



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

620 N EAST STREET

Address

OAKWOOD

Historic District

Historic Property

110-17-MW

Certificate Number

06-27-2017

Date of Issue

12-27-2017

Expiration Date

Project Description:

- Install gutters & downspouts;
- install concrete patio;
- enclose lower level of rear porch

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center;">For Office Use Only</p> Transaction # <u>517044</u> File # <u>110-17-MW</u> Fee <u>\$29.00</u> CR# 1404 Amount Paid <u>\$29.00</u> Received Date <u>6-6-17</u> Received By <u>Pruthi</u>
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Property Street Address 620 N East Street

Historic District: Historic Oakwood

Historic Property/Landmark name (if applicable): The Old Schoolhouse

Owner's Name: Clint Stevenson & Kathryn Tate

Lot size	(width in feet) 47.5 feet	(depth in feet) 110 feet
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For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address
n/a	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Clint & Kathryn Stevenson

Mailing Address 620 N East Street

City Raleigh

State NC

Zip Code 27604

Date

Daytime Phone 919-800-9297 (Clint)/ 919-605-3292 (Kathryn)

Email Address clintdstevenson@gmail.com / khtate@gmail.com

Applicant Signature

Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application?

Yes No

Office Use Only

Type of Work _____

57, 40, 55
/ /

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.3 (page 13)	Site features & Plantings	<ol style="list-style-type: none"> We propose to convert the area underneath the existing deck to a shop and shed area per attached plans. External remaining walls will be covered with board and batten siding, congruent with similar utility spaces (see pictures of 610 N Bloodworth). On the floor of the shop/shed area, we propose to pour a concrete slab. The concrete will extend beyond the footprint of the house 4-6 feet (see drawings attached). We will use brick to match the existing structure on for the foundation for the concrete walkway (see pictures of existing brick and matching brick to be used). We are still shopping for second hand wooden doors that meet COA guidelines. We will submit specs for approval for doors prior to installation. We also propose to pour a small concrete stoop outside the existing exterior door per attached plans. We will install a small roof structure over this stop area per attached plans, with shingles to match existing roof. We propose to install gutters to rooflines that currently do not have them, in a style that matches the existing structure (see attached pictures). <p>None of the proposed work will interfere with existing vegetation, as it is located well away from work area (see attached survey with vegetation).</p> <p>See attached plans for description and specs of all materials.</p>
3.1 (page 27)	Wood	
3.2 (page 28)	Masonry	
3.5 (page 35)	Roofs	
3.6 (page 37)	Exterior Walls	
3.7 (page 41)	Windows & Doors	
4.2 (page 55)	Additions to Historic Buildings	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 12/27/17. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) *[Handwritten Signature]* Date 6/27/17

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 10 copies</p>			✓		
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		✓		
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>		✓		
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				

June 6, 2017

Dear Tania,

Thank you for your help on this so far. We think we've hit all the points you suggested, and we're hopeful that this will be what you need for a minor work application. Please let us know if anything is missing or needs to be tweaked.

It sounds like your office is pretty busy, but we are hoping for a conditional approval minimally by June 30 at the latest. Bob mentioned that the building permit fee structure changes pretty drastically on July 1, and he's hoping to pull permits before that as well as squeeze us in before our baby gets here ☺. We do understand that you all have full plates, so we appreciate anything you can do there.

Thanks again – been great working with you so far, and we look forward to getting going on this.

Kathryn & Clint
6020 N East

Per 6/27/ Phone Conv. Wood door specs approved. If ~~an~~

1. Materials:

a. Doors: We are currently shopping around for door options. We are aware of the guidelines, are consulting with our builder who has considerable experience with them, and will submit specs for approval before installation.
 ~~another~~ product selected

b. Board & Batten siding: Will use identical to 610 North Bloodworth

reach back to

Staff -
KGT



- d. Brick: We will use brick to match existing. Below are two pictures. One is the brick used at 515 N Boundary Street on a recent addition. We will use this same brick on the current project, as it matches existing brick.



Brick at 515 N Boundary



Existing brick at 620 N East Street

f. Gutters (see pictures)

We propose to add gutters on all rooflines currently missing them. As of now, the only rooflines with gutters are those associated with the screened in porch. We will use the same style as pictured here (existing).

