



## Administrative Action Administrative Site Review

City of Raleigh  
Development Plans Review Center  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2626  
www.raleighnc.gov

**Case File / Name:** SR-19-17 / Sunnybrook Apartments

**General Location:** The site is located on the west side of Sunnybrook Road, between Sungate Boulevard and Winslow Ridge Drive. Portions of this site are inside and outside the city limits.

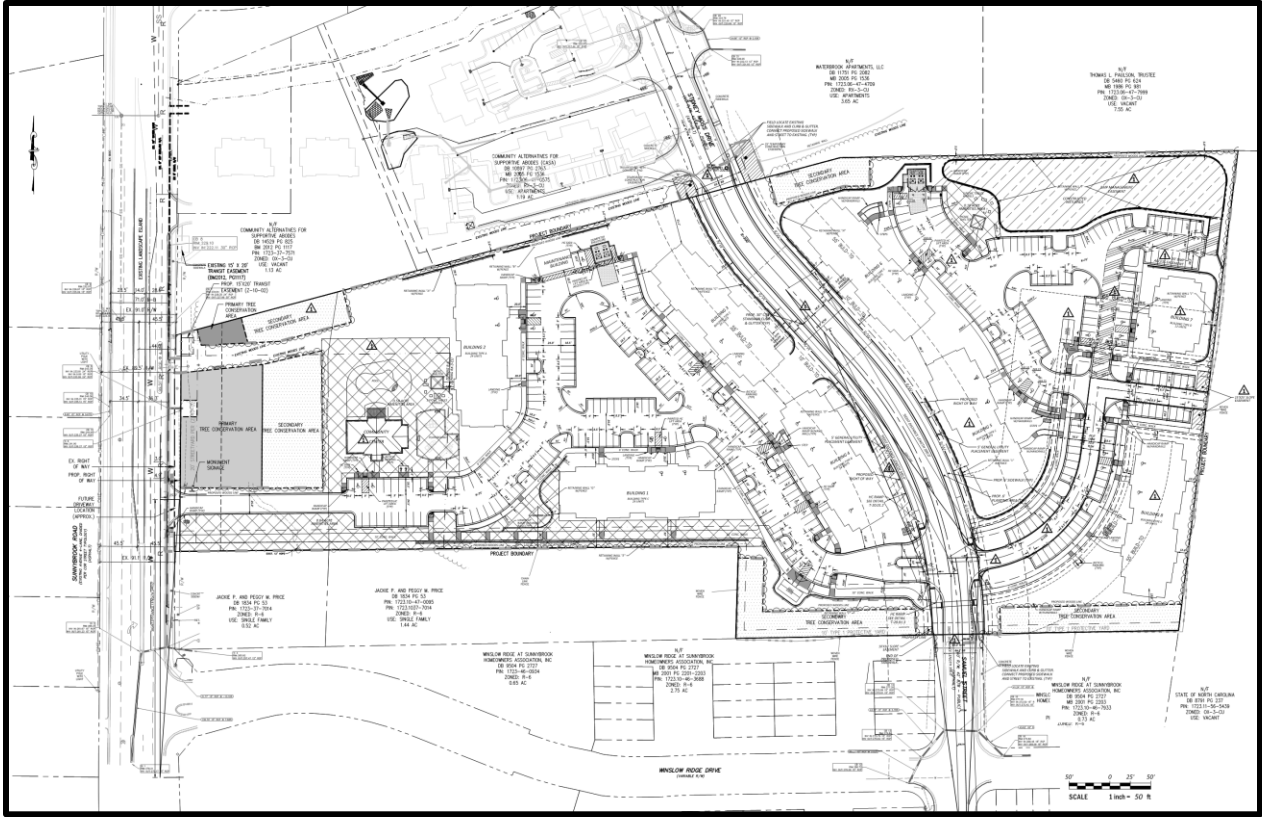
**CAC:** Southeast

**Request:** Development of three tracts totaling 13.31 acres into eight, three-story apartment buildings with associated clubhouse and amenities, containing 180 units and 257,250 square feet of building space. This site is zoned R-6 and RX-3-CU. All residential units are within the portion zoned RX-3-CU.

**Cross-Reference:** Z-10-02, S-56-16 (This subdivision to create tracts for this development has not been recorded at the time of this plan approval)



SR-19-17 Location Map



SR-19-17 Preliminary Site Plan

<b>Code Conformance:</b>		<b>Code Section(s)</b>
<b>Zoning District:</b>	RX-3-CU/R-6 All dwellings are within the portion of the site zoned RX-3-CU	<a href="#">2.1</a> , <a href="#">3.1</a>
<b>Overlay District:</b>	N/A	<a href="#">5.1</a>
<b>Parking:</b>	198 spaces required for the apartments based on 1 space/affordable housing unit plus 1 space/10 visitors units. Additional parking at 1 space/300 square feet required for the community center (indoor recreation use). Total of 331 spaces provided. Bicycle parking provided per code.	<a href="#">7.1.2</a>
<b>Street Type(s):</b>	Sunnybrook Road: Existing Avenue 4-Lane, divided Stony Moss Drive Ext.: Avenue 2-Lane, Undivided Proposed Street to be named: Multifamily Street	<a href="#">8.4</a>
<b>Streetscape:</b>	Residential streetscape approved with subdivision S-56-16	<a href="#">8.5</a>
<b>Setbacks/Frontage:</b>	Site complies with setbacks and build-to requirements for apartment building types in compliance with Section 3.2.4 and for the community center (recreational use related to a residential development) in the R-6 District in compliance with Section 2.2.	<a href="#">3.4</a> , <a href="#">3.2</a> , <a href="#">2.2</a>
<b>Neighborhood Transitions:</b>	Transition required along the southern property line adjacent to R-6 zoned property. Only the Zone A protective yard applies as this is an RX zoned property with a 3-story height limit proposed for apartments (3.5.1.C).	<a href="#">3.5</a>
<b>Transitional Protective Yards:</b>	N/A ; Not required for this use	<a href="#">7.2.4</a>
<b>Stormwater:</b>	This development will utilize a shared constructed wetland and nitrogen buydown for stormwater quality and quantity compliance.	<a href="#">9.2</a>
<b>Tree Conservation:</b>	This site is providing tree conservation area in accordance with Article 9.1 as shown on the subdivision plan for this property, S-56-16.	<a href="#">9.1</a>
<b>Variances, Design Adjustments, Administrative Alternates:</b>	A variance was granted by the Board of Adjustment (Case A-86-17) for relief to the minimum ground floor elevation requirements of 3.2.4.F.1. Note a Design Adjustment for use of existing trees along Sunnybrook Road to meet street tree requirements was approved with the corresponding subdivision case S-56-16.	

Other:	N/A	
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**OFFICIAL ACTION: Approval with conditions**

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**CONDITIONS OF APPROVAL:**

**Prior to issuance of a land disturbing permit for the site:**

1. That a final tree conservation plan with permit be approved by the Forestry Specialist. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas;
2. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

**Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:**

3. That concurrent review drawings for the subdivision of this property, Case S-56-16, are approved and the subdivision is recorded in accordance with the approved subdivision plan and conditions (S-56-16), and a copy of the recorded subdivision plat is returned to the city prior to issuance of any site related permits;

**Prior to issuance of building permits:**

4. That an encroachment agreement for any stormwater drainage systems that carry private drainage to be located within the public right-of-way is approved by the City Council by separate action. An application for encroachment into the public right of way for the landscaping located within the right of way as indicated on the preliminary plan, shall be submitted to the City's Encroachment Coordinator in the Development Services Department for review, and that the City Council approve the encroachment request. Following City Council approval of the encroachment, an encroachment agreement, prepared in accordance with Raleigh City Code Sections 12-1001 and 12-1021(a), shall be filed with the Development Services Department, and the encroachment agreement is to be recorded with the Wake County Register of Deeds. Maintenance of the encroachment shall be the responsibility of the owner;
5. That all conditions of Z-10-02 are complied with;

**Prior to issuance of building occupancy permit:**

6. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any stormwater control device shall be reviewed and accepted by the City prior to final stormwater inspection approval or certificate.



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I hereby certify this administrative decision.

**Signed:** (Planning Dir.) Justin Rametta Date: 1/25/18

**Staff Coordinator:** Justin Rametta

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

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**FINDINGS:** City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 2/13/17, submitted by Rivers and Associates.

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**EXPIRATION DATES:** **The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan.** If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 8/3/2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

**WHAT NEXT?:**

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS. Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.

- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.



SITE DATA

Table with 4 columns: PIN, REAL ESTATE ID, AREA WITHIN CONSTRUCTION LIMITS ZONED, MINIMUM SETBACK, BUILD TO, SIDE STREET, SIDE LOT, REAR LOT, MAXIMUM BUILDING HEIGHT.

Table with 2 columns: IMPERVIOUS AREAS, BUILDING FOOTPRINT, FIRST FLOOR, SECOND FLOOR, THIRD FLOOR, ASPHALT, CONCRETE WALKS, TOTAL IMPERVIOUS AREA.

PARKING REQUIREMENTS (RALEIGH) (SEC. 7.1.2.C) USE - MULTIFAMILY

REQUIRED PARKING: (SEC 7.1.4.B-AFFORDABLE HOUSING) (1 Unit = 1 SPACE REQUIRED) 180 X 1 = 180 (VISITORS = 1 SPACE / 10 UNITS) 180 X 0.1 = 18 TOTAL PARKING SPACES REQUIRED = 198

TOTAL PARKING PROVIDED = 331 SPACES REQUIRED HC PARKING: (1/HC UNIT + 5% REMAINING UNITS) 16 + 44 X .05 = 19 SPACES PROVIDED HC PARKING = 24 SPACES

REQUIRED BICYCLE PARKING: (SHORT TERM) (1 / 20 UNITS) 180 X .05 = 9 PROVIDED BICYCLE PARKING = 12

BLOCK PERIMETER LENGTH = 'XXX' ALLOWABLE = 'XXXX'

BLOCK PERIMETER LENGTH = 'XXX' ALLOWABLE = 'XXXX'

OUTDOOR AMENITY AREA REQUIRED = (10% OF SITE) 13.3 X .10 = 1.33 ACRES PROVIDED = 1.33 ACRES

REFERENCES:

M.B. 2007 PG. 381

NOTE: PARCELS 1723-47-4286, 1723-37-6197, 1723-37-7219, 1723-37-8197 & 1723-37-8299 SHALL BE RECOMBINED INTO ONE PARCEL PRIOR TO ISSUANCE OF BUILDING PERMIT FROM THE CITY OF RALEIGH. (RSDM SECT 5-8.1, 5.9A)

