



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

201 S BLOUNT STREET

Address

MOORE SQUARE

Historic District

Historic Property

190-17-MW

Certificate Number

12-19-2017

Date of Issue

12-19-2018

Expiration Date

Project Description:

- Renew COAs 149-15-CA, 004-16-CA, 055-16-CA
- Changes to the same COAs including site material locations and minor design changes to the playground design, path dimensions, removal of grove rooms and trellis size.

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

539109

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 10 copies
 - Additions Greater than 25% of Building Square Footage
 - New Buildings
 - Demo of Contributing Historic Resource
 - All Other
- Post Approval Re-review of Conditions of Approval

For Office Use Only	
Transaction #	539109
File #	190-17-MW
Fee	Ø
Amount Paid	Ø
Received Date	12/13/17
Received By	Pam Bast

Property Street Address 201 South Blount Street

Historic District Moore Square Historic District

Historic Property/Landmark name (if applicable) Moore Square

Owner's Name State of North Carolina

Lot size 4.09

(width in feet) 422

(depth in feet) 422

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Sasaki Associates by Zachary Chrisco

Mailing Address 64 Pleasant Street

City Watertown

State MA

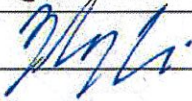
Zip Code 02472

Date 12/12/17

Daytime Phone (617) 923-7118

Email Address zchrisco@sasaki.com

Applicant Signature



Office Use Only

Will you be applying for rehabilitation tax credits for this project? Yes No

Type of Work

89, 91

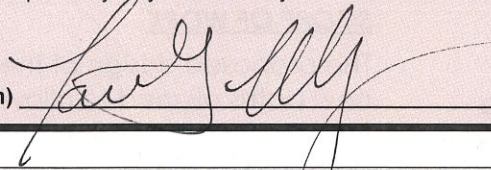
Did you consult with staff prior to filing the application? Yes No

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
See attached		
		Renew COAs
		149-15-CA
		004-16-CA
		055-16-CA
		Change in proposed material locations
		Minor design changes such as for playground, smaller trellis, etc...

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 12/19/18. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh)  Date 12/18/17

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. <u>Minor Work</u> (staff review) – 1 copy <u>Major Work</u> (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			

Current materials plan enlargement (9-12-2017 Conformance Set)

SASAKI

64 Pleasant Street, Watertown, Massachusetts 02472 USA
 ☎ 617 926 3300 ☎ 617 924 2748 🌐 www.sasaki.com

*Changes approved
 12/19/17
 TGT*

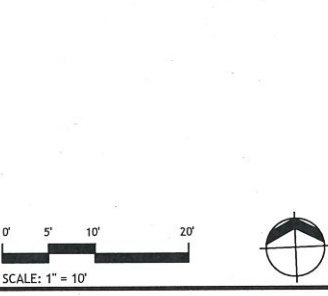
No.	VE MODIFICATIONS	Date
3	VE MODIFICATIONS	09/12/17