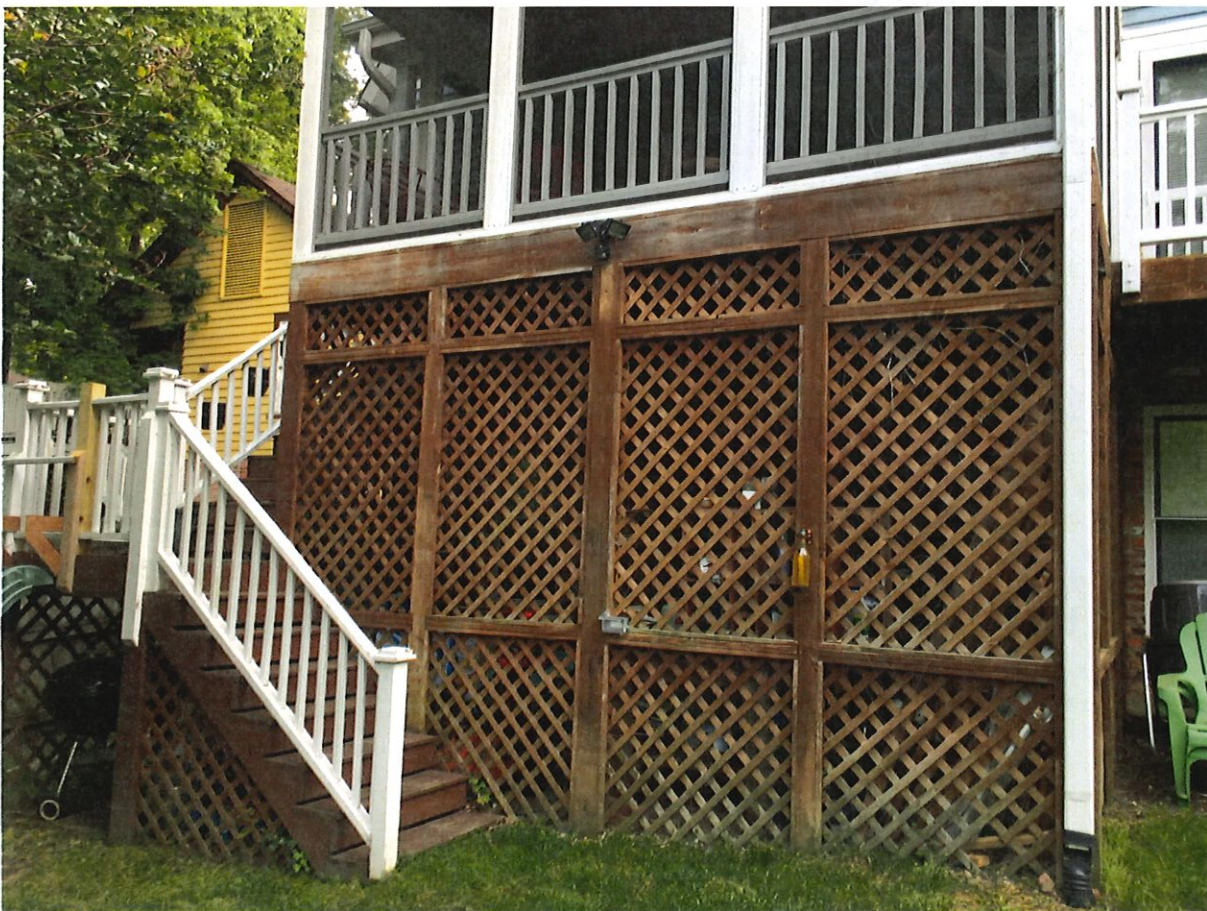


Photographs:

Front of house



Existing porch area (close in lower portion per plans)





Existing side door. Propose concrete stoop and stoop cover.



PROJECT

STRUCTURAL PLANS

FOR:

KATHYRN
& CLINT
STEVENSON

PLAN

3-SEASON
PORCH

SUBDIVISION:

620
N. EAST ST.

THOMAS A. BETTS
CUSTOM
HOME PLANS
3103 CLARK AVE., RALEIGH, N.C. 27601
(919) 832-1801

DRAWN BY:

THOMAS BETTS

DATE:

JUNE 2017

SHEET:

2 OF 6

NOTE:

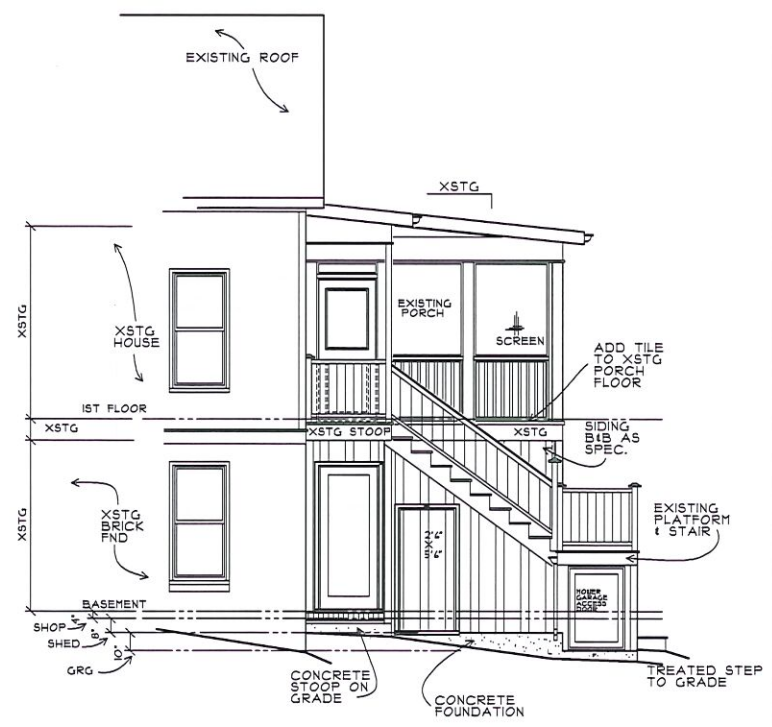
THOMAS A. BETTS CUSTOM HOME PLANS HAS NO RESPONSIBILITY FOR CODE COMPLIANCE OR THE LOCAL CAROLINA STATE BUILDING CODES MUST BE MET BY CONSTRUCTION.

ALL STRUCTURAL COMPONENTS SUCH AS STEEL BEAMS AND RODS ARE NOT COVERED BY THESE PLANS UNLESS A MANUFACTURER LETTER OR ENGINEER STAMPING SHALL BE ADDRESS EACH ITEM ALL LETTERS WILL BE IDENTIFIED FOR PLAN CORRECTION AND AT THE PERMITS INSPECTOR.

THE CONTRACTOR SHALL BE RESPONSIBLE THAT ALL DIMENSIONS AND SPACING REFERENCED IN THIS CONSTRUCTION IS CASE OF ANY ON SITE CHANGES OR ANY VARIATIONS FROM THE PLAN. IT IS THE USER RESPONSIBILITY AND CORRECT ANY VIOLATIONS BEFORE COMMENCEMENT OF CONSTRUCTION.