GENERAL NOTES

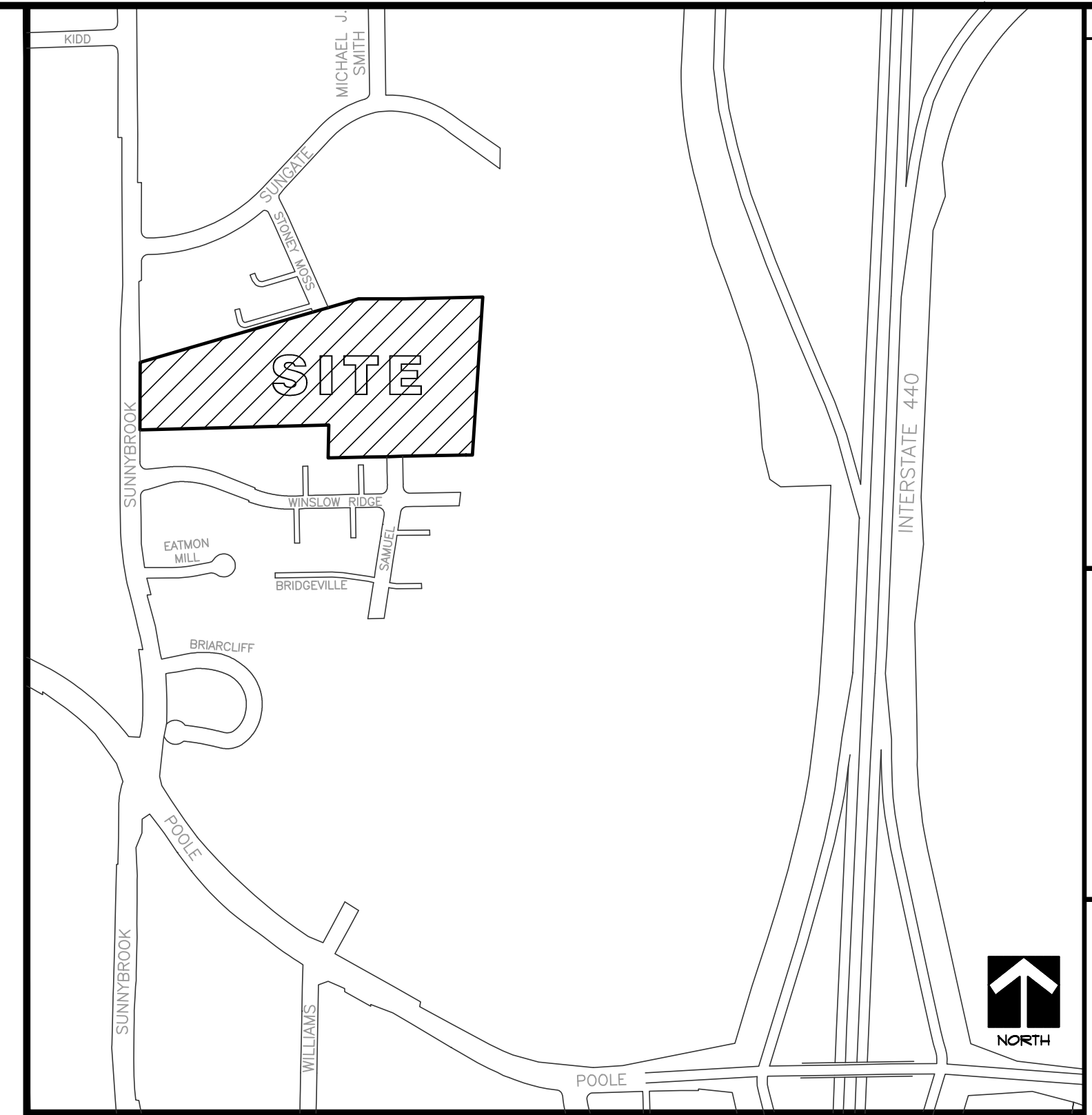
- 1. PROPOSED USES SHALL COMPLY WITH CITY OF RALEIGH ZONING REGULATIONS FOR RX-3-CU ZONING DISTRICT.
2. PAVED AREAS SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY EXCEPT FOR THE TOP 6" OF SUBGRADE WHICH SHALL BE COMPACTED TO 100% MAXIMUM DRY DENSITY IN ACCORDANCE WITH AASHTO-199.
3. AGGREGATE BASE COURSE SHALL BE TYPE ABC CONFORMING TO SECTION 529 OF THE NCDOT STANDARD SPECIFICATIONS.
4. BITUMINOUS CONCRETE SURFACE COURSE SHALL BE TYPE SP.95 CONFORMING TO SECTION 645 OF THE NCDOT STANDARD SPECIFICATIONS.
5. ALL MATERIALS AND INSTALLATION METHODS FOR WATER SYSTEM SHALL MEET THE MINIMUM REQUIREMENTS OF THE CITY OF RALEIGH SPECIFICATIONS FOR DESIGN AND CONSTRUCTION OF WATER SYSTEM EXTENSIONS.
6. ALL MATERIALS AND INSTALLATION METHODS FOR SANITARY SEWER SYSTEM SHALL MEET THE MINIMUM REQUIREMENTS OF THE CITY OF RALEIGH SPECIFICATIONS.
7. CONTRACTOR(S) SHALL VERIFY ALL EXISTING AND PROPOSED INVERTS IN THE CONSTRUCTION AREA AND NOTIFY THE ENGINEER OF ANY CONFLICTS PRIOR TO ANY INSTALLATION OF UTILITIES.
8. PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
9. PROVIDE EXTERIOR CONCRETE WALLS AND CONCRETE AREAS WITH EXPANSION AND SCORED JOINTS IN PRE-APPROVED LOCATIONS. EXPANSION JOINTS SHALL BE 1/2" WIDE WITH EDGES TOoled TO 1/8" RAD. AND FILLED WITH HOT RUBBER ASPHALT SEALANT. PROVIDE ALL CORNERS, INTERSECTIONS, CHANGES IN SLOPE OR DIRECTION, AGAINST EXISTING OR NEW WALLS OR PAVEMENTS, AND AT INTERVALS NOT TO EXCEED 30'. SCORED JOINTS SHALL BE SCORED 1" DEEP MINIMUM AND RADIUS 1/8", AND SHALL BE PLACED AT INTERVALS NOT TO EXCEED 5 FEET.
10. EACH PRIME CONTRACTOR PERFORMING EXCAVATIONS OR UNDERGROUND WORK SHALL BE RESPONSIBLE FOR THE LOCATION OF ANY EXISTING UTILITIES IN THE AREA OF THEIR WORK, NOTIFY THE UTILITY LOCATOR SERVICE (1-800-632-4949) AT LEAST 48 HOURS PRIOR TO COMMENCING CONSTRUCTION IN ORDER THAT EXISTING UTILITIES IN THE AREA MAY BE FLAGGED AND STAKED. CONTRACTOR SHALL USE ALL CARE NECESSARY WHEN WORKING IN AREAS KNOWN OR SUSPECTED TO CONTAIN UNDERGROUND UTILITIES, INCLUDING HAND DIGGING.
11. AN APPROVED STORM WATER MANAGEMENT PLAN IS REQUIRED.
12. NCDOT DRIVEWAY PERMIT IS NOT REQUIRED.
13. AN APPROVED EROSION AND SEDIMENTATION CONTROL PLAN IS REQUIRED.
14. A LANDSCAPING PLAN INDICATING REQUIREMENTS AND LOCATION OF PROPOSED LANDSCAPING WILL BE SUBMITTED TO THE CITY OF RALEIGH PLANNING DEPARTMENT FOR REVIEW AND APPROVAL.
15. ALL APARTMENT BUILDINGS SHALL INCLUDE A FIRE SPRINKLER SYSTEM RATED NFPA 13 AND THE NEW AND EXISTING FIRE HYDRANTS SHOWN ON THIS PLAN HAVE OR SHALL BE INSTALLED THAT NO PORTION OF BUILDING(S) LOCATED FURTHER THAN 600' FROM THE HYDRANT AS THE HOSE IS LAID.
16. CITY OF RALEIGH UTILITIES POINT OF SERVICE FOR WATER SHALL BE AT THE WATER METER LOCATED AT THE RIGHT-OF-WAY OR AT THE EDGE OF THE WATERLINE EASEMENT.
17. NEW BUILDING CONSTRUCTION MUST COMPLY WITH ALL APPLICABLE BUILDING CODES.
18. SITE SHALL MEET ALL ACCESSIBILITY REQUIREMENTS OF THE NC BUILDING CODE VOL. 1-C, DEPT. OF INSURANCE APPROVAL OF CONSTRUCTION PLANS.
19. NO WETLANDS EXIST WITHIN THE CONSTRUCTION LIMITS OF THIS PROPERTY.
20. ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET THE CITY OF RALEIGH AND/OR NCDOT STANDARDS.
21. ALL SIGNS AND PAVEMENT MARKINGS IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET THE LATEST VERSION AND/OR INTERPRETATION OF THE MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
22. ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER AND IN ACCORDANCE WITH MUTCD STANDARDS.
23. ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN THE PARKING AREAS SHALL BE WHITE.
24. ALL PAVEMENT MARKINGS FOR PARKING SPACES AND CROSSINGS SHALL BE 4" SOLID WHITE STRIPES.
25. A PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY OF RALEIGH ROADWAY. IN CERTAIN CASES AN ENTIRE RESURFACING OF THE AREA BEING OPEN CUT MAY BE REQUIRED. CONTACT THE CITY OF RALEIGH FOR MORE DETAILS.
26. GENERAL CONTRACTOR WILL COORDINATE WITH EXISTING UTILITY PROVIDERS FOR INSTALLATION OR MODIFICATION OF UTILITY SERVICES.
27. HANDICAP PARKING SPACES SHALL BE PROVIDED DURING CONSTRUCTION PHASES. WHERE TEMPORARY HANDICAP SPACES ARE NECESSARY, INSTALL SIGNAGE AS REQUIRED.
30. A SURETY SHALL BE FURNISHED PRIOR TO BUILDING PERMIT FOR 125% OF THE CONSTRUCTION COSTS FOR STONEY MOSS DRIVE AND PROPOSED MULTI-FAMILY STREET.
31. USE HYDRANT FLOW TEST TO CONDUCT FIRE FLOW ANALYSIS AND ADD TO PLANS PER NCF 507.1 USING NCF APPENDIX B METHOD OR THE ISO METHOD AT TIME OF BUILDING PERMIT REVIEW.
32. MINIMUM CORNER CLEARANCE FROM CURB LINE OF INTERSECTION STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY.
33. WITHIN THE AREA DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMS, OR PARKED VEHICLES BETWEEN THE HEIGHTS OF 24 INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS.
34. DUMPSTER ENCLOSURES TO MATCH BUILDING MATERIAL AND COLOR.

Ordinance (2002) 165 ZC 512 Effective: 2/19/2002

Z-10-02 on the east side of Sunnybrook Road, approximately 97 feet south of its intersection with Sungate Boulevard. Approximately 21.52 to be rezoned from Residential-R to Residential-20 Conditional Use.

Conditions : 2/13/02

- 1) Reimbursement for required right-of-way dedication shall remain at the current R-6 value.
2) Any fence constructed upon the Property parallel to and within fifty (50) feet of the right-of-way of Sunnybrook Road (as established at site plan approval) shall be seventy-five (75%) screened by plantings within five (5) years after installation of such fence or fences.
3) All mechanical equipment upon the Property within one hundred (100) feet of the right-of-way of Sunnybrook Road or Samuel Street (as established at site plan approval) and visible from the respective right-of-way shall be not less than seventy-five per cent (75%) screened by plantings within (5) years following installation of such mechanical equipment.
4) Upon development of the Property, there shall be made available to the City a transit easement fifteen (15) feet wide by twenty (20) feet in length adjacent to the right-of-way of Sunnybrook Road.
5) Vehicular access to the Property from Sunnybrook Road shall be limited to no more than one curb cut (with or without a median). In the event that the Property is recombined or subdivided, all resulting lots shall be provided access to Sunnybrook Road via such curb cut.
6) With the exception of the transit easement and the curb cut referenced in the foregoing conditions (4) and (5), upon development of the property a streetyard twenty (20) feet in width shall be provided along the right-of-way of Sunnybrook Road (as established at site plan approval). The streetyard shall be landscaped at twice the standard otherwise applicable under the City Code. Utilities and stormwater infrastructure may be installed within such streetyard. This condition shall not apply to any area within a Neuse riparian buffer required by the State of North Carolina.
7) Upon development of the Property, the owner shall dedicate to the City of Raleigh the greenway corridor seventy-five (75) feet in width shown upon the Property on the Comprehensive Plan along Branch Number One of Tributary E of Crabtree Creek.
8) No trees shall be cut upon the Property prior to the final approval of a grading plan for the Property.



VICINITY MAP 1" = 500'

SUNNYBROOK POINTE APARTMENTS Raleigh, Wake County, North Carolina

SHEET INDEX table with columns # and TITLE. Includes items like COVER, BOUNDARY & TOPOGRAPHICAL SURVEY, OVERALL DEMOLITION & EXIST. CONDITIONS, etc.

SHEET INDEX CONT'D table with columns # and TITLE. Includes items like WATER DETAILS, SEWER DETAILS, STORM DETAILS, EXTERIOR ELEVATIONS - BUILDING TYPE "A", etc.

ATTENTION CONTRACTORS

THE CONSTRUCTION CONTRACTOR RESPONSIBLE FOR THE EXTENSION OF WATER, SEWER, AND/OR REUSE, AS APPROVED IN THESE PLANS, IS RESPONSIBLE FOR CONTACTING THE PUBLIC WORKS DEPARTMENT AT (919) 996-2409, AND THE PUBLIC UTILITIES DEPARTMENT AT (919) 996-4540 AT LEAST TWENTY FOUR HOURS PRIOR TO BEGINNING ANY OF THEIR CONSTRUCTION.

