. 49-1255
 DATED: 02/01/2016

TRAFFIC ASSESSMENT
 "ACCESS REVIEW - BUFFALOE ROAD RALEIGH, NC"
 PREPARED BY RAMEY KEMP & ASSOCIATES, INC.
 DATED: 06/09/2015

GOVERNING AGENCIES

CITY OF RALEIGH PLANNING DEPARTMENT
 1 EXCHANGE PLAZA
 SUITE 304
 RALEIGH, NC 27601
 CONTACT: TRAVIS CRANE
 PHONE: (919) 996-2656
 EMAIL: TRAVIS.CRANE@RALEIGHNC.GOV

NC DEPARTMENT OF HEALTH AND HUMAN SERVICES
 KEVIN DODGE - ENVIRONMENTAL ENGINEER PL-AN REVIEW UNIT
 NCDHHS - ENVIRONMENTAL HEALTH SECTION
 5605 SIX FORKS ROAD
 RALEIGH, NC 27609
 (919) 707-5863 (P)
 kevin.dodge@dhs.nc.gov

UTILITY SERVICE CONTACTS

| SERVICE | UTILITY / GOVERNING AGENCY |
|--------------------------------|---|
| WATER AND SEWER | CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT ONE EXCHANGE PLAZA, 6TH FLOOR RALEIGH, NC 27601 ROBERT MASSENGILL - DIRECTOR PHONE: (919) 996-4540 |
| STORMWATER AND EROSION CONTROL | STORMWATER MANAGEMENT DIVISION 127 W. HARGETT STREET, 8TH FLOOR RALEIGH, NC 27601 PHONE: (919) 996-3940 |
| GAS | PSNG ENERGY 411 FAYETTEVILLE STREET #570 RALEIGH, NC 27601 PHONE: (606) 752-7504 |
| ELECTRIC | DUKE ENERGY 411 FAYETTEVILLE STREET RALEIGH, NC 27601 PHONE: (606) 452-2777 |
| TELEPHONE/CABLE | TIME WARNER CABLE 2505 ATLANTIC AVENUE #101 RALEIGH, NC 27604 PHONE: (919) 595-4892 |

SHEET INDEX

| SHEET TITLE | SHEET NUMBER |
|---------------------------------------|--------------|
| COVER SHEET | C-0.0 |
| GENERAL NOTES | C-0.1 |
| ZONING CONDITIONS SHEET | C-0.2 |
| SURVEY PLAN | 1 OF 1 |
| EXISTING CONDITIONS & DEMOLITION PLAN | C-1.0 |
| SITE PLAN | C-2.0 |
| GRADING & DRAINAGE PLAN | C-3.0 |
| SCM PLAN | C-3.1 |
| UTILITY PLAN | C-4.0 |
| LIGHTING PLAN | C-5.0 |
| NEW HOPE ROAD SIGHT DISTANCE | C-6.0 |
| BUFFALOE ROAD SIGHT DISTANCE | C-6.1 |
| LANDSCAPE PLAN | LA-1 |
| TREE COVER REPORT | LA-2 |
| LANDSCAPE DETAILS | LA-3 |
| BUILDING ELEVATIONS | 2 OF 2 |

REVISIONS

| REV | DATE | COMMENT | BY |
|-----|---------|-------------------|-----|
| 1 | 3/23/17 | PER CITY COMMENTS | SJK |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |
| | | | |



KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG
 It's fast. It's free. It's the law.

NOT APPROVED FOR
 CONSTRUCTION

PROJECT No.: NCR151006
 CHECKED BY: PMA
 DATE: 6/17/16
 SCALE: AS NOTED
 CAD I.D.: SD0

PROJECT:

PROP.
 SITE PLAN
 DOCUMENTS
 FOR
 LIDL US
 OPERATIONS, LLC

LOCATION OF SITE
 4115 BUFFALOE RD
 RALEIGH, NC 27616
 WAKE COUNTY, NORTH CAROLINA



4011 WESTCHASE BLVD., SUITE 290
 RALEIGH, NC 27607
 Phone: (919) 578-9000
 Fax: (919) 703-2665
 NC@BohlerEng.com

SHEET TITLE:

COVER SHEET

SHEET NUMBER:

C-0.0

GENERAL NOTE

IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REVIEW ALL OF THE DRAWINGS AND SPECIFICATIONS ASSOCIATED WITH THIS PROJECT. WORK SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH SPECIFICATIONS AND ANY APPLICABLE CODES. IT IS THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE PROJECT ENGINEER OF RECORD IN WRITING PRIOR TO THE START OF CONSTRUCTION IF FAILURE BY THE CONTRACTOR TO NOTIFY THE PROJECT ENGINEER SHALL CONSTITUTE ACCEPTANCE OF FULL RESPONSIBILITY BY THE CONTRACTOR TO COMPLETE THE SCOPE OF THE WORK AS DEFINED BY THE DRAWINGS AND IN FULL CONFORMANCE WITH LOCAL REGULATIONS AND CODES.