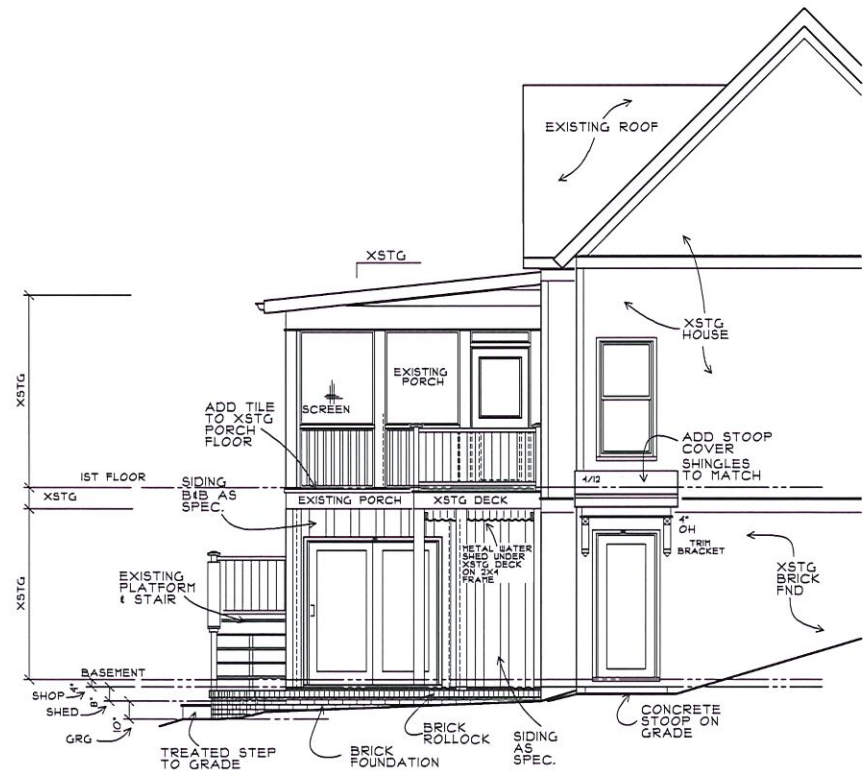
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PERMITS AND ALL LOCAL REGULATIONS AND AT THE PERMITS INSPECTOR.

© 2017 THOMAS A. BETTS CUSTOM HOME PLANS



RIGHT ELEVATION

SCALE 1/4" = 1'-0"
1 2 3 4 5 6 7 FT.



LEFT ELEVATION

SCALE 1/4" = 1'-0"
1 2 3 4 5 6 7 FT.

FOOTING NOTE:

CONTINUOUS CONCRETE FOOTING UNDER FOUNDATION WALL TO BE CONSTRUCTED IN ACCORDANCE WITH NCRC (IRC) CODES ON UNDISTURBED NATURAL SOILS OR ENGINEERED FILL.

MINIMUM FOOTING SIZE DETERMINED BY SOIL BEARING VALUE AND STRUCTURE TAKEUP SHALL BE NO LESS THAN 12" BELOW FINISH GRADE AND IN NO CASE LESS THAN THE FROST LINE.

SEE ENGINEER'S SPECIFICATIONS FOR FOOTING WIDTH AND DEPTH FOOTING.

4" BRICK w/ 4" BLOCK WITH 8" SOLID CAP ON 18"x8" FOOTING.

MINIMUM PROJECTION 2" AND NOT TO EXCEED FOOTING DEPTH.

FOUNDATION NOTE:

CONCRETE AND CLAY MASONRY FOUNDATION WALLS CONSTRUCTED BY NCRC (IRC) CODES

FOUNDATIONS SHALL EXTEND NOT LESS THAN 12" BELOW FINISHED GRADE AND IN NO CASE LESS THAN FROST LINE DEPT.

FOUNDED CONCRETE SPECIFIED PER NC RES BUILDING CODE

SOLID MASONRY CAP WITH 1/2" DIA. ANCHOR MIN. 12" INTO FND. MAX. 4 FT. MAX. PLATE SECTION OR APPROVED FASTENERS.