FAILURE TO NOTIFY BOTH CITY DEPARTMENTS IN ADVANCE OF BEGINNING CONSTRUCTION, WILL RESULT IN THE ISSUANCE OF MONETARY FINES, AND REQUIRE REINSTALLATION OF ANY WATER OR SEWER FACILITIES NOT INSPECTED AS A RESULT OF THIS NOTIFICATION FAILURE.

FAILURE TO CALL FOR INSPECTION, INSTALL A DOWNSTREAM PLUG, HAVE PERMITTED PLANS ON THE JOBSITE, OR ANY OTHER VIOLATION OF CITY OF RALEIGH STANDARDS WILL RESULT IN A FINE AND POSSIBLE EXCLUSION FROM FUTURE WORK IN THE CITY OF RALEIGH.

OWNER: SUNNYBROOK POINTE PARTNERS, LP 2013 ROLLING ROCK ROAD WAKE FOREST, NC 27587 (919) 435-1597

DEVELOPER: CAROLINA PROJECT EQUITIES, LLC MARK TIPTON 8450 FALLS OF NEUSE ROAD RALEIGH, NC 27615 (919) 844-0444

ARCHITECT: JDAVIS ARCHITECT, PLLC 510 SOUTH WILMINGTON STREET RALEIGH, NC 27601 (919) 835-1500 JEFFD@JDAVISARCHITECTS.COM

CIVIL ENGINEER: RIVERS AND ASSOCIATES, INC. 107 EAST SECOND STREET GREENVILLE, NC 27858 (252) 752-4135 SJANOWSKI@RIVERSANDASSOCIATES.COM

SURVEYOR: TOPOGRAPHICAL M-11, PLLC 970 TRINITY ROAD RALEIGH, NC 27607 (919) 822-2222

MUNICIPAL CONTACT LIST

Table with 2 columns: PLANNING AND ZONING, WATER AND SEWER, STREETS AND HIGHWAYS, ELECTRIC SERVICE, BUILDING INSPECTIONS, DUKE ENERGY PROGRESS, EROSION CONTROL, PSNC ENERGY, STORMWATER UTILITY, CITY OF RALEIGH, INSPECTIONS DEPARTMENT, TRANSPORTATION, CITY OF RALEIGH, PUBLIC WORKS DEPT., KENNETH RITCHE, RALEIGH, NC, 919.996.2409

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2405 | ext 919-996-1831 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

Administrative Site Review Application form with sections for Building Type, General Information, Development Name, Zoning District, Proposed Use, Property Address, Wake County Property Identification Number(s), and various checkboxes for building types and services.

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments) with sections for Zoning Information, Building Information, Stormwater Information, and FOR RESIDENTIAL DEVELOPMENTS.



NOTE(s) 1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

2. THERE ARE RETAINING WALLS GREATER THAN 5' IN HEIGHT ON THE SITE. AS SUCH A BUILDING PERMIT MUST BE SUBMITTED AND A SPECIAL INSPECTION PERFORMED. (CODE REFERENCE: 2012 NC BUILDING CODE 1704 SPECIAL INSPECTIONS)

FILE# SR-17 TRANSACTION# 503992

Table with 2 columns: SOLID WASTE INSPECTION STATEMENT, PUBLIC IMPROVEMENT QUANTITIES, PUBLIC WATER DISTRIBUTION/EXTENSION SYSTEM, PUBLIC SEWER COLLECTION/EXTENSION SYSTEM.

REVISIONS table with columns REV, DATE, DESCRIPTION.

COVER SUNNYBROOK POINTE APARTMENTS SUNNYBROOK POINTE PARTNERS RALEIGH TOWNSHIP, WAKE COUNTY, NORTH CAROLINA

Rivers and Associates, Inc. logo and contact information, including address, phone, and a circular seal for the State of North Carolina.





### SURVEY CERTIFICATE

I, RANDY D. MASON, AS A PROFESSIONAL LAND SURVEYOR IN THE STATE OF NORTH CAROLINA, DO HEREBY CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION AND COMPLETED ON 1-27-2017. USING THE REFERENCES SHOWN HEREON THAT THE BOUNDARIES SURVEYED ARE CLEARLY INDICATED AS DASHED LINES DRAWN FROM INFORMATION FOUND IN THE REFERENCES THAT THE BATHYMETRIC PRECISION AS CALCULATED IS 1:10,000 - THAT THIS MAP WAS PREPARED IN ACCORDANCE WITH NORTH CAROLINA BOARD RULES TITLE 21, CHAPTER 56-100, AS APPLICABLE. WITNESS MY ORIGINAL SIGNATURE AND SEAL THIS

1/27 DAY OF JANUARY, A.D. 2017.

I, RANDY D. MASON, CERTIFY THAT THIS PROJECT WAS COMPLETED UNDER MY DIRECT AND RESPONSIBLE CHARGE FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION. THAT THIS GROUND SURVEY WAS PERFORMED AT THE 95 PERCENT CONFIDENCE LEVEL TO MEET FEDERAL GEODESIC DATA COMMITTEE STANDARDS, THAT THIS SURVEY WAS PERFORMED TO MEET THE REQUIREMENTS FOR A TOPOGRAPHIC/PLANIMETRIC SURVEY TO THE ACCURACY OF CLASS AA AND VERTICAL ACCURACY WHICH APPLICABLE TO THE CLASS A STANDARD, AND THAT THE ORIGINAL DATA WAS OBTAINED ON 11/21/16. THAT THE SURVEY WAS COMPLETED ON 1/27/17. THAT CONTOURS SHOWN AS SOLID LINES MAY NOT MEET THE STATED STANDARD, AND ALL COORDINATES ARE BASED ON NAD 83 UTM PG 8H AND ALL ELEVATIONS ARE BASED ON NAVD 84.

*Randy D. Mason*  
 RANDY D. MASON, PROFESSIONAL LAND SURVEYOR No. L-4552

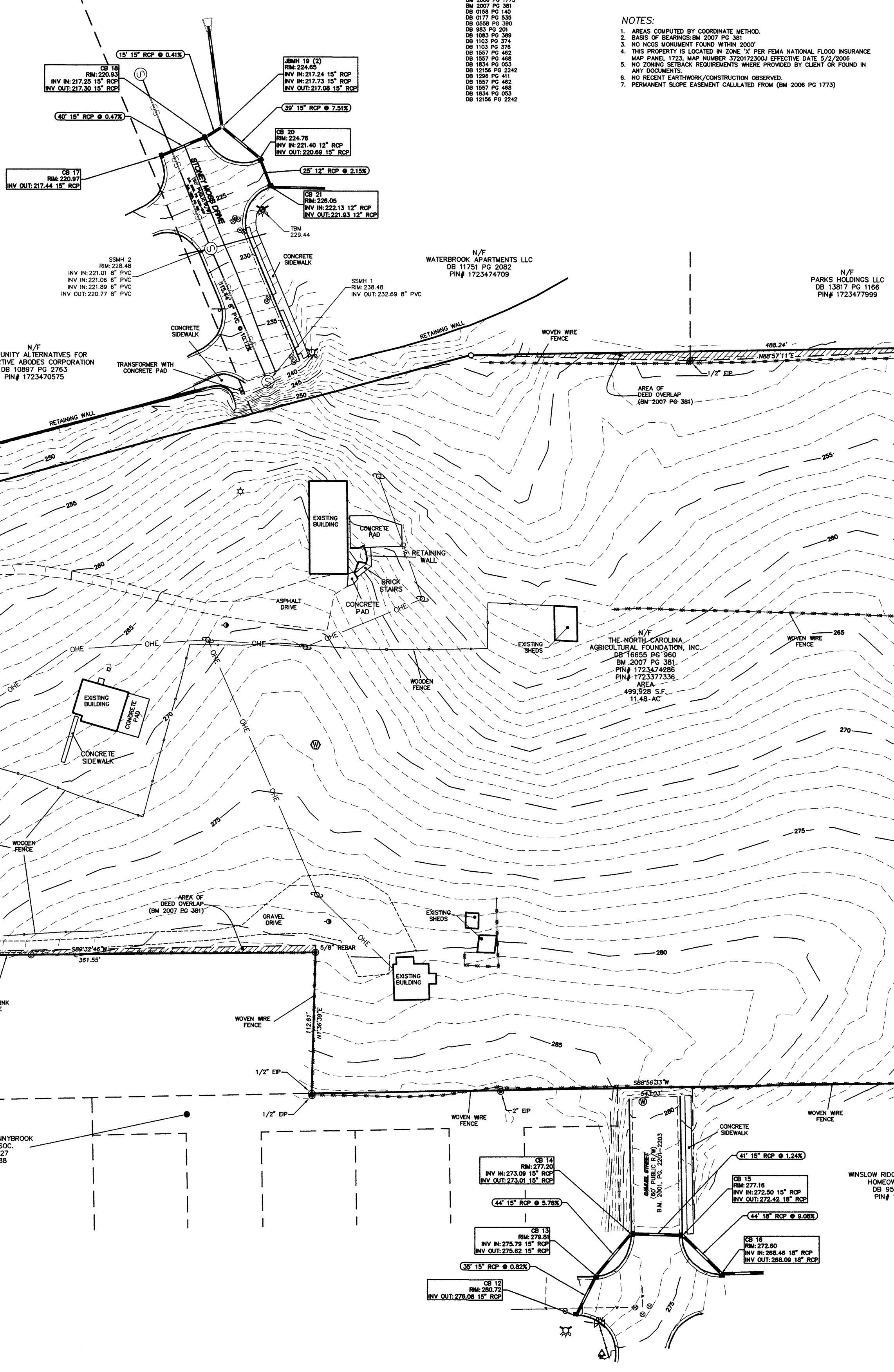
VICINITY MAP  
 NOT TO SCALE

### MAP/DEED REFERENCES:

BM 1993 PG 390  
 DB 1772 PG 2002  
 DB 2005 PG 1975  
 DB 1985 PG 309  
 DB 0175 PG 535  
 DB 0564 PG 390  
 DB 083 PG 201  
 DB 1023 PG 306  
 DB 1103 PG 378  
 DB 1501 PG 402  
 DB 1857 PG 468  
 DB 1874 PG 216  
 DB 1874 PG 052  
 DB 1874 PG 216  
 DB 1874 PG 411  
 DB 1981 PG 462  
 DB 1857 PG 468  
 DB 1874 PG 403  
 DB 1916 PG 224