EXISTING CONDITIONS NOTES

- REFER TO GENERAL NOTES SHEET C-0.1
- THIS PLAN REFERENCES DOCUMENTS & INFORMATION BY:
 - "PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY OF MGP SITE- 4115 BUFFALO ROAD" ALLIED ASSOCIATES, P.A. 4720 KESTER MILL ROAD WINSTON-SALEM, NC 27103 DATED: 1/28/16; UPDATED: 12/22/16
- ALL ELEVATIONS ARE IN REFERENCE TO THE CONTROL BENCHMARK AT N757.704878; E2.127.7722808' WITH AN ELEVATION OF 354.92', BASED ON NAD 83 DATUM.
- THERE ARE NO WETLANDS OR STREAMS ON THIS SITE.
- FLOOD NOTE: THIS SITE IS NOT LOCATED IN A FLOOD HAZARD ZONE BASED ON FEMA FIRM MAP NUMBER 3720172500J PANEL 1725 DATED 05/02/06.
- ABANDON ANY WELLS AND SEPTIC TANKS PER WAKE COUNTY GUIDELINES.

GENERAL DEMOLITION NOTES:

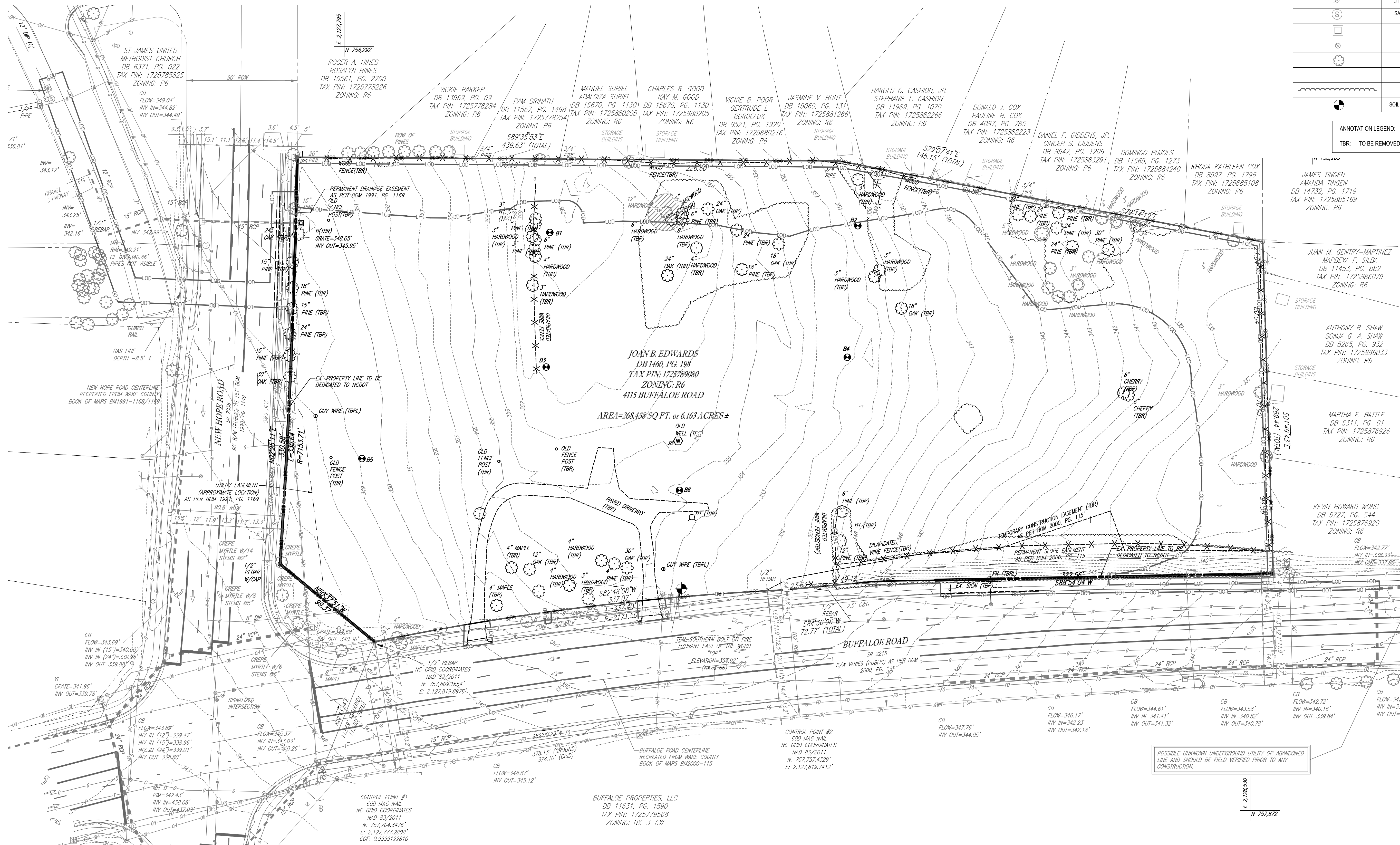
- THIS PLAN REFERENCES DOCUMENTS AND INFORMATION BY:
 - "PARTIAL BOUNDARY AND TOPOGRAPHIC SURVEY OF MGP SITE- 4115 BUFFALO ROAD" ALLIED ASSOCIATES, P.A. 4720 KESTER MILL ROAD WINSTON-SALEM, NC 27103 DATED: 1/28/16; UPDATED: 12/22/16
- CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE OCCUPATIONAL SAFETY AND HEALTH ACT OF 1970, (29 U.S.C. 651 et seq.), AS AMENDED AND ANY MODIFICATIONS, AMENDMENTS OR REVISIONS TO SAME.
- BOHLER ENGINEERING HAS NO CONTRACTUAL, LEGAL, OR OTHER RESPONSIBILITY FOR JOB SITE SAFETY OR JOB SITE SUPERVISION, OR ANYTHING RELATED TO SAME.
- THE DEMOLITION PLAN IS INTENDED TO PROVIDE GENERAL INFORMATION ONLY, REGARDING ITEMS TO BE DEMOLISHED AND/OR REMOVED. THE CONTRACTOR MUST ALSO REVIEW THE OTHER SITE PLAN DRAWINGS AND INCLUDE IN DEMOLITION ACTIVITIES ALL INCIDENTAL WORK NECESSARY FOR THE CONSTRUCTION OF THE NEW SITE IMPROVEMENTS.
- CONTRACTOR MUST RAISE ANY QUESTIONS CONCERNING THE ACCURACY OR INTENT OF THESE PLANS OR SPECIFICATIONS, CONCERNS REGARDING THE APPLICABLE SAFETY STANDARDS, OR THE SAFETY OF THE CONTRACTOR OR THIRD PARTIES IN PERFORMING THE WORK ON THIS PROJECT, WITH BOHLER ENGINEERING, IN WRITING, AND RESPONDED TO BY BOHLER, IN WRITING, PRIOR TO THE INITIATION OF ANY SITE ACTIVITY AND ANY DEMOLITION ACTIVITY. ALL DEMOLITION ACTIVITIES MUST BE PERFORMED IN ACCORDANCE WITH THE REQUIREMENTS OF THESE PLANS AND SPECIFICATIONS AND ALL APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS, RULES, REQUIREMENTS, STATUTES, ORDINANCES AND CODES.
- PRIOR TO STARTING ANY DEMOLITION, CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS AND MAINTAINING THE SAME ON SITE FOR REVIEW BY THE ENGINEER AND OTHER PUBLIC AGENCIES HAVING JURISDICTION THROUGHOUT THE DURATION OF THE PROJECT, SITE WORK AND DEMOLITION WORK.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES AS INDICATED ON THE PLAN IS APPROXIMATE. FIELD LOCATE ALL UNDERGROUND EXISTING UTILITIES LOCATED IN THE AREA OF WORK PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CALL "NO ONE CALL" PRIOR TO CONSTRUCTION FOR ASSISTANCE IN LOCATING EXISTING UNDERGROUND UTILITIES. SUBSURFACE FEATURES ARE SHOWN IN AN APPROXIMATE LOCATION. CONTRACTOR IS RESPONSIBLE FOR SUBSURFACE UTILITY EXPLORATION TO DETERMINE UNDERGROUND UTILITY LOCATIONS AND DEPTH.
- ALL SIDEWALKS AND CURB AND GUTTER SECTIONS SHALL BE REMOVED BY SAWCUTTING THE NEAREST CONTROL JOINT AWAY FROM THE LOCATION DESIGNATED FOR REMOVAL ON THE PLANS. EXISTING PAVEMENT SHALL BE SAWCUT IN ALL LOCATIONS WHERE ABUTTING NEW PAVEMENT OR CONCRETE.
- COORDINATE ALL UTILITY REMOVAL, RELOCATION, & ABANDONMENT WITH THE APPROPRIATE UTILITY SERVICE PROVIDER. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL UTILITY SERVICES TO ADJACENT PROPERTIES DURING ALL PHASES OF CONSTRUCTION.