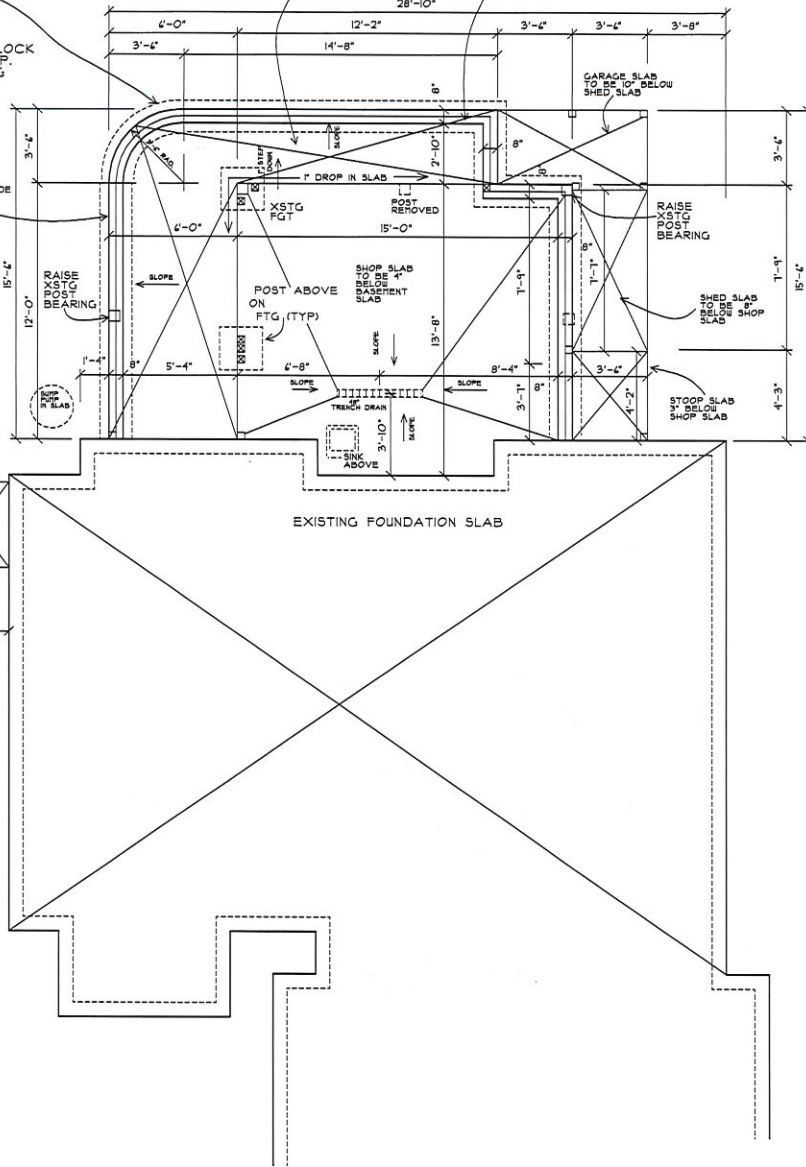
RECOMMEND USING TRTD 1/4" FT 3" SILL PLATES BEGN ANCHOR SPACING CENTERED BETWEEN CORNERS OF SA FND WALL & EITHER END OR CENTER OF TREATED SILL PLATE AS NEEDED.

FOUNDATION

ALL FOUNDATION WALLS 8" BLOCK PARGED OR 4" BRICK w/ 4" BLOCK w/ 8" SOLID CAP ON CONTINUOUS CONCRETE FOOTING.

4" CONCRETE SLAB WITH ROLLBACK EDGE OVER TAPPED DIRT OR STONE FILL AND EXPANSION JOINT ON PERIMETER MASONRY.

FIELD ADJUST PORCH SLAB ON GRADE



NOTE:

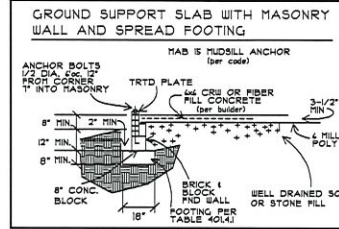
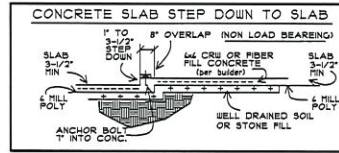
○ THESE SYMBOLS DENOTES POINT LOAD ABOVE.

NOTE:

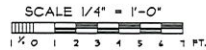
WOOD FRAMING TO BE BOLTED TO FOUNDATION WALL WITH 1/2" HOOKED BOLT EXTENDING 1" INTO MASONRY OR 1" INTO SLAB, w/m 12" FROM PLATE ENDS, MAX. 4 FT O.C. USE OF OTHER ANCHORS FOLLOW MANF. INSTRUCTIONS

NOTE:

DRAINAGE, WATERPROOFING AND DAMPROOFING FOUNDATIONS PER NCRC (IRC)



FOUNDATION PLAN



XSTG CEILING HEIGHT
AREA MEASURED TO OUTSIDE OF SLAB
350 SQ FT MONOLITHIC SLAB
11 SQ FT SLAB ON GRADE

CODE NOTE:

ALL CONSTRUCTION SHALL BE IN COMPLIANCE WITH THE 2012 NORTH CAROLINA RESIDENTIAL BUILDING CODE (IRC 2009) FOR ONE AND TWO STORY FAMILY DWELLINGS WITH NORTH CAROLINA AMENDMENTS.

NOTE:

ALL DIMENSIONS AND SQUARE FOOTAGES ARE APPROXIMATE, FIELD CONDITIONS MAY CAUSE SOME VARIANCES

PROJECT

STRUCTURAL PLANS

FOR:

KATHYRN & CLINT STEVENSON

PLAN

3-SEASON PORCH

SUBDIVISION:

620 N. EAST ST.

THOMAS A. BETTS
CUSTOM HOME PLANS

3103 CLARK AVE., RALEIGH, N.C. 27607

(919) 852-1801

DRAWN BY:

THOMAS BETTS

DATE:

JUNE 2017

SHEET:

3 OF 6

NOTE:

THOMAS A. BETTS CUSTOM HOME PLANS HAS NO RESPONSIBILITY FOR CODE COMPLIANCE. ALL OF THE NORTH CAROLINA STATE BUILDING CODES MUST BE MET IN CONSTRUCTION.

ALL STRUCTURAL COMPONENTS SUCH AS STEEL BEAMS AND BRACKETS ARE TO BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S LETTER OR AS INDICATED THEREIN. ALL LETTERS MUST BE OBTAINED FROM THE MANUFACTURER. ALL LETTERS MUST BE OBTAINED FROM THE MANUFACTURER AND BE SUBMITTED FOR PLAN APPROVAL AND AT THE TIME OF INSPECTION.

T. BETTS HOME PLANS RECOMMENDS THAT ALL DIMENSIONS AND BEARS BE VERIFIED BEFORE CONSTRUCTION IN CASE OF ANY DISCREPANCY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND BEARS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND BEARS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND BEARS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND BEARS.