### NOTES:

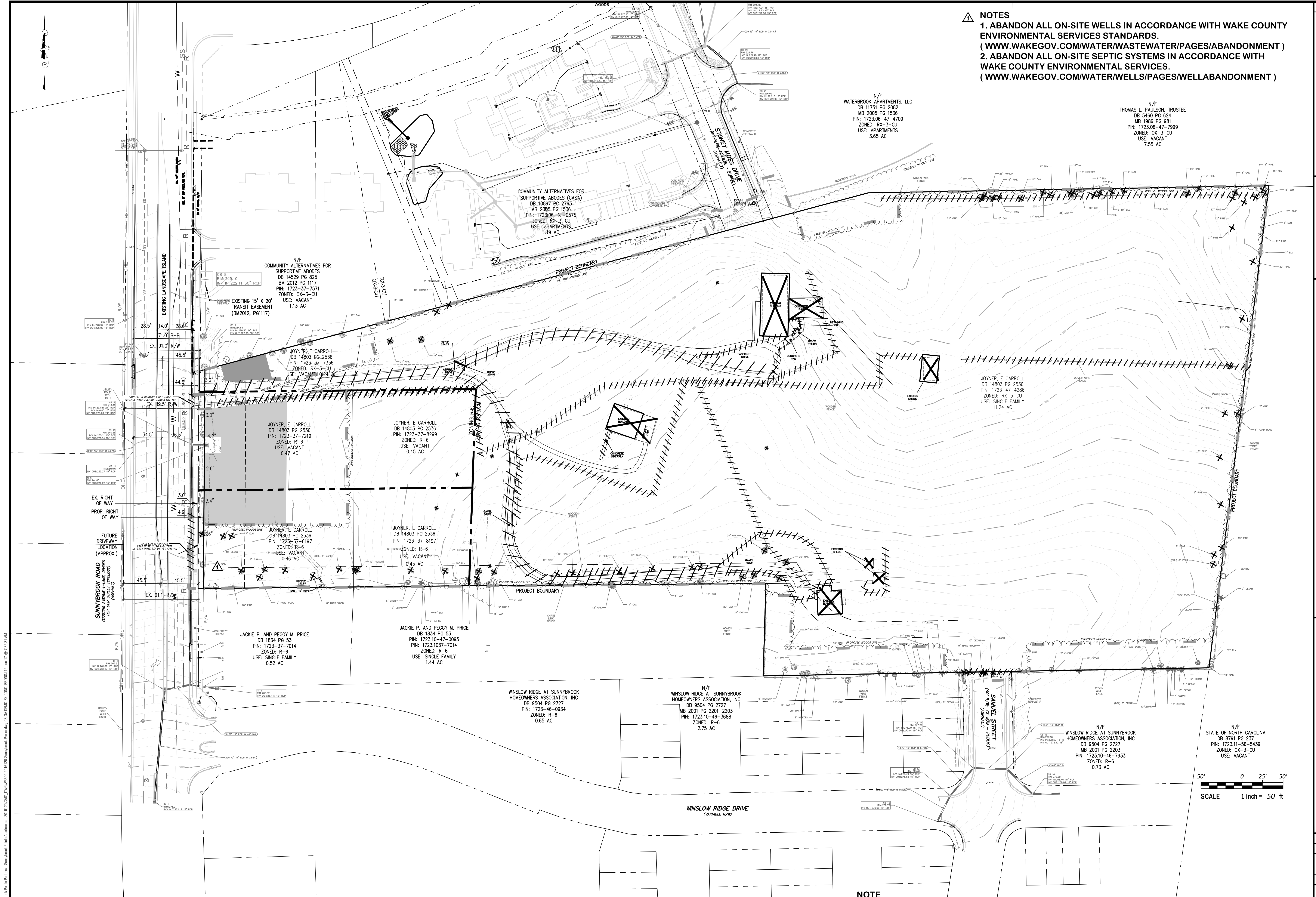
- AREAS COMPUTED BY COORDINATE METHOD.
- BASES OF BEARING: BM 2007 PG 381
- NO HOCS MONUMENT FOUND WITHIN 2000'
- THIS PROPERTY IS LOCATED IN ZONE X OF FIRM FEMA NATIONAL FLOOD INSURANCE MAP PANEL 1723, MAP NUMBER 370072300 EFFECTIVE DATE 5/2/2006
- NO ZONING SETBACK REQUIREMENTS WERE PROVIDED BY CLIENT OR FOUND IN ANY DOCUMENTS.
- NO RECENT EARTHWORK/CONSTRUCTION OBSERVED.
- PERMANENT SLOPE EASEMENT CALCULATED FROM (BM 2006 PG 1773)



NOTE: SURVEY REDUCED FROM ORIGIN  
 (APPROXIMATE SCALE 1" = 60')

V:\1\2006 - 1644 - Pines - ALTA\SURV\New\New.dwg January 27, 2017 3:15:00 PM - RANDY





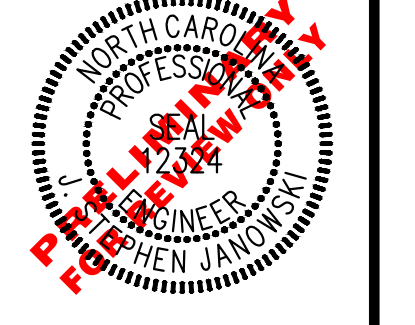
**NOTES**  
 1. ABANDON ALL ON-SITE WELLS IN ACCORDANCE WITH WAKE COUNTY ENVIRONMENTAL SERVICES STANDARDS. (WWW.WAKEGOV.COM/WATER/WASTEWATER/PAGES/ABANDONMENT)  
 2. ABANDON ALL ON-SITE SEPTIC SYSTEMS IN ACCORDANCE WITH WAKE COUNTY ENVIRONMENTAL SERVICES. (WWW.WAKEGOV.COM/WATER/WELLS/PAGES/WELLABANDONMENT)

REVISIONS:

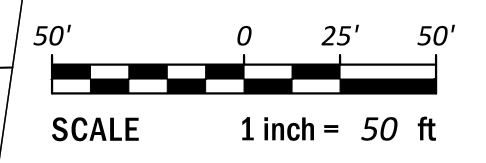
NO.	DATE	DESCRIPTION
1	3/20/17	ADD

**OVERALL DEMOLITION & EXIST. CONDITIONS**  
**SUNNYBROOK POINTE APARTMENTS**  
**SUNNYBROOK POINTE PARTNERS**  
 RALEIGH TOWNSHIP, RALEIGH, WAKE COUNTY, NORTH CAROLINA

NC License: F-0334  
**Rivers & Associates, Inc.**  
 rivasandassociates.com Since 1976  
 107 East Second Street  
 Greenville, NC 27638  
 (252) 752-4135  
 Engineers  
 Planners  
 Surveyors  
 Landscape Architects



February 13, 2017  
 SURVEY - DRAFT JJB  
 DESIGN JSJ CHECK JSJ  
 PROJECT No. 2016120  
 DRAWING No. W-3699  
 SCALE: AS NOTED  
 SHEET No.



**NOTE**  
 1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



REV	DATE	DESCRIPTION
1	3/20/17	JOB

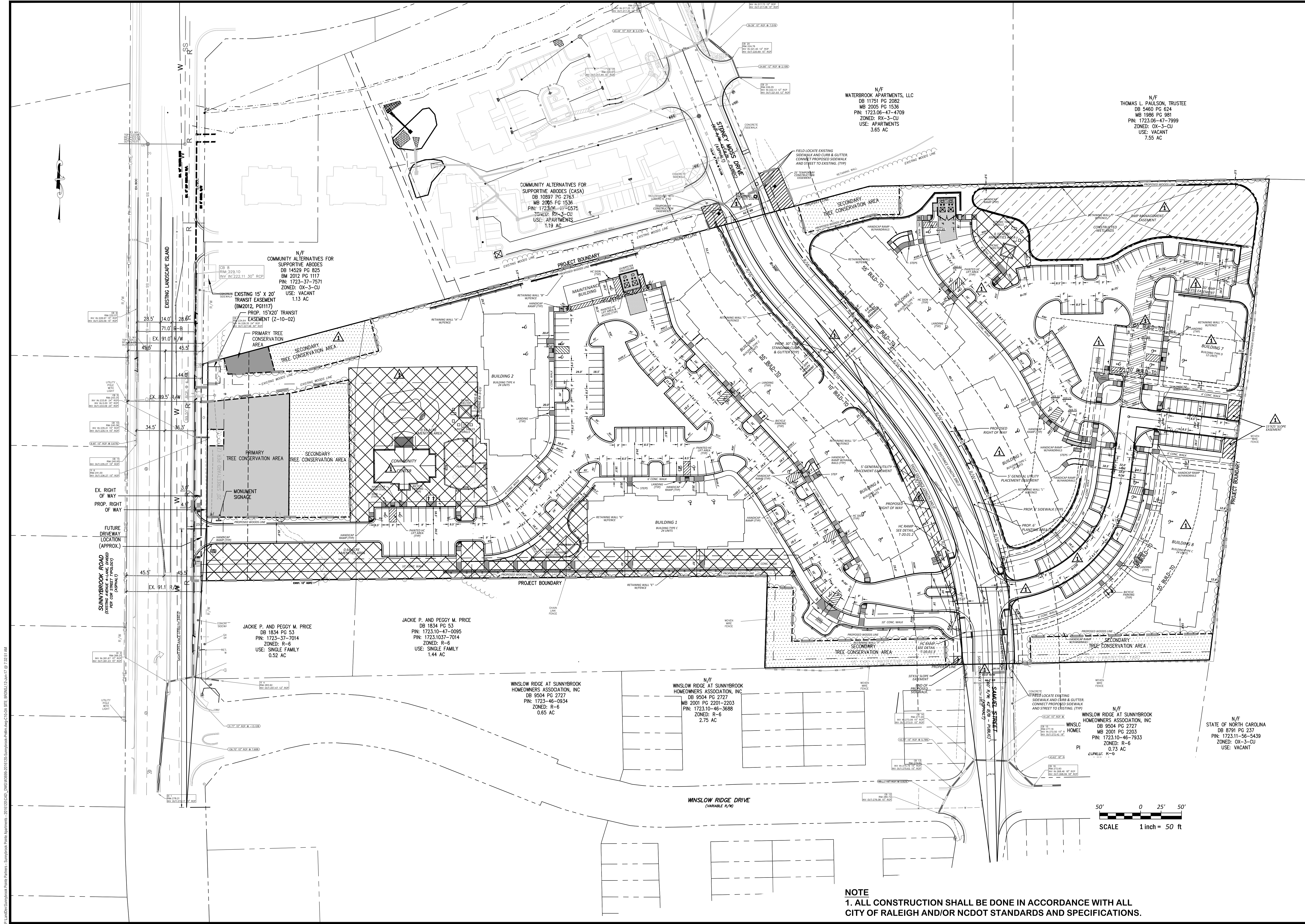
**OVERALL SITE PLAN**  
**SUNNYBROOK POINTE APARTMENTS**  
**SUNNYBROOK POINTE PARTNERS**  
 RALEIGH TOWNSHIP, RALEIGH, WAKE COUNTY, NORTH CAROLINA

NC License: F-0334  
**Rivers & Associates, Inc.**  
 107 East Second Street  
 Greenville, NC 27838  
 (252) 752-4125  
 Engineers  
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 Landscape Architects



February 13, 2017  
 SURVEY - DRAFT JJB  
 DESIGN JSJ CHECK JSJ  
 PROJECT No. **2016120**  
 DRAWING No. **W-3699**  
 SCALE: **AS NOTED**  
 SHEET No.

**C10**



N/F  
 WATERBROOK APARTMENTS, LLC  
 DB 11751 PG 2082  
 MB 2005 PG 1536  
 PIN: 1723.06-47-4709  
 ZONED: R-3-CU  
 USE: APARTMENTS  
 3.65 AC

N/F  
 THOMAS L. PAULSON, TRUSTEE  
 DB 5450 PG 624  
 MB 1986 PG 981  
 PIN: 1723.06-47-7999  
 ZONED: OX-3-CU  
 USE: VACANT  
 7.55 AC

COMMUNITY ALTERNATIVES FOR  
 SUPPORTIVE ABODES (CASA)  
 DB 10897 PG 2763  
 MB 2005 PG 1536  
 PIN: 1723.06-47-0378  
 ZONED: R-3-CU  
 USE: APARTMENTS  
 1.19 AC

N/F  
 COMMUNITY ALTERNATIVES FOR  
 SUPPORTIVE ABODES  
 DB 14529 PG 825  
 SM 2012 PG 1117  
 PIN: 1723-37-7571  
 ZONED: OX-3-CU  
 USE: VACANT  
 1.13 AC

PROF. 15'X20' TRANSIT  
 EASEMENT (Z-10-02)  
 (BM2012, PG1117)

PRIMARY TREE CONSERVATION AREA  
 SECONDARY TREE CONSERVATION AREA  
 MONUMENT SIGNAGE

JACKIE P. AND PEGGY M. PRICE  
 DB 1834 PG 53  
 PIN: 1723-37-7014  
 ZONED: R-6  
 USE: SINGLE FAMILY  
 0.52 AC

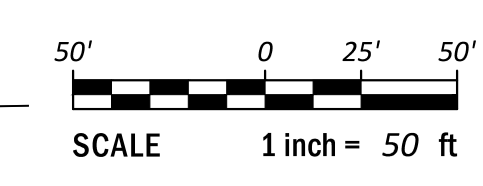
JACKIE P. AND PEGGY M. PRICE  
 DB 1834 PG 53  
 PIN: 1723.10-47-0095  
 PIN: 1723.1037-7014  
 ZONED: R-6  
 USE: SINGLE FAMILY  
 1.44 AC

WNSLOW RIDGE AT SUNNYBROOK  
 HOMEOWNERS ASSOCIATION, INC.  
 DB 9504 PG 2727  
 PIN: 1723-46-0934  
 ZONED: R-6  
 0.65 AC