DEMOLITION LEGEND

| EXISTING NOTE | TYPICAL NOTE TEXT | DEMOLITION NOTE |
|---------------|------------------------|-----------------|
| --- | PROPERTY LINE | --- |
| --- | ADJACENT LOT LINE | --- |
| --- | CONCRETE CURB & GUTTER | ===== |
| --- | SAWCUT LINE | --- |
| X-X-X-X | WIRE FENCE | X-X-X-X |
| --- | UNDERGROUND WATER LINE | --- |
| --- | UNDERGROUND GAS LINE | --- |
| --- | OVERHEAD WIRE | --- |
| --- | ELECTRIC LINE | --- |
| --- | UNDERGROUND TELEPHONE | --- |
| --- | STORM SEWER | ----- |
| --- | SANITARY SEWER MAIN | --- |
| --- | HYDRANT | ⊗ |
| --- | UTILITY POLE/LIGHT | ⊗ |
| --- | SANITARY MANHOLE | ⊗ |
| --- | STORM INLET | ⊗ |
| --- | WATER VALVE | ⊗ |
| --- | TREE | ⊗ |
| --- | GUY WIRE | ⊗ |
| --- | TREELINE | --- |
| --- | SOIL BORING LOCATION | ⊗ |

ANNOTATION LEGEND:

TBR: TO BE REMOVED



BOHLER ENGINEERING NC, PLLC

LAND SURVEYING • CIVIL ENGINEERING • ENVIRONMENTAL ARCHITECTURE • SUSTAINABLE DESIGN • PROGRAM MANAGEMENT • TRANSPORTATION SERVICES

RALEIGH, NC • WASHINGTON, DC • CHARLOTTE, NC • FAYETTEVILLE, NC • HIGH POINT, NC • ROSELAND, NC • TAMPA, FL • ATLANTA, GEORGIA • BALTIMORE, MD • BOSTON, MA • CHICAGO, IL • DENVER, CO • HOUSTON, TX • LOS ANGELES, CA • MIAMI, FL • NEW YORK, NY • PHILADELPHIA, PA • RICHMOND, VA • WASHINGTON, DC