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620
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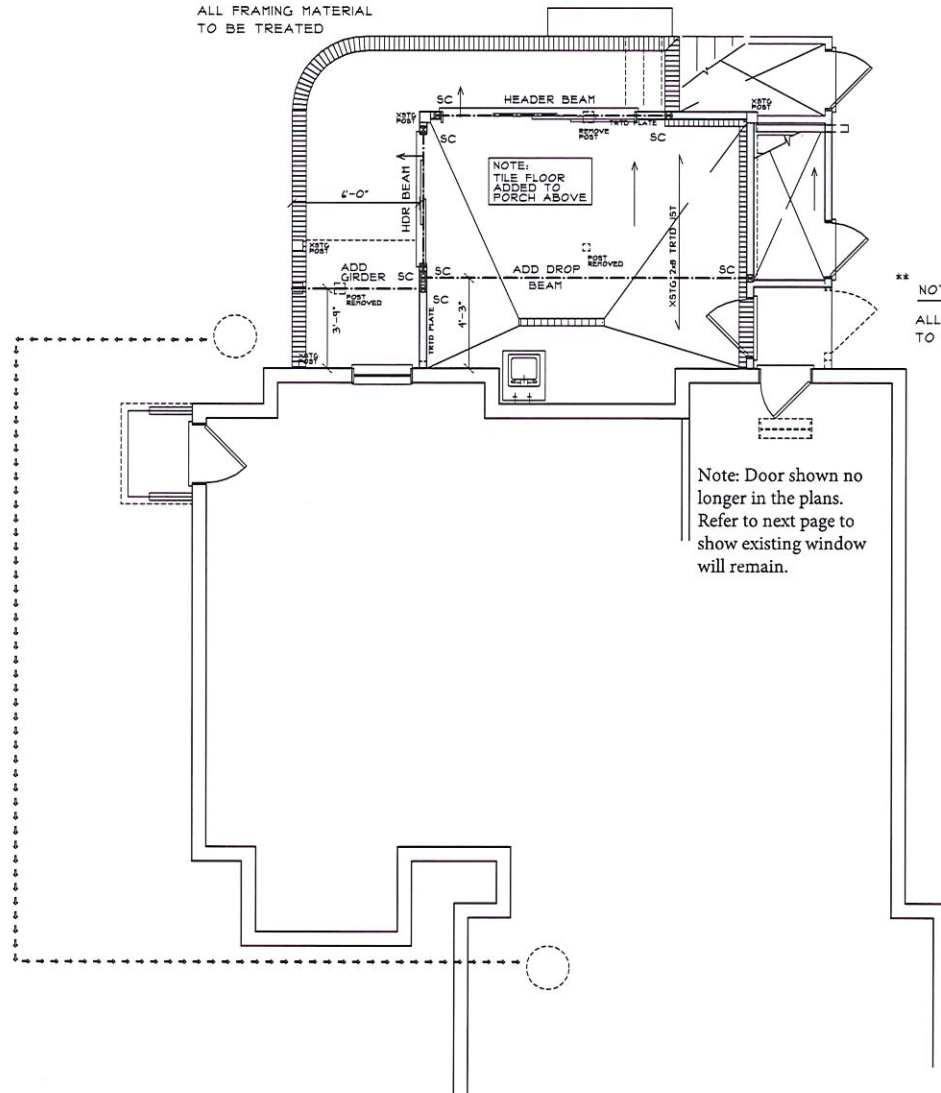
ALL STRUCTURAL COMPONENTS SUCH AS STEEL BEAMS AND MEMBERS MUST BE COVERED BY CODE LIST HAVE APPROVED MANUFACTURER LETTER OR AN ENGINEER CONTROL SEAL ON ADDRESS EACH COPY ALL LETTERS MUST BE SIGNED AND DATED BY THE ARCHITECT AND THE FRAMING INSPECTOR.

T. BETTS HOME PLANS RECOMMENDS THAT ALL DIMENSIONS AND FINISHES BE VERIFIED ON SITE. CHANGES OR ANY VARIATIONS FROM THE PLAN SHALL BE THE SOLE RESPONSIBILITY OF THE USER. THE USER IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND REGULATIONS TO THE NORTH CAROLINA STATE BUILDING CODES.

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** NOTE **

ALL FRAMING MATERIAL
TO BE TREATED



NOTE:

ALL EXTERIOR 4
BEARING HEADERS
2-2x10 U.N.O.

NOTE:

STEEL FLITCH BOLTS
2 u/in. 6" OF EA. END
STAGGERED 24"oc HI-LOW

HEADER SCHEDULE FOR LOAD WALLS ONLY	
SPAN	SIZE
LESS THAN 3'-0"	C12X4
3'-0" TO 4'-0"	C12X6
4'-0" TO 6'-0"	C12X8
6'-0" TO 8'-0"	C12X10
UNLESS OTHERWISE NOTED	

** NOTE **

ALL FRAMING MATERIAL
TO BE TREATED

Note: Door shown no
longer in the plans.
Refer to next page to
show existing window
will remain.

SHOP
FRAME & BRACE

SCALE 1/4" = 1'-0"
1 1/2 0 1 2 3 4 5 6 1 FT.