N/F  
 WNSLOW RIDGE AT SUNNYBROOK  
 HOMEOWNERS ASSOCIATION, INC.  
 DB 9504 PG 2727  
 MB 2001 PG 2201-2203  
 PIN: 1723.10-46-3688  
 ZONED: R-6  
 2.75 AC

N/F  
 WNSLOW RIDGE AT SUNNYBROOK  
 HOMEOWNERS ASSOCIATION, INC.  
 DB 9504 PG 2727  
 MB 2001 PG 2203  
 PIN: 1723.10-46-7933  
 ZONED: R-6  
 0.73 AC

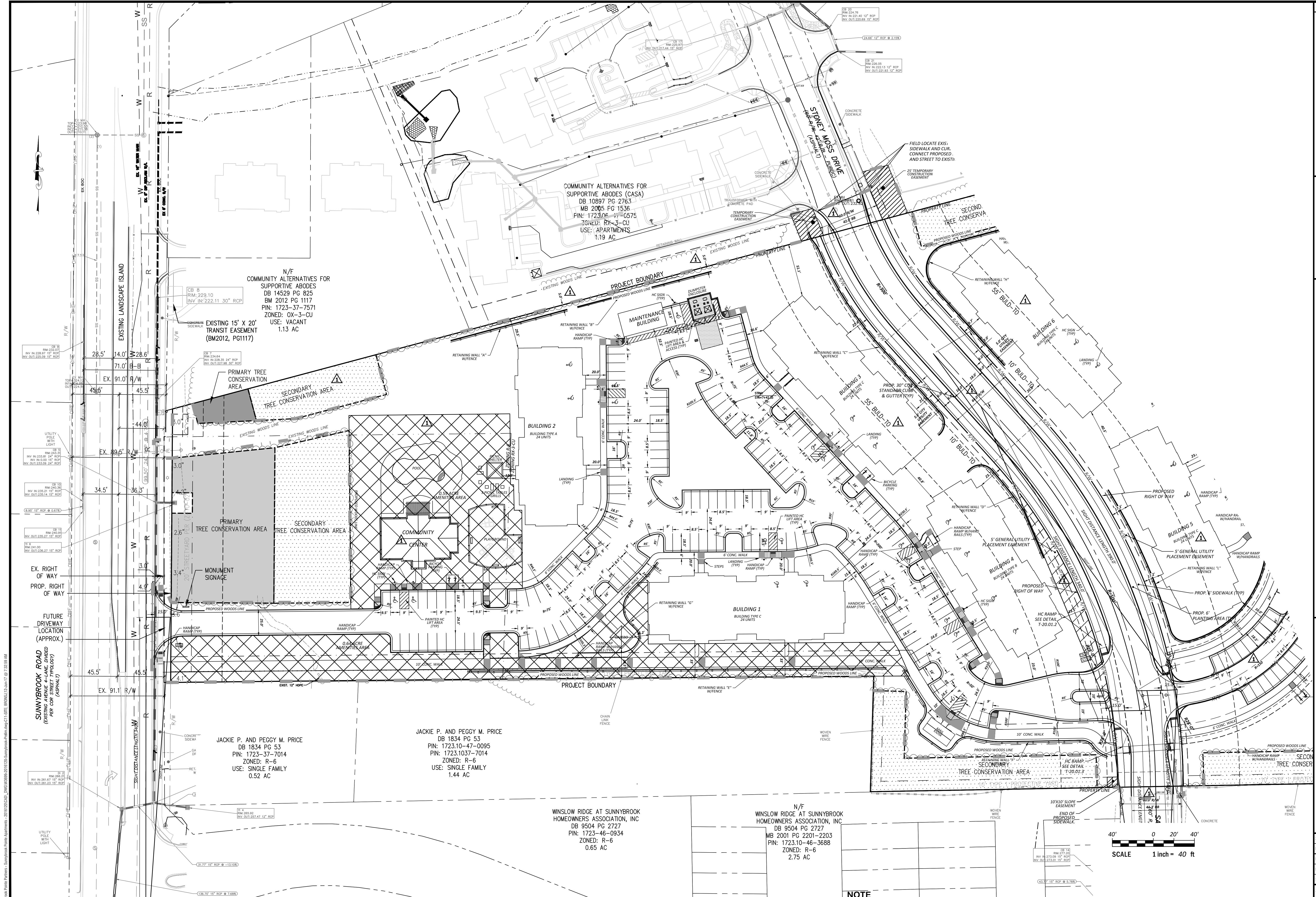
N/F  
 STATE OF NORTH CAROLINA  
 DB 8791 PG 237  
 PIN: 1723.11-56-5439  
 ZONED: OX-3-CU  
 USE: VACANT



**NOTE**  
 1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

P:\LandUse\Sunnybrook Pointe Partners - Sunnybrook Pointe Apartments - 20170213.DWG - Sunnybrook Pointe Partners - Sunnybrook Pointe Apartments - 20170213.DWG - Sunnybrook Pointe Partners - Sunnybrook Pointe Apartments - 20170213.DWG  
 2/13/2017 10:00 AM





N/F  
COMMUNITY ALTERNATIVES FOR  
SUPPORTIVE ABODES  
DB 14529 PG 825  
BM 2012 PG 1117  
PIN: 1723-37-7571  
ZONED: OX-3-CU  
USE: VACANT  
1.13 AC

COMMUNITY ALTERNATIVES FOR  
SUPPORTIVE ABODES (CASA)  
DB 10897 PG 276.3  
MB 2005 PG 1536  
PIN: 1723-06-7-0575  
ZONED: RX-3-CU  
USE: APARTMENTS  
1.19 AC

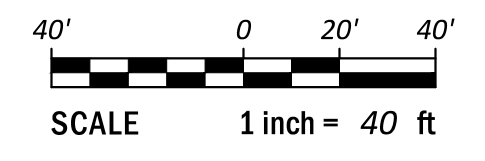
JACKIE P. AND PEGGY M. PRICE  
DB 1834 PG 53  
PIN: 1723-37-7014  
ZONED: R-6  
USE: SINGLE FAMILY  
0.52 AC

JACKIE P. AND PEGGY M. PRICE  
DB 1834 PG 53  
PIN: 1723.10-47-0095  
PIN: 1723.1037-7014  
ZONED: R-6  
USE: SINGLE FAMILY  
1.44 AC

WINSLOW RIDGE AT SUNNYBROOK  
HOMEOWNERS ASSOCIATION, INC  
DB 9504 PG 2727  
PIN: 1723-46-0934  
ZONED: R-6  
0.65 AC

N/F  
WINSLOW RIDGE AT SUNNYBROOK  
HOMEOWNERS ASSOCIATION, INC  
DB 9504 PG 2727  
MB 2001 PG 2201-2203  
PIN: 1723-46-3688  
ZONED: R-6  
2.75 AC

**NOTE**  
1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



REVISIONS:

REV	DATE	DESCRIPTION
1	3/20/17	JOB

**SITE PLAN**  
**SUNNYBROOK POINTE APARTMENTS**  
**SUNNYBROOK POINTE PARTNERS**  
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February 13, 2017  
SURVEY - DRAFT JIB  
DESIGN JSJ CHECK JSJ  
PROJECT No. 2016120  
DRAWING No. W-3699  
SCALE: 1" = 40'  
SHEET No.