REVISIONS

| REV | DATE | COMMENT | BY |
|-----|---------|-------------------|-----|
| 1 | 3/23/17 | PER CITY COMMENTS | SJK |

811

KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG

It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: NCR151006
DRAWN BY: PMA
CHECKED BY: MAR
DATE: 6/11/16
SCALE: 1" = 40'
CAD I.D.: SSO

PROP. SITE PLAN DOCUMENTS FOR LIDL US OPERATIONS, LLC

LOCATION OF SITE
4115 BUFFALO RD
RALEIGH, NC 27616
WAKE COUNTY, NORTH CAROLINA

BOHLER ENGINEERING NC, PLLC

4011 WESTCHASE BLVD., SUITE 290
RALEIGH, NC 27607
Phone: (919) 578-9000
Fax: (919) 703-2665
NC@BohlerEng.com

EXISTING CONDITIONS & DEMOLITION PLAN

SHEET NUMBER:
C-1.0



| PAVEMENT LEGEND | |
|-----------------|--|
| | DELINEATES PROPOSED HEAVY DUTY ASPHALT PAVEMENT |
| | DELINEATES PROPOSED STANDARD DUTY ASPHALT PAVEMENT |
| | DELINEATES PROPOSED CONCRETE SIDEWALK |
| | DELINEATES PROPOSED STANDARD DUTY CONCRETE |
| | DELINEATES PROPOSED HEAVY DUTY CONCRETE PAVEMENT* |

(*) CONCRETE JOINTING AND FILLERS TO BE COMPLETED PER DETAIL AND SPECIFICATIONS.

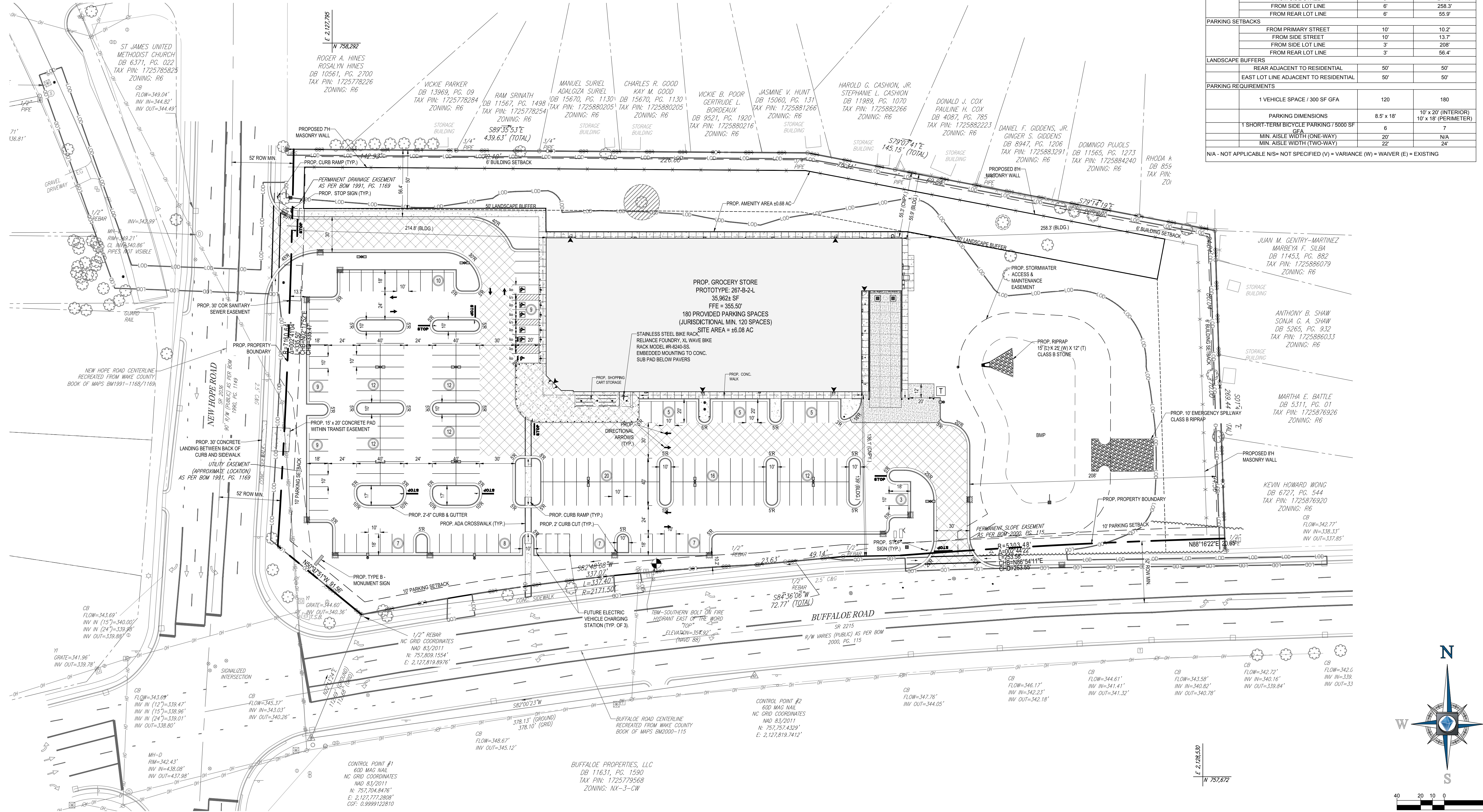
| GRAPHIC LEGEND | | |
|----------------|--------------------------------|---------------|
| EXISTING NOTE | TYPICAL NOTE TEXT | PROPOSED NOTE |
| | PROPERTY/LEASE LINE | |
| | ADJACENT LOT LINE | |
| | BUILDING OR PARKING SETBACK | |
| | CURB & GUTTER | |
| | FLUSH CURB | |
| | PARKING COUNT | |
| | ELEC. TRANSFORMER ON CONC. PAD | |
| | PAVEMENT STRIPING - 4" SSYL | |
| | STOP SIGN | |
| | ADA ACCESSIBLE PARKING SIGN | |
| | PAINTED STOP BAR | |
| | TREE | |