CODE NOTE:

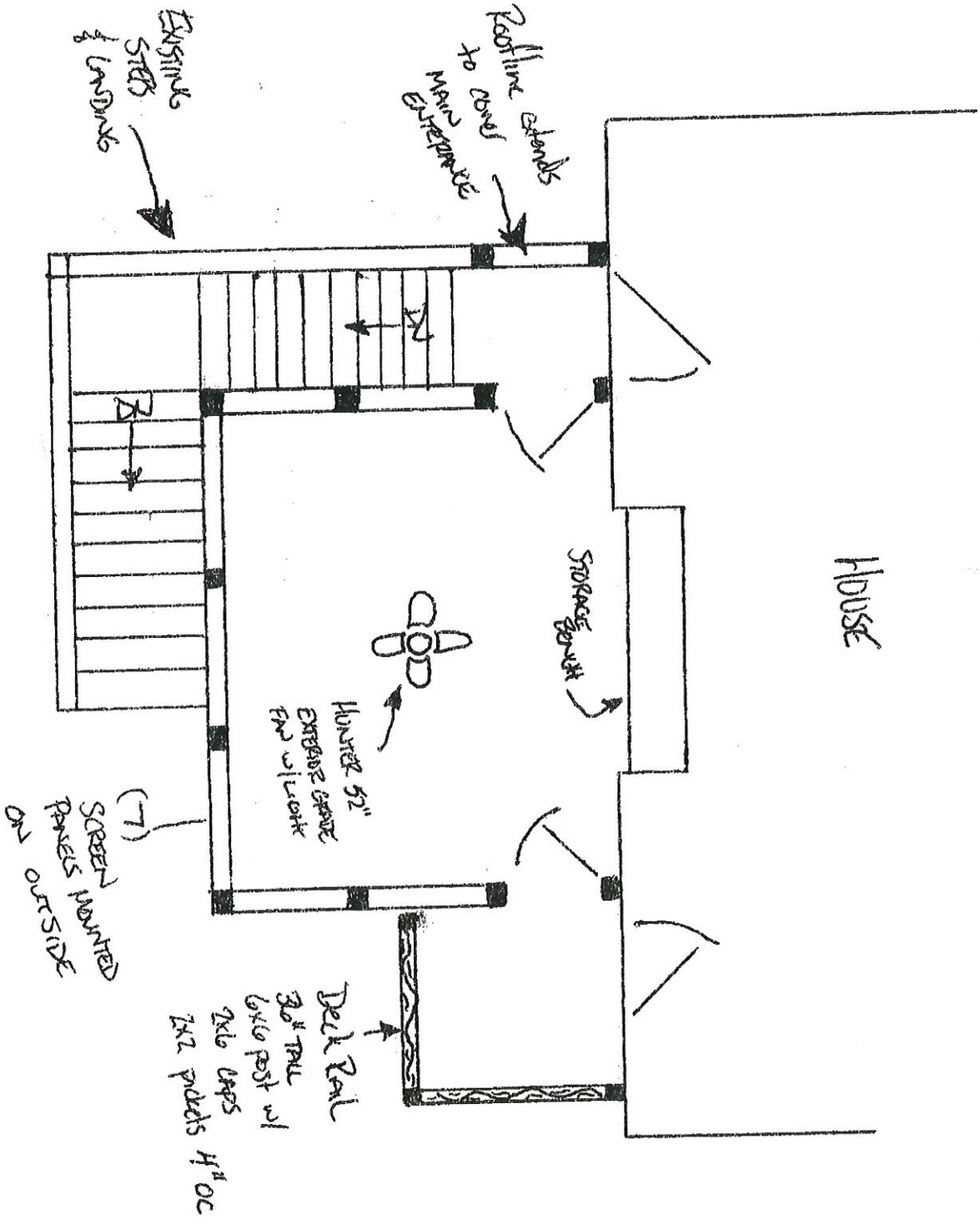
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NOTE:

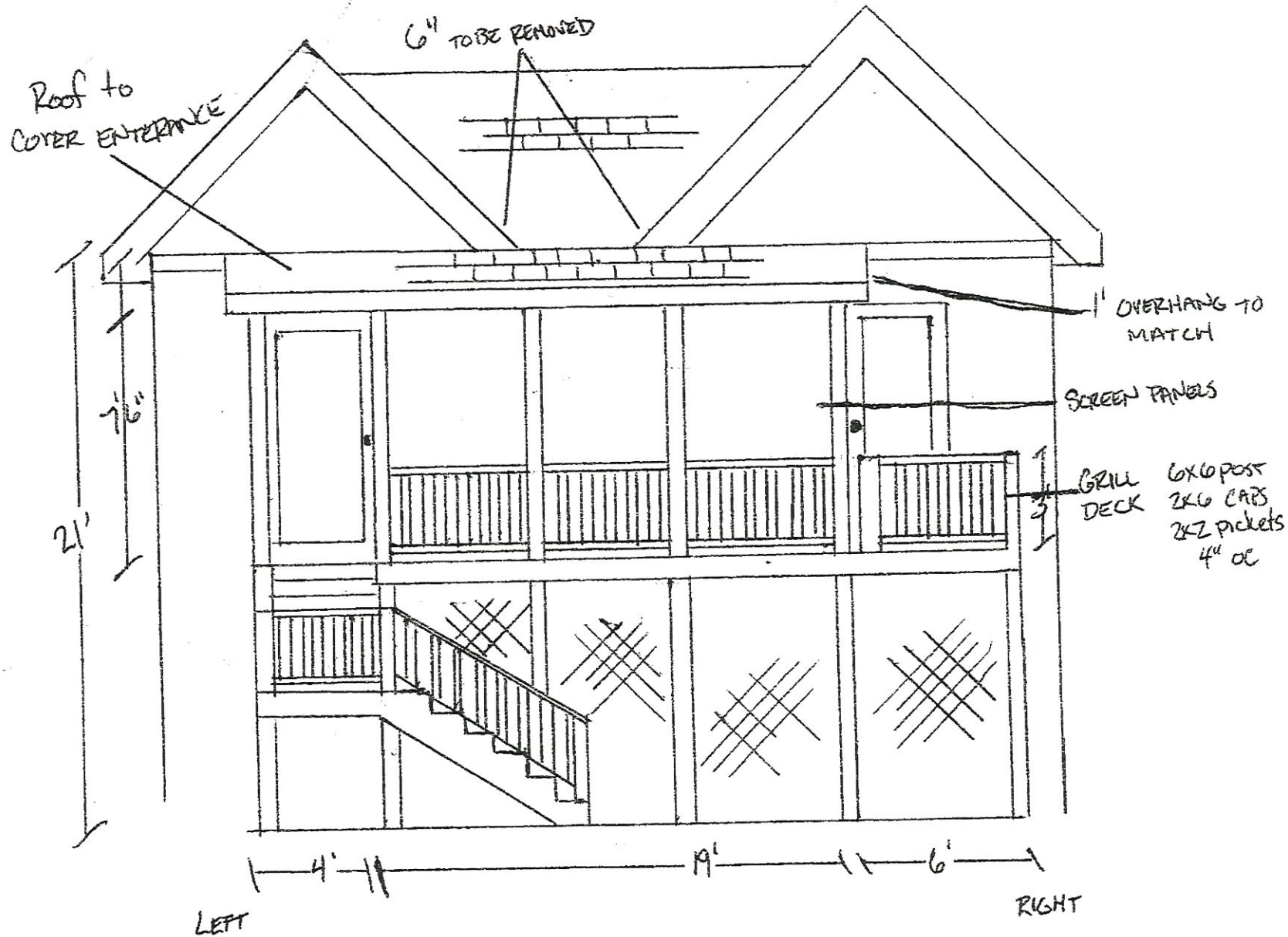
ALL DIMENSIONS AND SQUARE FOOTAGES ARE APPROXIMATE. FIELD CONDITIONS MAY CAUSE SOME VARIANCES