**C11**



REV	DATE	DESCRIPTION
1	3/20/17	JOB
2		APPD

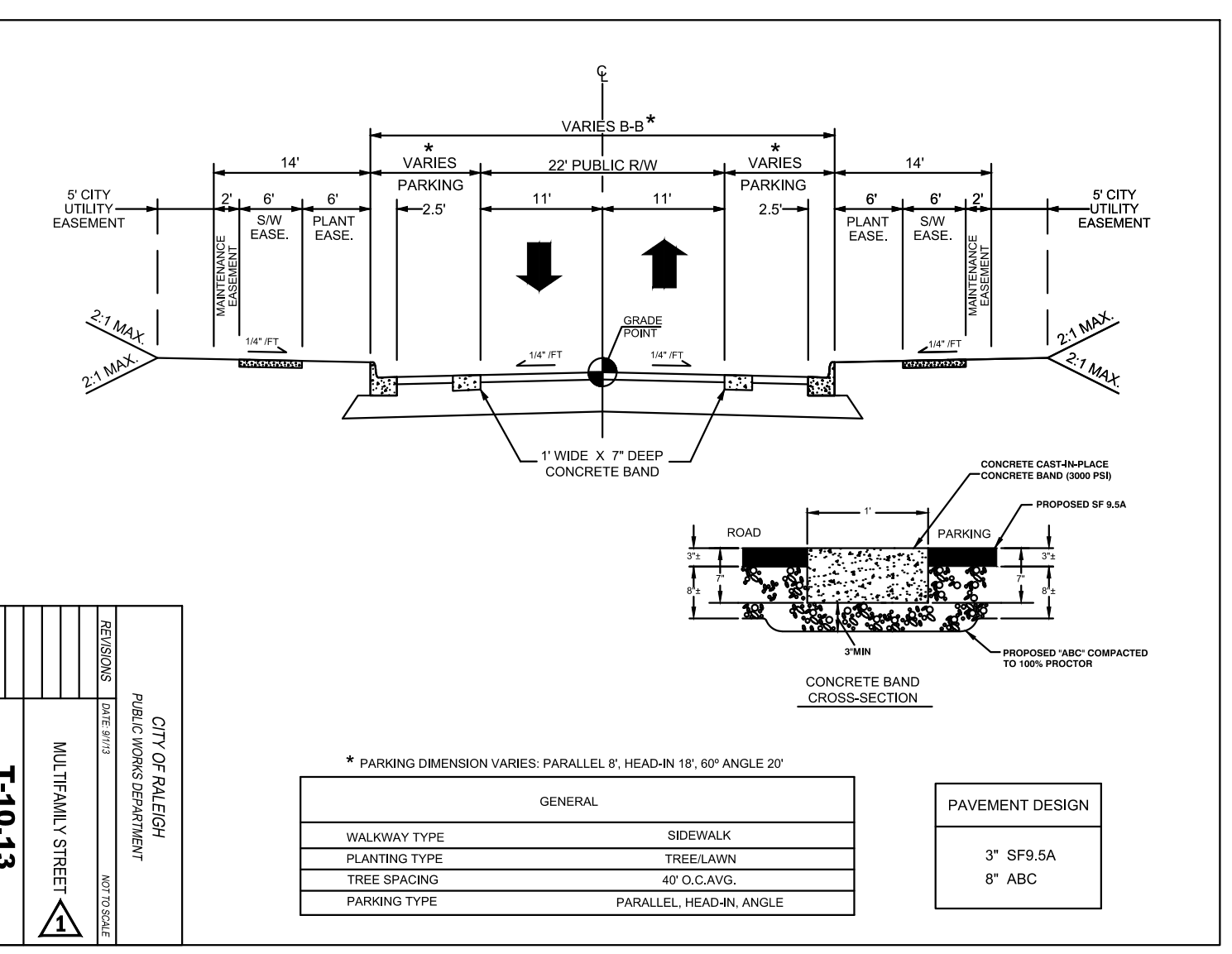
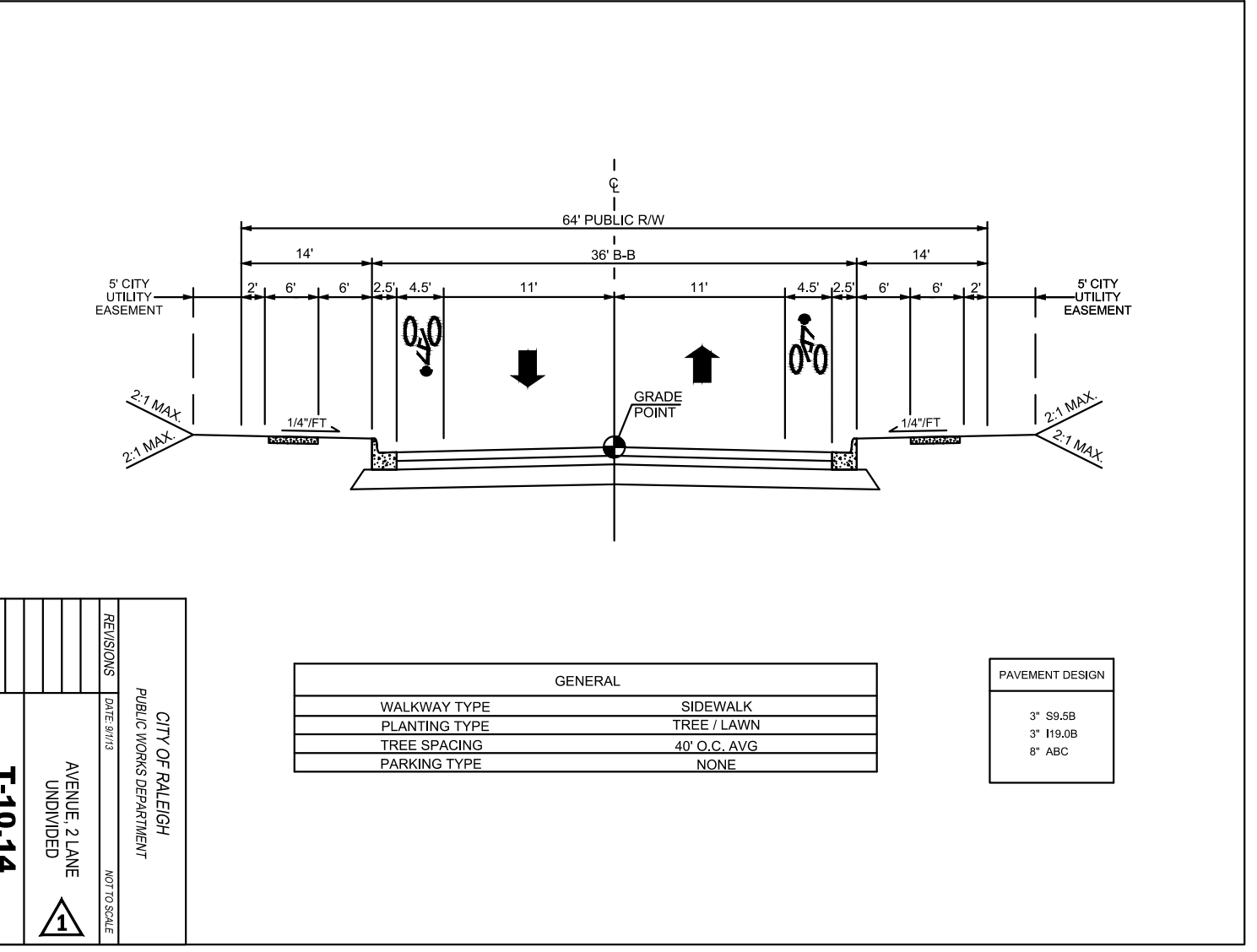
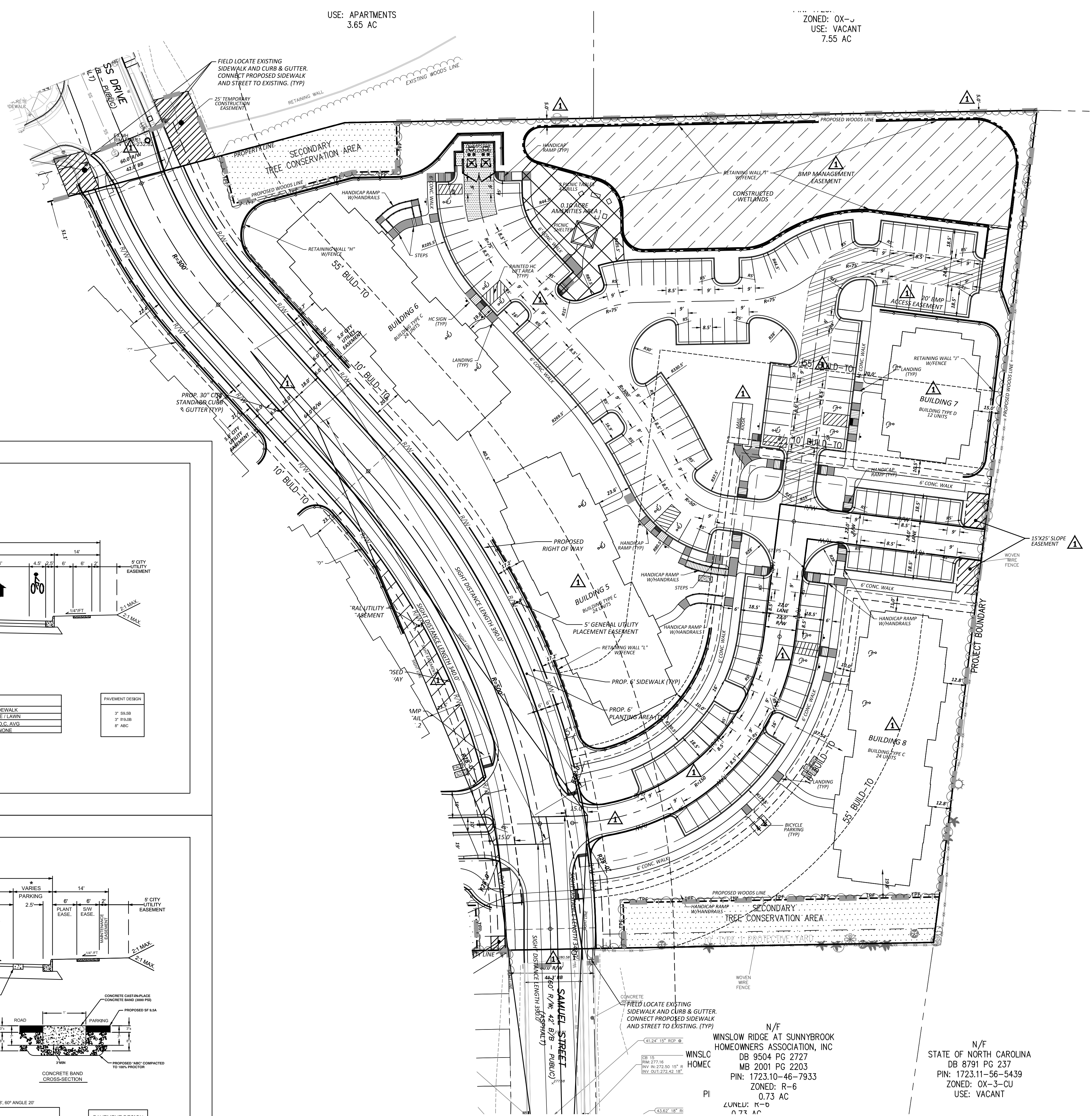
**SITE PLAN - CONTINUED**  
**SUNNYBROOK POINTE APARTMENTS**  
**SUNNYBROOK POINTE PARTNERS**  
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February 13, 2017  
 SURVEY - DRAFT JJB  
 DESIGN JSJ CHECK JSJ  
 PROJECT No. 2016120  
 DRAWING No. W-3699  
 SCALE: 1" = 40'  
 SHEET No.

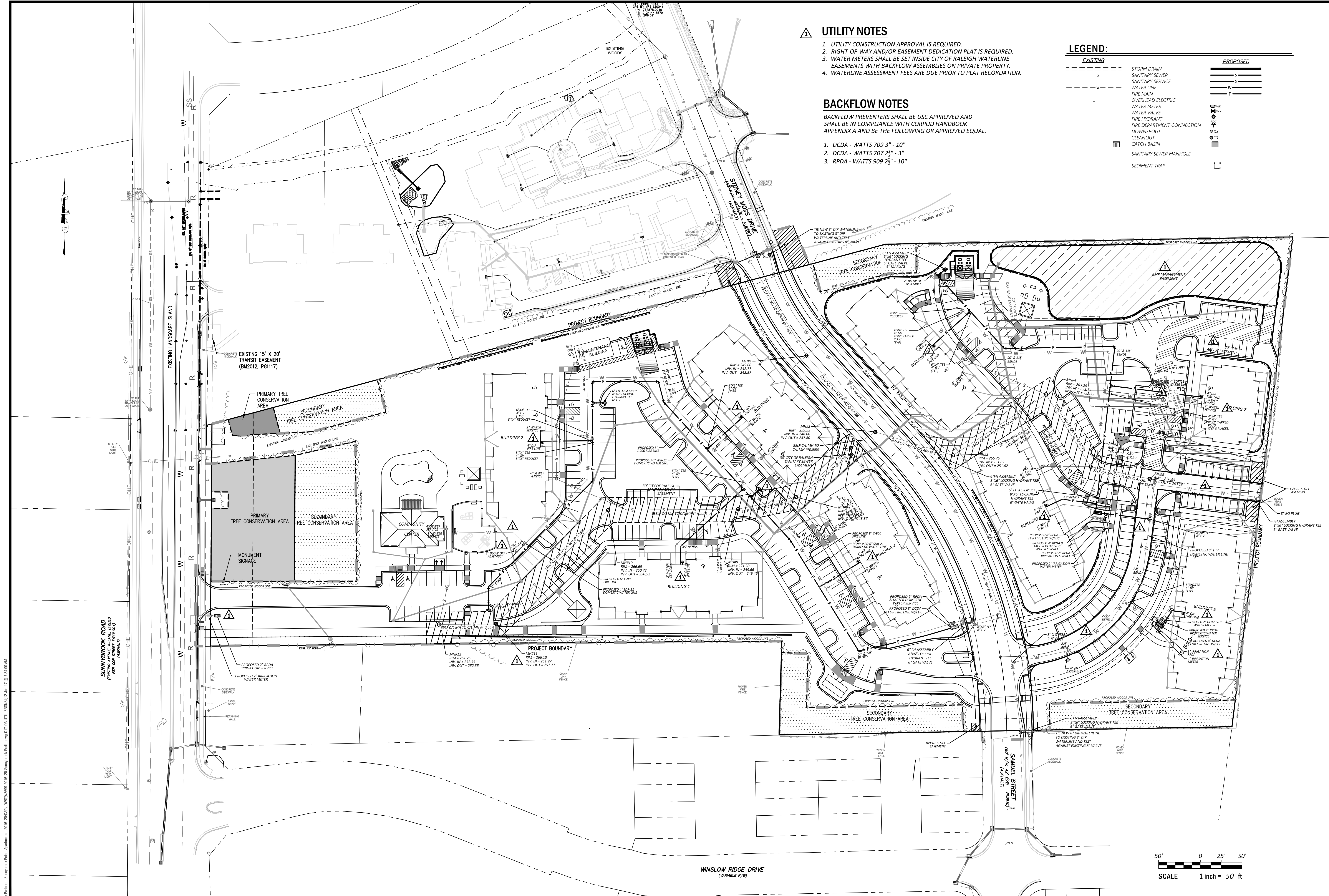
**C12**



**NOTE**  
 1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.

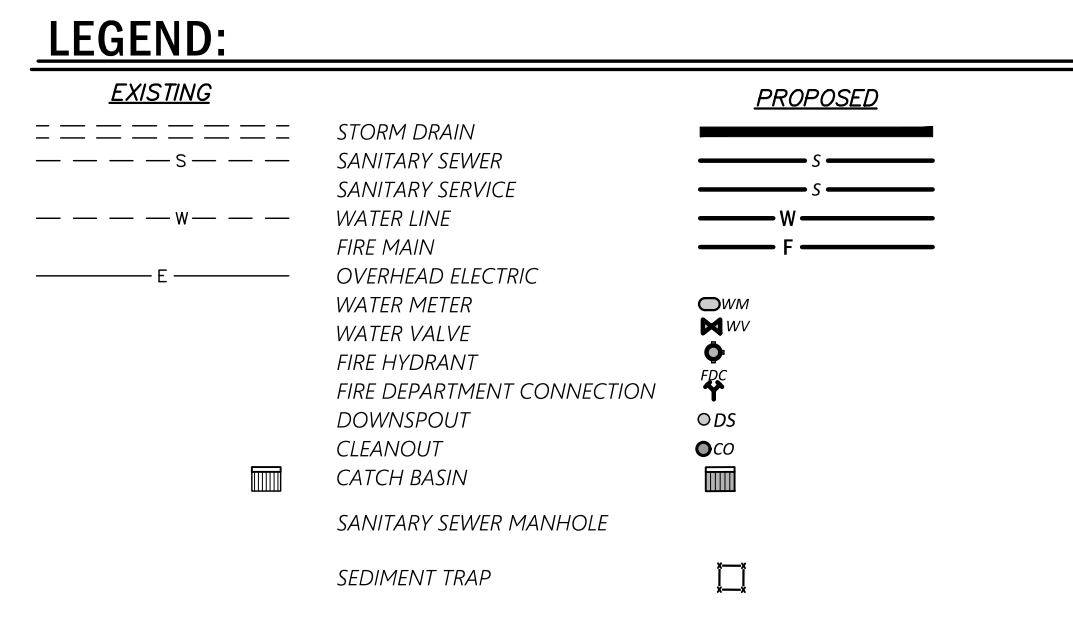
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 2/14/2017 10:00 AM  
 SUNNYBROOK POINTE PARTNERS - Sunnybrook Pointe Apartments - 20170220.DWG - Sunnybrook Pointe Apartments - 20170220.DWG - Sunnybrook Pointe Apartments - 20170220.DWG  
 2/14/2017 10:00 AM





- UTILITY NOTES**
1. UTILITY CONSTRUCTION APPROVAL IS REQUIRED.
  2. RIGHT-OF-WAY AND/OR EASEMENT DEDICATION PLAT IS REQUIRED.
  3. WATER METERS SHALL BE SET INSIDE CITY OF RALEIGH WATERLINE EASEMENTS WITH BACKFLOW ASSEMBLIES ON PRIVATE PROPERTY.
  4. WATERLINE ASSESSMENT FEES ARE DUE PRIOR TO PLAT RECORDATION.