LAND USE AND ZONING INFORMATION AND NOTES:

- REFER TO GENERAL NOTES SHEET C-0.1
- SURVEYOR: ALLIED ASSOCIATES, P.A. 4720 KESTER MILL ROAD WINSTON-SALEM, NC 27103
- APPLICANT: LIDL US OPERATIONS, LLC 1500 SUNDAY DRIVE, STE. 101 RALEIGH, NC 27607
- OWNER: JOAN B EDWARDS 5119 EAGLES LANDING DR. RALEIGH, NC 27616
- PARCEL: 1725789080 RALEIGH WAKE COUNTY, NORTH CAROLINA EXISTING AREA: 6.16 AC PROPOSED AREA: 6.16 AC
- ZONED: R-6 (RESIDENTIAL) NEIGHBORHOOD MIXED USE (NX) UNDER FUTURE REZONING PER BUFFALO-NEW HOPE AREA PLAN UPDATED APRIL 2015 USE: GROCERY/RETAIL SALES (REZONING REQUIRED)
- ALL DIMENSIONS ARE SHOWN FROM FACE OF CURB TO FACE OF CURB UNLESS OTHERWISE NOTED.
- 50' LANDSCAPE BUFFER REQUIRED ON SIDES ADJACENT TO RESIDENTIAL ZONING

| BULK REQUIREMENTS: | REQUIRED | PROPOSED |
|--|------------|----------------------|
| GROCERY STORE SITE | N/A | 6.08 AC |
| TOTAL AREA | N/A | 6.08 AC |
| BUILDING/STRUCTURE SETBACKS | | |
| FROM PRIMARY STREET | 5' | 138' |
| FROM SIDE STREET | 5' | 214.8' |
| FROM SIDE LOT LINE | 6' | 258.3' |
| FROM REAR LOT LINE | 6' | 55.9' |
| PARKING SETBACKS | | |
| FROM PRIMARY STREET | 10' | 10.2' |
| FROM SIDE STREET | 10' | 13.7' |
| FROM SIDE LOT LINE | 3' | 208' |
| FROM REAR LOT LINE | 3' | 56.4' |
| LANDSCAPE BUFFERS | | |
| REAR ADJACENT TO RESIDENTIAL | 50' | 50' |
| EAST LOT LINE ADJACENT TO RESIDENTIAL | 50' | 50' |
| PARKING REQUIREMENTS | | |
| 1 VEHICLE SPACE / 300 SF GFA | 120 | 180 |
| PARKING DIMENSIONS | 8.5' x 18' | 10' x 20' (INTERIOR) |
| 1 SHORT-TERM BICYCLE PARKING / 5000 SF GFA | 6 | 7 |
| MIN. AISLE WIDTH (ONE-WAY) | 20' | N/A |
| MIN. AISLE WIDTH (TWO-WAY) | 22' | 24' |

N/A - NOT APPLICABLE N/S - NOT SPECIFIED (V) = VARIANCE (W) = WAIVER (E) = EXISTING



BOHLER ENGINEERING NC, PLLC
 4011 WESTCHASE BLVD., SUITE 290
 RALEIGH, NC 27607
 Phone: (919) 703-2665
 Fax: (919) 703-2665
 NC@BohlerEng.com

LAND SURVEYING, ENGINEERING, ARCHITECTURE, PLANNING, PROGRAM MANAGEMENT, TRANSPORTATION SERVICES, SUSTAINABLE DESIGN, PERMITTING SERVICES, LANDSCAPE ARCHITECTURE

RALEIGH, NC
 LEHIGH VALLEY, PA
 CHARLOTTE, NC
 ATLANTA, GA
 TAMPA, FL
 SOUTH FLOIDA
 BALTIMORE, MD
 NEW YORK, NY
 NEW JERSEY
 PHILADELPHIA, PA

| REVISIONS | | | |
|-----------|---------|-------------------|-----|
| REV | DATE | COMMENT | BY |
| 1 | 3/23/17 | PER CITY COMMENTS | SIK |

811
 KNOW WHAT'S BELOW
 ALWAYS CALL 811
 BEFORE YOU DIG
 It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

PROJECT No.: NCR151006
 DRAWN BY: PMA
 CHECKED BY: MAR
 DATE: 6/17/16
 SCALE: 1" = 40'
 CAD I.D.: SSO

PROJECT: **PROP. SITE PLAN DOCUMENTS FOR LIDL US OPERATIONS, LLC**

LOCATION OF SITE
 4115 BUFFALO RD
 RALEIGH, NC 27616
 WAKE COUNTY, NORTH CAROLINA

BOHLER ENGINEERING NC, PLLC
 4011 WESTCHASE BLVD., SUITE 290
 RALEIGH, NC 27607
 Phone: (919) 703-2665
 Fax: (919) 703-2665
 NC@BohlerEng.com