Drawings of existing porch
 Plans included
 in previous CDA
 application for addition
 of screen porch. Including to
 show existing

CLIENT COPY

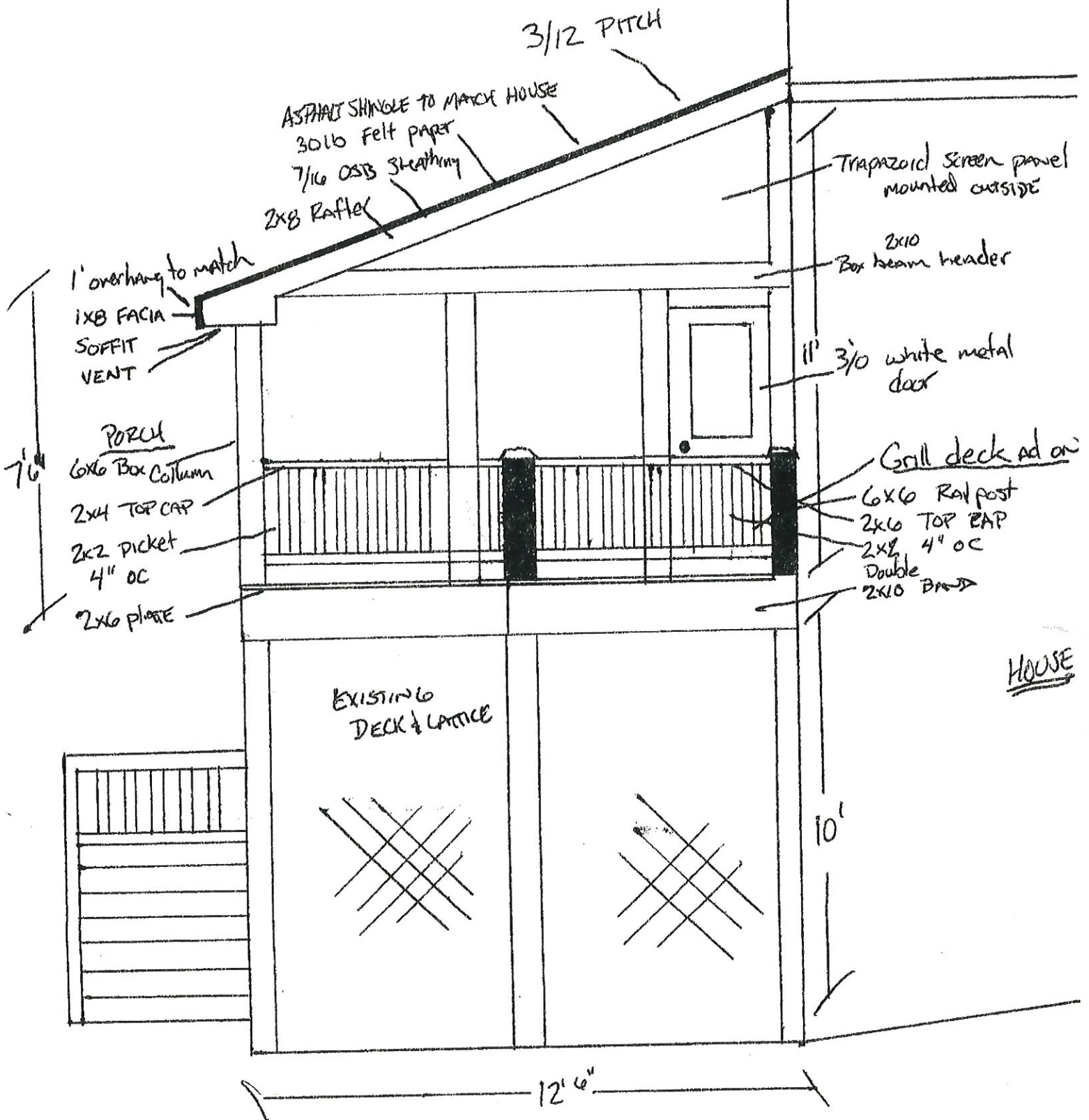


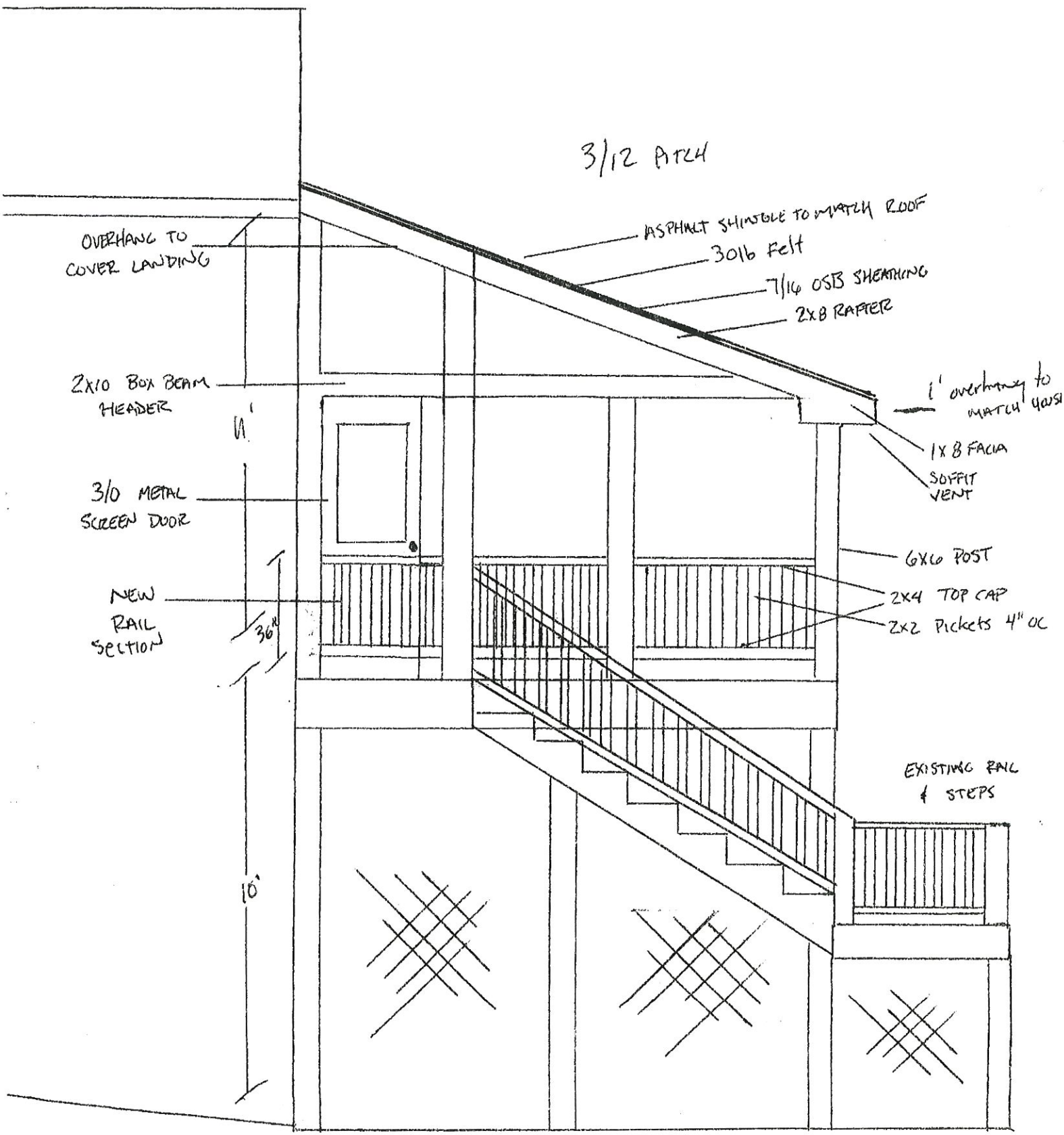
LESSA Plans Footprint



LESSA REAR ELEVATION

Lessa Job Profile





3/12 PITCH

OVERHANG TO COVER LANDING