- BACKFLOW NOTES**
- BACKFLOW PREVENTERS SHALL BE USC APPROVED AND SHALL BE IN COMPLIANCE WITH CORPUD HANDBOOK APPENDIX A AND BE THE FOLLOWING OR APPROVED EQUAL.
1. DCDA - WATTS 709 3" - 10"
  2. DCDA - WATTS 707 2 1/2" - 3"
  3. RPDA - WATTS 909 2 1/2" - 10"



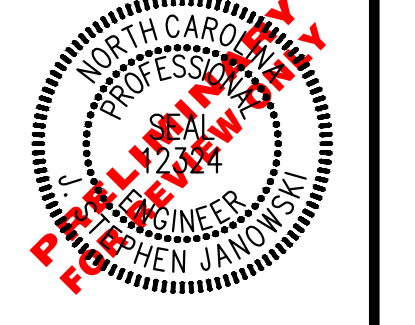
REVISIONS:

REV.	DATE	DESCRIPTION
1	3/20/21	JOB
2		
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**OVERALL UTILITIES PLAN**  
**SUNNYBROOK POINTE APARTMENTS**  
**SUNNYBROOK POINTE PARTNERS**  
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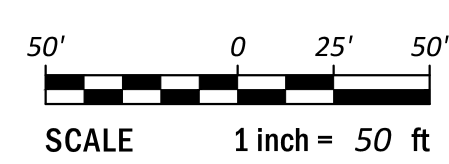


February 13, 2017

SURVEY	-	DRAFT	JJB
DESIGN	JSJ	CHECK	JSJ
PROJECT No.	2016120		
DRAWING No.	W-3699		
SCALE:	AS NOTED		
SHEET No.			

**C17**

**NOTE**  
 1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND/OR NCDOT STANDARDS AND SPECIFICATIONS.



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 3/20/21 10:17 AM  
 JJB





**E1 BUILDING TYPE B FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**A1 BUILDING TYPE B REAR ELEVATION**  
SCALE: 1/8" = 1'-0"

P:\LandDev\Sunnybrook\Partners Partners - Sunnybrook Pointe Apartments - 20171020\20171020-Sunnybrook-PartnersPartners\A13 ELEVATIONS\BRINDL\CAD\DWG\A3.13.dwg 3/13/2017 11:41 AM

REVISIONS:

REV	DESCRIPTION	DATE	APP'D
1	CITY OF RALEIGH COMMENTS	3/20/17	JL

**EXTERIOR ELEVATIONS - BUILDING B**  
**SUNNYBROOK POINTE APARTMENTS**  
**SUNNYBROOK POINTE PARTNERS**  
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SURVEY	- DRAFT	JJB
DESIGN	JSJ CHECK	JSJ
PROJECT No.	<b>2016120</b>	
DRAWING No.	<b>W-3699</b>	
SCALE:	<b>AS NOTED</b>	
SHEET No.		

**A3.13**





**E1** SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



**E6** FRONT ELEVATION  
SCALE: 1/8" = 1'-0"



**A1** SIDE ELEVATION  
SCALE: 1/8" = 1'-0"



**A6** REAR ELEVATION  
SCALE: 1/8" = 1'-0"

REVISIONS:

REV	DATE	DESCRIPTION
1	3/20/21	JOB

**EXTERIOR ELEVATIONS BUILDING D**  
**SUNNYBROOK POINTE APARTMENTS**  
**SUNNYBROOK POINTE PARTNERS**  
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February 13, 2017  
SURVEY - DRAFT JJB  
DESIGN JSJ CHECK JSJ  
PROJECT No. 2016120  
DRAWING No. W-3699  
SCALE: AS NOTED  
SHEET No.

**A3.17**





**G5 FRONT ELEVATION**  
SCALE: 1/8" = 1'-0"



**E5 LEFT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



**C5 RIGHT SIDE ELEVATION**  
SCALE: 1/8" = 1'-0"



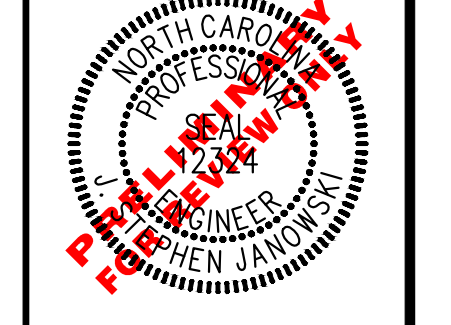
**A5 BACK ELEVATION**  
SCALE: 1/8" = 1'-0"

P:\Land\G\Projects\Pointe Partners - Sunnybrook Pointe Apartments - 2016\2020 - DWG\2020-2016\20 Sunnybrook Pointe Apartments.dwg (18 ELEVATIONS, BRIDGE, BRIDGE) (5-Jan-17) @ 8:00:22 AM

REVISIONS:	
REV.	DESCRIPTION
1	CITY OF RALEIGH COMMENTS
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**EXTERIOR ELEVATIONS - CLUB HOUSE**  
**SUNNYBROOK POINTE APARTMENTS**  
**SUNNYBROOK POINTE PARTNERS**  
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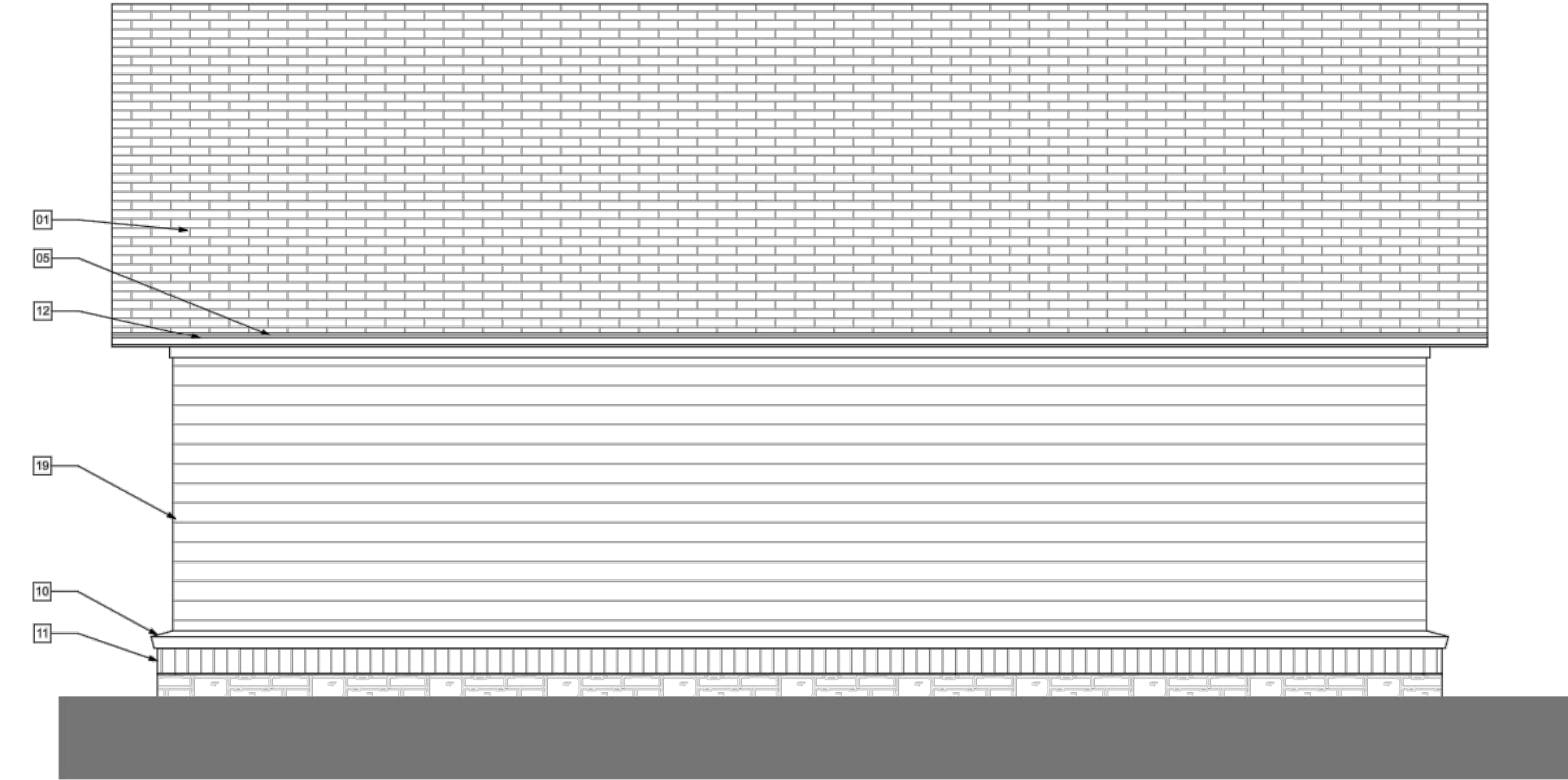


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PROJECT No.	2016120	
DRAWING No.	W-3699	
SCALE:	AS NOTED	
SHEET No.		