SHEET TITLE: **SITE PLAN**

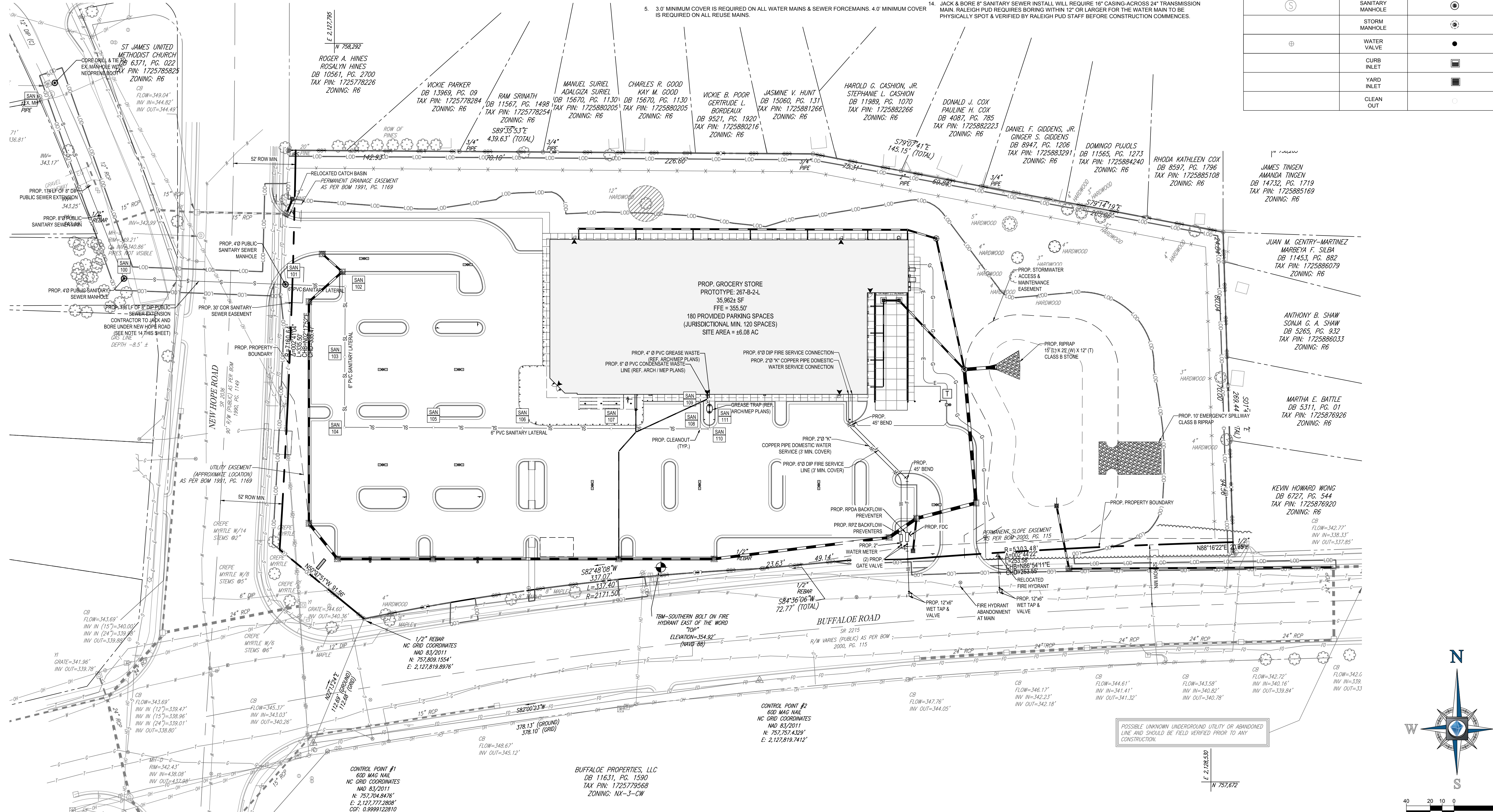
SHEET NUMBER: **C-2.0**

CITY OF RALEIGH STANDARD UTILITY NOTES:

- ALL MATERIALS & CONSTRUCTION METHODS SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH DESIGN STANDARDS, DETAILS & SPECIFICATIONS (REFERENCE: CORPUD HANDBOOK, CURRENT EDITION).
- UTILITY SEPARATION REQUIREMENTS:
 - A DISTANCE OF 100" SHALL BE MAINTAINED BETWEEN SANITARY SEWER & ANY PRIVATE OR PUBLIC WATER SUPPLY SOURCE SUCH AS AN IMPOUNDED RESERVOIR USED AS A SOURCE OF DRINKING WATER. IF ADEQUATE LATERAL SEPARATION CANNOT BE ACHIEVED, FERROUS SANITARY SEWER PIPE SHALL BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS. HOWEVER, THE MINIMUM SEPARATION SHALL NOT BE LESS THAN 25" FROM A PRIVATE WELL OR 50" FROM A PUBLIC WELL.
 - WHEN INSTALLING WATER & OR SEWER MAINS, THE HORIZONTAL SEPARATION BETWEEN UTILITIES SHALL BE 10" IF THIS SEPARATION CANNOT BE MAINTAINED DUE TO EXISTING CONDITIONS. THE VARIATION ALLOWED IS THE WATER MAIN IN A SEPARATE TRENCH WITH THE ELEVATION OF THE WATER MAIN AT LEAST 18" ABOVE THE TOP OF THE SEWER & MUST BE APPROVED BY THE PUBLIC UTILITIES DIRECTOR. ALL DISTANCES ARE MEASURED FROM OUTSIDE DIAMETER TO OUTSIDE DIAMETER.
 - WHERE IT IS IMPOSSIBLE TO OBTAIN PROPER SEPARATION, OR ANYTIME A SANITARY SEWER PASSES OVER A WATERMAIN, DIP MATERIALS OR STEEL ENCASEMENT EXTENDED 10" ON EACH SIDE OF CROSSING MUST BE SPECIFIED & INSTALLED TO WATERLINE SPECIFICATIONS.
 - 5.0' MINIMUM HORIZONTAL SEPARATION IS REQUIRED BETWEEN ALL SANITARY SEWER & STORM SEWER FACILITIES, UNLESS DIP MATERIAL IS SPECIFIED FOR SANITARY SEWER.
 - MAINTAIN 18" MIN. VERTICAL SEPARATION AT ALL WATERMAIN & RCP STORM DRAIN CROSSINGS; MAINTAIN 24" MIN. VERTICAL SEPARATION AT ALL SANITARY SEWER & RCP STORM DRAIN CROSSINGS, WHERE ADEQUATE SEPARATIONS CANNOT BE ACHIEVED, SPECIFY DIP MATERIALS & A CONCRETE CRADLE HAVING 6" MIN. CLEARANCE (PER CORPUD DETAILS W-41 & S-49).
 - ALL OTHER UNDERGROUND UTILITIES SHALL CROSS WATER & SEWER FACILITIES WITH 18" MIN. VERTICAL SEPARATION REQUIRED.
- ANY NECESSARY FIELD REVISIONS ARE SUBJECT TO REVIEW & APPROVAL OF AN AMENDED PLAN & OR PROFILE BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN CONTINUOUS WATER & SEWER SERVICE TO EXISTING RESIDENCES & BUSINESSES THROUGHOUT CONSTRUCTION OF PROJECT. ANY NECESSARY SERVICE INTERRUPTIONS SHALL BE PRECEDED BY A 24 HOUR ADVANCE NOTICE TO THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT.
- 3.0' MINIMUM COVER IS REQUIRED ON ALL WATER MAINS & SEWER FORCE MAINS. 4.0' MINIMUM COVER IS REQUIRED ON ALL REUSE MAINS.
- IT IS THE DEVELOPER'S RESPONSIBILITY TO ABANDON OR REMOVE EXISTING WATER & SEWER SERVICES NOT BEING USED IN REDEVELOPMENT OF A SITE UNLESS OTHERWISE DIRECTED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT. THIS INCLUDES ABANDONING TAP AT MAIN & REMOVAL OF SERVICE FROM ROW OR EASEMENT PER CORPUD HANDBOOK PROCEDURE.
- INSTALL 2" COPPER WATER SERVICES WITH METER LOCATED AT ROW OR WITHIN A 2'X2' WATERLINE EASEMENT IMMEDIATELY ADJACENT. NOTE: IT IS THE APPLICANT'S RESPONSIBILITY TO PROPERLY SIZE THE WATER SERVICES FOR EACH CONNECTION TO PROVIDE ADEQUATE FLOW & PRESSURE.
- INSTALL 6" PVC SEWER SERVICES @ 1% MINIMUM GRADE WITH CLEANOUTS LOCATED AT ROW OR EASEMENT LINE & SPACED EVERY 75' LINEAR FEET MAXIMUM.
- PRESSURE REDUCING VALVES ARE REQUIRED ON ALL WATER SERVICES EXCEEDING 80 PSI. BACKWATER VALVES ARE REQUIRED ON ALL SANITARY SEWER SERVICES HAVING BUILDING DRAINS LOWER THAN 1.0' ABOVE THE NEXT UPSTREAM MANHOLE.
- ALL ENVIRONMENTAL PERMITS APPLICABLE TO THE PROJECT MUST BE OBTAINED FROM NCDWQ, USACE & OR FEMA FOR ANY RIPARIAN BUFFER, WETLAND & OR FLOODPLAIN IMPACTS (RESPECTIVELY) PRIOR TO CONSTRUCTION.
- NCDOT / RAILROAD ENCROACHMENT AGREEMENTS ARE REQUIRED FOR ANY UTILITY WORK (INCLUDING MAIN EXTENSIONS & SERVICE TAPS) WITHIN STATE OR RAILROAD ROW PRIOR TO CONSTRUCTION.
- GREASE INTERCEPTOR / OIL WATER SEPARATOR SIZING CALCULATIONS & INSTALLATIONS SPECIFICATIONS SHALL BE APPROVED BY THE CORPUD FOG PROGRAM COORDINATOR PRIOR TO ISSUANCE OF A BUILDING PERMIT. CONTACT TIME BEASLEY AT (919) 996-2334 OR TIMOTHY.BEASLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- CROSS-CONNECTION CONTROL PROTECTION DEVICES ARE REQUIRED BASED ON DEGREE OF HEALTH HAZARD INVOLVED AS LISTED IN APPENDIX B OF THE RULES GOVERNING PUBLIC WATER SYSTEMS IN NORTH CAROLINA. THESE GUIDELINES ARE THE MINIMUM REQUIREMENTS. THE DEVICES SHALL MEET AMERICAN SOCIETY OF SANITARY ENGINEERING (ASSE) STANDARDS OR BE ON THE UNIVERSITY OF SOUTHERN CALIFORNIA APPROVAL LIST. THE DEVICES SHALL BE INSTALLED AND TESTED (BOTH INITIAL AND PERIODIC TESTING THEREAFTER) IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS OR THE LOCAL CROSS-CONNECTION CONTROL PROGRAM, WHICHEVER IS MORE STRINGENT. CONTACT JOANIE HARTLEY AT (919) 996-5923 OR JOANIE.HARTLEY@RALEIGHNC.GOV FOR MORE INFORMATION.
- JACK & BORE 8" SANITARY SEWER INSTALL WILL REQUIRE 16" CASING ACROSS 24" TRANSMISSION MAIN. RALEIGH PUD REQUIRES BORING WITHIN 12" OR LARGER FOR THE WATER MAIN TO BE PHYSICALLY SPOT & VERIFIED BY RALEIGH PUD STAFF BEFORE CONSTRUCTION COMMENCES.