DWG ISSUE & REVISION HISTORY

Stamp

ISSUED FOR BID

Key Plan



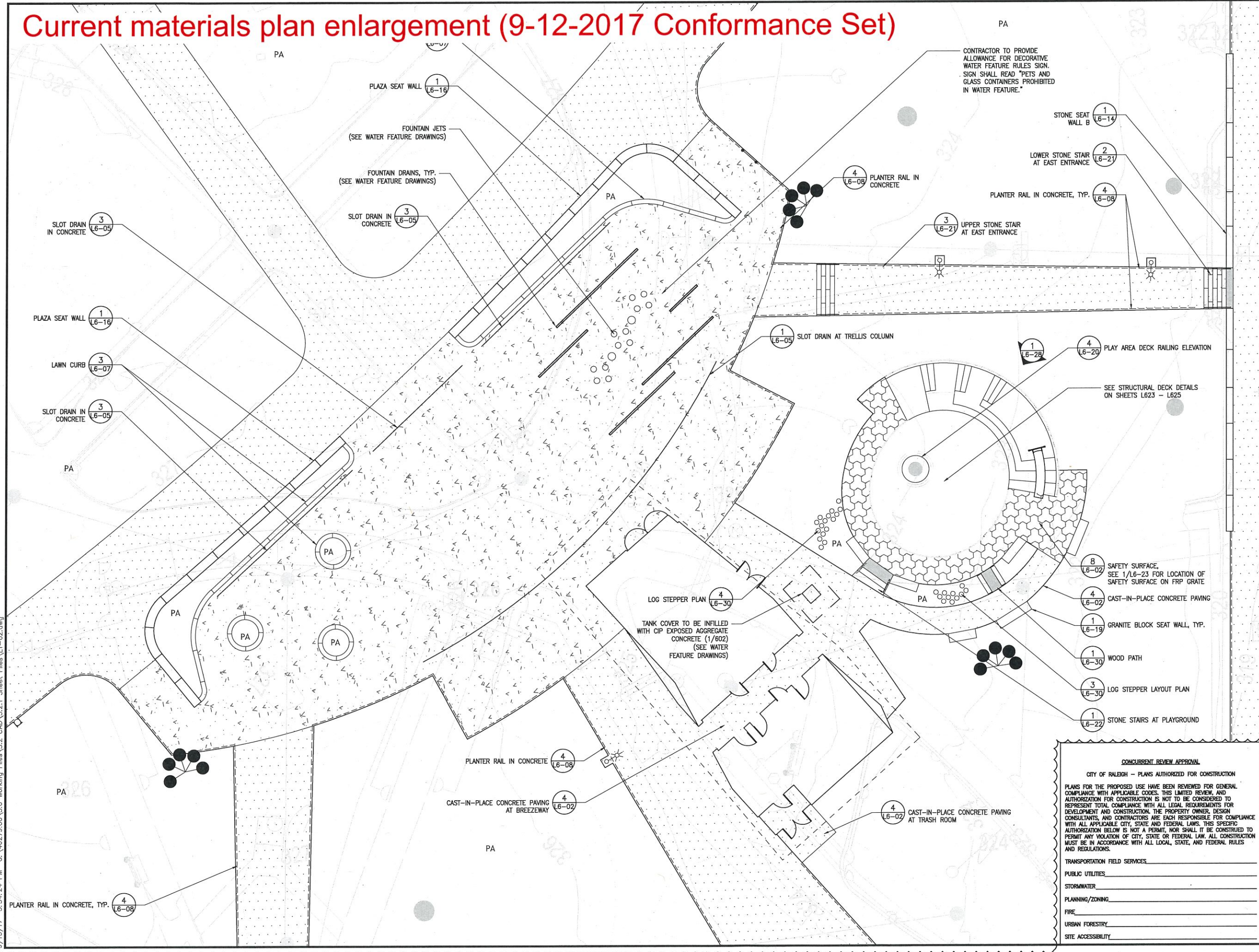
Project Title:
MOORE SQUARE
 CITY OF RALEIGH PARKS
 222 W. HARGETT ST.
 RALEIGH, NC 27601

Drawing Title:
MATERIALS ENLARGEMENT PLAN

Project No. 46279.00 Scale: 1"=10'
 Drawn By: RT, HF, CM, AP
 Checked By: EH
 Approved By: ZC, GF
 Date: 4.19.2017

Drawing No. **L1-02**

9/13/17 5:34:24 PM G:\46279.00\3.0 Working Files\3.2 CAD\3.2.1 Sheet Files\L1-02.dwg



CONCURRENT REVIEW APPROVAL
 CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

PLANS FOR THE PROPOSED USE HAVE BEEN REVIEWED FOR GENERAL COMPLIANCE WITH APPLICABLE CODES. THIS LIMITED REVIEW AND AUTHORIZATION FOR CONSTRUCTION IS NOT TO BE CONSIDERED TO REPRESENT TOTAL COMPLIANCE WITH ALL LEGAL REQUIREMENTS FOR DEVELOPMENT AND CONSTRUCTION. THE PROPERTY OWNER, DESIGN CONSULTANTS, AND CONTRACTORS ARE EACH RESPONSIBLE FOR COMPLIANCE WITH ALL APPLICABLE CITY, STATE AND FEDERAL LAWS. THIS SPECIFIC AUTHORIZATION BELOW IS NOT A PERMIT, NOR SHALL IT BE CONSTRUED TO PERMIT ANY VIOLATION OF CITY, STATE OR FEDERAL LAW. ALL CONSTRUCTION MUST BE IN ACCORDANCE WITH ALL LOCAL, STATE, AND FEDERAL RULES AND REGULATIONS.

TRANSPORTATION FIELD SERVICES _____
 PUBLIC UTILITIES _____
 STORMWATER _____
 PLANNING/ZONING _____
 FIRE _____
 URBAN FORESTRY _____
 SITE ACCESSIBILITY _____