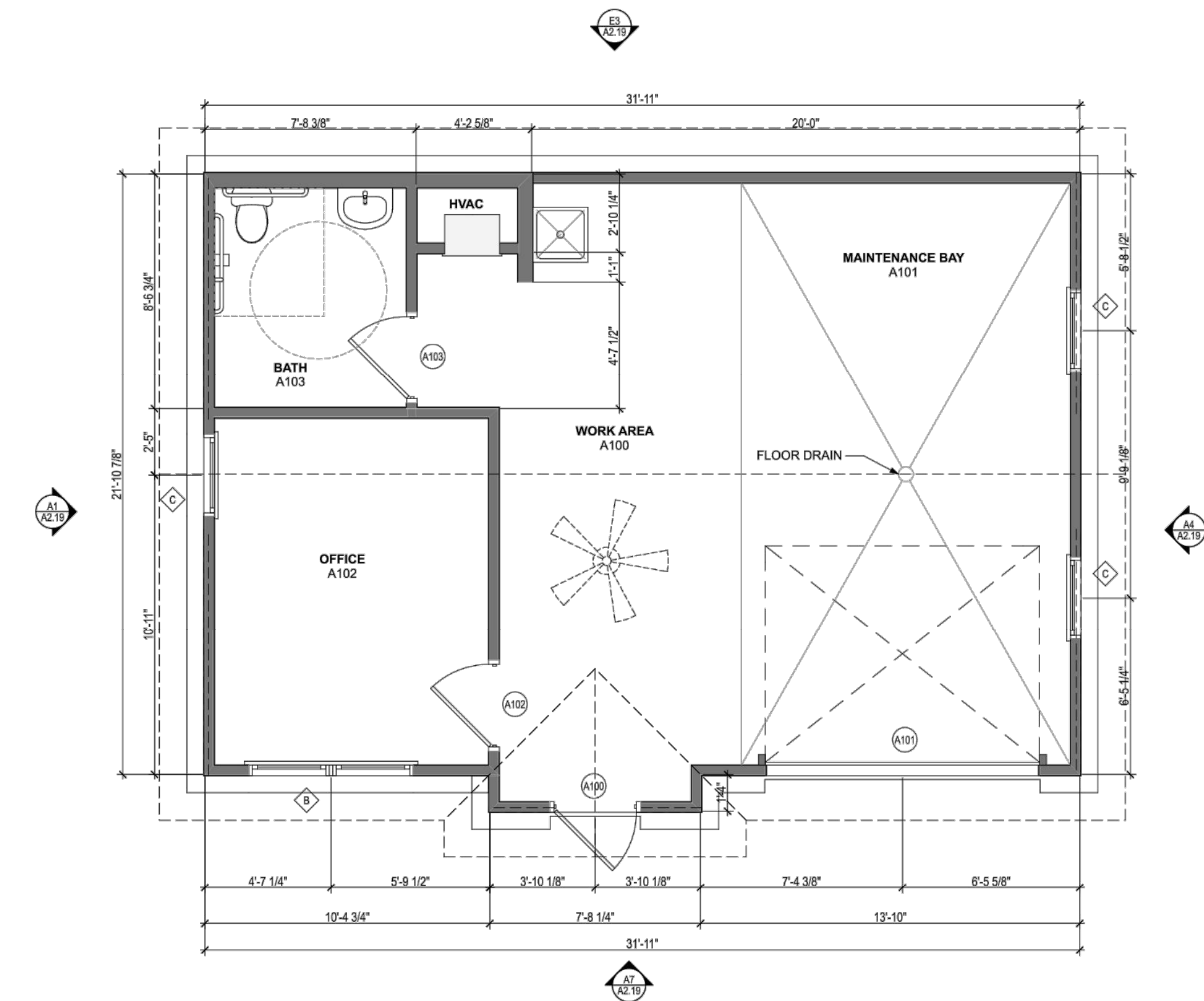
**A3.18**



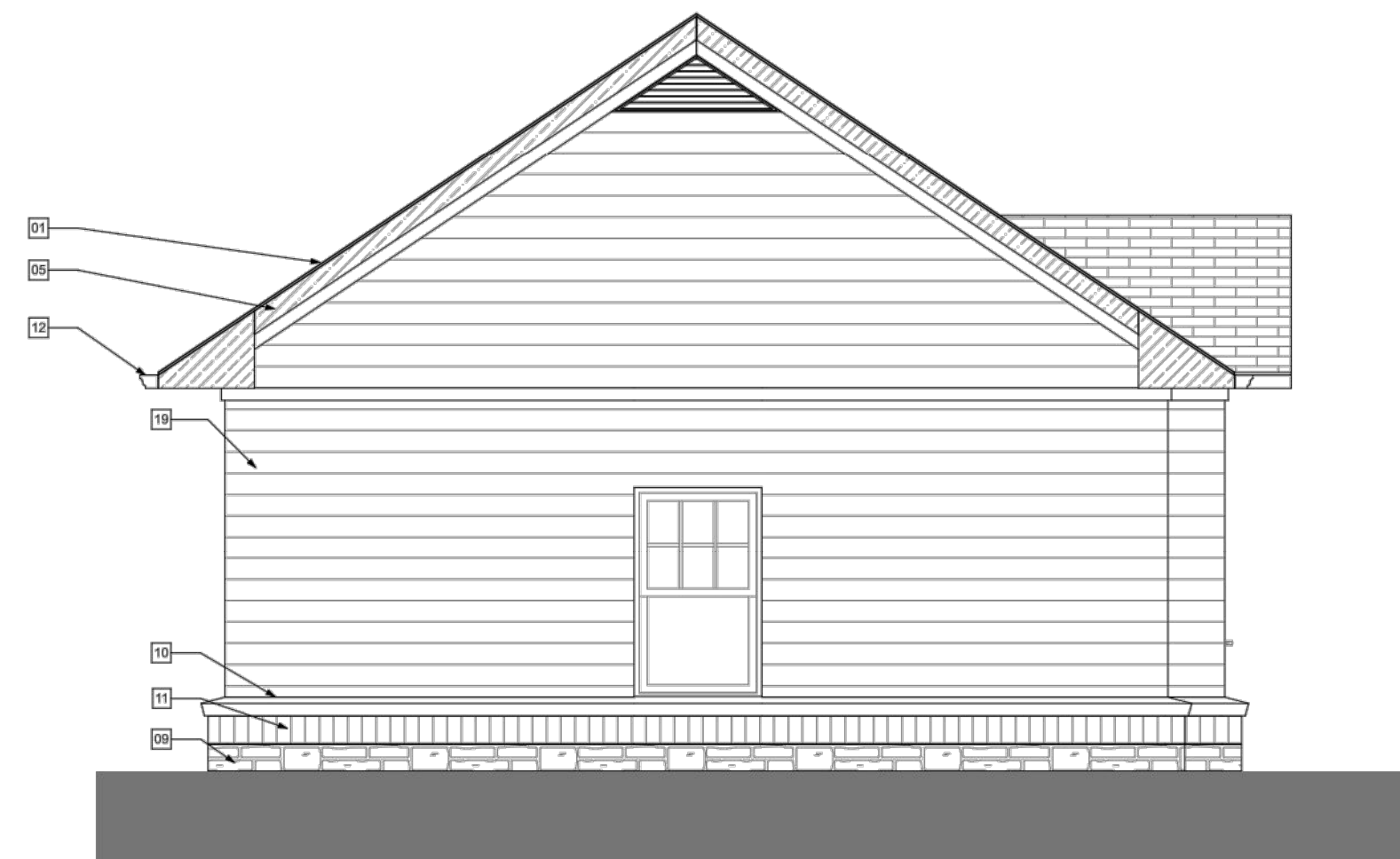
ELEVATION MATERIAL KEY			
01	30 YEAR ANTI-FUNGAL ARCHITECTURAL SHINGLE	15	PVC GUARDRAIL
02	VINYL DOUBLE 4" LAP SIDING	16	PRE-FINISHED ALUM DOWNSPOUT
03	VINYL SHAKES	17	CONTINUOUS RIDGE VENT
04	VINYL SINGLE 8" LAP SIDING	18	VINYL LOUVER
05	ALUMINUM WRAPPED WOOD TRIM	19	VINYL DOUBLE 5" LAP SIDING
06	VINYL OUTSIDE CORNER POST	20	VINYL BOARD 'N BATTEN
07	SQUARE PVC COLUMN COVER		
08	PVC TRIM BOARD		
09	MFR STONE VENEER		
10	MFR STONE VENEER CAPSILL		
11	MFR STONE SOLDIER COURSE		
12	PRE-FINISHED SEAMLESS GUTTER		
13	VINYL SINGLE HUNG WINDOW		
14	DECORATIVE PVC BRACKET - PYPON		



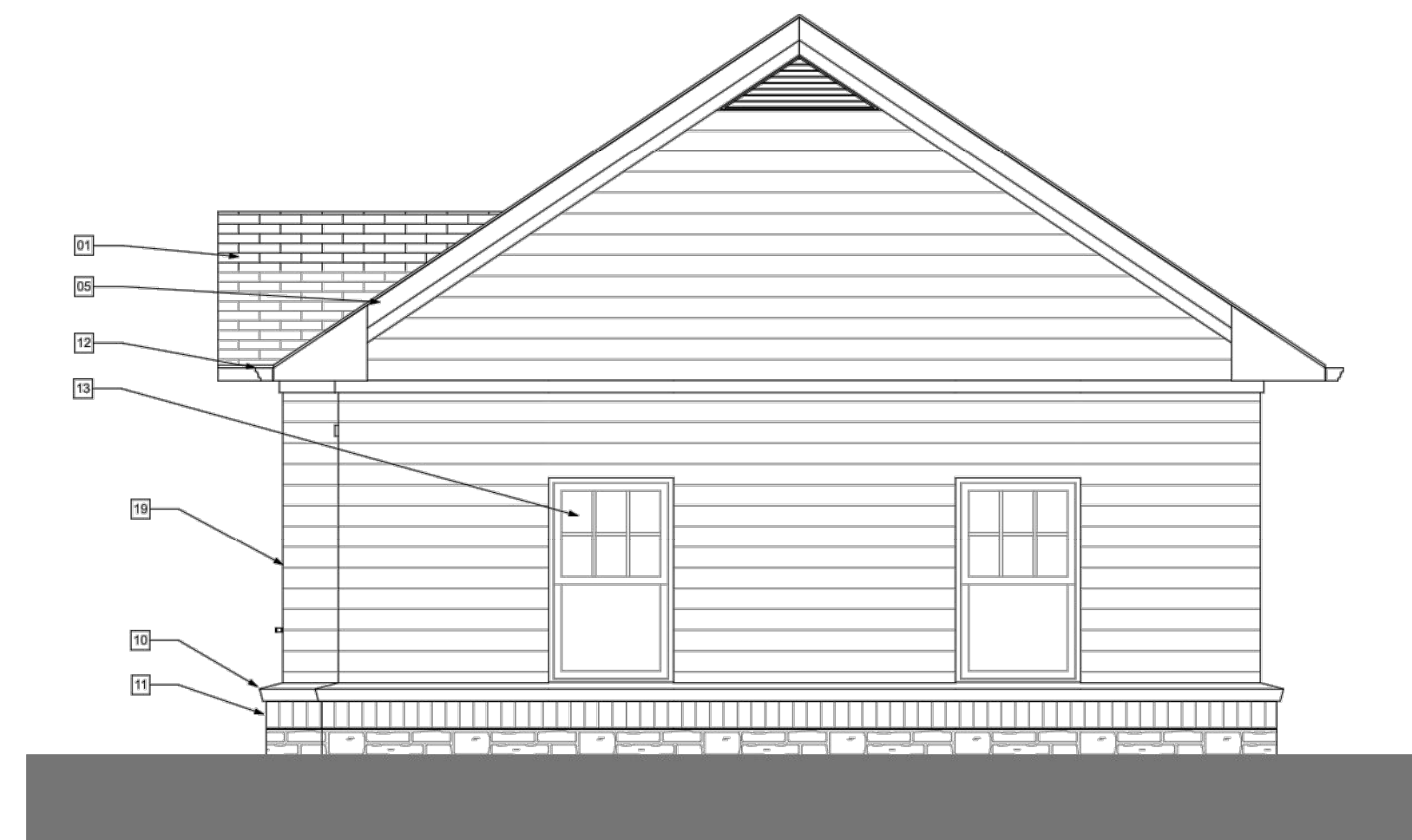
**E3 REAR ELEVATION**  
SCALE: 1/4" = 1'-0"



**E7 MAINTENANCE BUILDING FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



**A1 MAINTENANCE BUILDING SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



**A4 MAINTENANCE BLDG SIDE ELEVATION**  
SCALE: 1/4" = 1'-0"



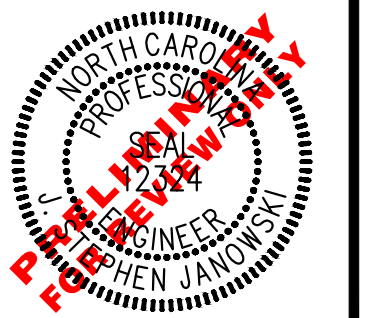
**A7 MAINTENANCE BLDG FRONT ELEVATION**  
SCALE: 1/4" = 1'-0"

REVISIONS:

REV	DATE	DESCRIPTION
1	3/20/21	ADD

**EXTERIOR ELEVATIONS - MAINTENANCE BUILDING**  
**SUNNYBROOK POINTE APARTMENTS**  
**SUNNYBROOK POINTE PARTNERS**  
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 (252) 782-4135  
 Engineers Planners Surveyors Landscape Architects



SURVEY	-	DRAFT	JJB
DESIGN	JSJ	CHECK	JSJ
PROJECT No.	2016120		
DRAWING No.	W-3699		
SCALE:	AS NOTED		
SHEET No.			

**A2.19**