UTILITY LEGEND

| EXISTING NOTE | TYPICAL NOTE TEXT | PROPOSED NOTE |
|---------------|----------------------------|---------------|
| | UNDERGROUND WATER LINE | W-W |
| | UNDERGROUND FIRE LINE | F-F |
| | UNDERGROUND ELECTRIC LINE | E-E |
| | UNDERGROUND GAS LINE | G-G |
| | OVERHEAD WIRE | OH-OH |
| | UNDERGROUND TELEPHONE LINE | T-T |
| | FIBEROPTIC CABLE | FO-FO |
| | STORM SEWER | SS-SS |
| | SANITARY SEWER MAIN | S-S |
| | SANITARY SEWER LATERAL | SL-SL |
| | FIRE DEPARTMENT CONNECTION | FD-FD |
| | SANITARY MANHOLE | SM |
| | STORM MANHOLE | SMH |
| | WATER VALVE | WV |
| | CURB INLET | CI |
| | YARD INLET | YI |
| | CLEAN OUT | CO |



BOHLER ENGINEERING NC, PLLC

STATE OF NORTH CAROLINA LICENSED PROFESSIONAL ENGINEERS ARCHITECTURE

LAND SURVEYING PROGRAM MANAGER SERVICES TRANSPORTATION SERVICES

SUSTAINABLE DESIGN PERMITTING SERVICES

RALEIGH, NC
LEHIGH VALLEY, PA
RICHMOND, VA
ROCKFORD, IL
TAMPA, FL
ATLANTA, GA
BIRMINGHAM, AL
BALTIMORE, MD
NEW YORK, NY
PHILADELPHIA, PA
NORTH CAROLINA
SOUTH CAROLINA
VIRGINIA

REVISIONS

| REV | DATE | COMMENT | BY |
|-----|---------|-------------------|-----|
| 1 | 3/23/17 | PER CITY COMMENTS | SJK |

811

KNOW WHAT'S BELOW
ALWAYS CALL 811
BEFORE YOU DIG

It's fast. It's free. It's the law.

NOT APPROVED FOR CONSTRUCTION

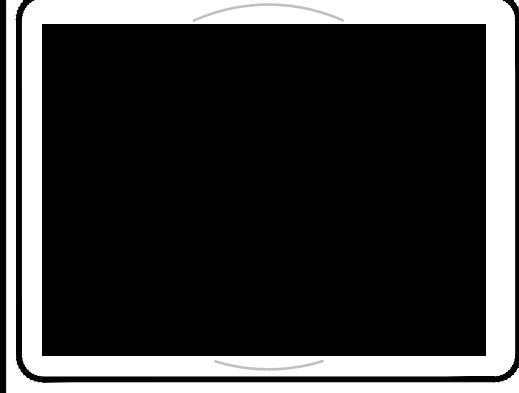
PROJECT No.: NCR151006
DRAWN BY: PMA
CHECKED BY: MAR
DATE: 6/17/16
SCALE: 1" = 40'
CAD I.D.: SSD

PROP. SITE PLAN DOCUMENTS FOR LIDL US OPERATIONS, LLC

LOCATION OF SITE
4115 BUFFALO RD
RALEIGH, NC 27616
WAKE COUNTY, NORTH CAROLINA

BOHLER ENGINEERING NC, PLLC

4011 WESTCHASE BLVD., SUITE 290
RALEIGH, NC 27607
Phone: (919) 578-9000
Fax: (919) 703-2665
NC@BohlerEng.com



SHEET TITLE:
UTILITY PLAN

SHEET NUMBER:
C-4.0

CONTROL POINT #1
600 MAG NAIL
NC GRID COORDINATES
NAD 83/2011
N: 757,704.9478'
E: 2,127,772.2808'
COF: 0.9999122810

CONTROL POINT #2
600 MAG NAIL
NC GRID COORDINATES
NAD 83/2011
N: 757,751.4289'
E: 2,127,819.7412'

BUFFALO PROPERTIES, LLC
DB 11631, PG. 1590
TAX PIN: 1725779568
ZONING: NX-3-CW