ASPHALT SHINGLE TO MATCH ROOF

30lb Felt

7/16 OSB SHEATHING

2x8 RAFTER

2x10 BOX BEAM HEADER

1' overhang to MATCH HOUSE

1x8 FASCIA SOFFIT VENT

3/0 METAL SCREEN DOOR

6x6 POST

NEW RAIL SECTION

36"

2x4 TOP CAP

2x2 PICKETS 4" OC

EXISTING RAIL & STEPS

10'

12' 6"

4'

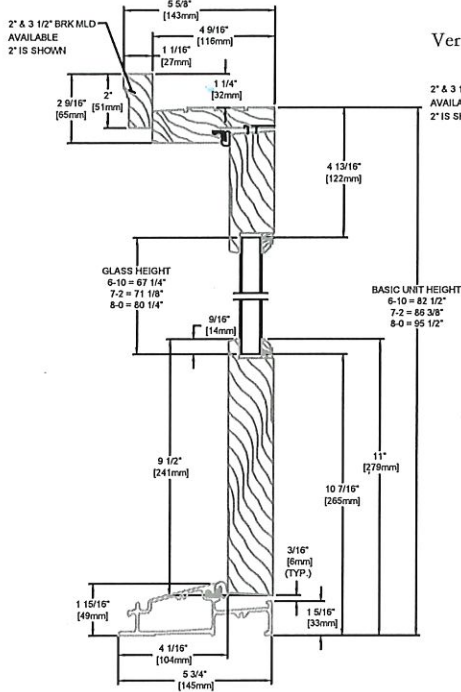
LESSA SOUTHERN PROFILE



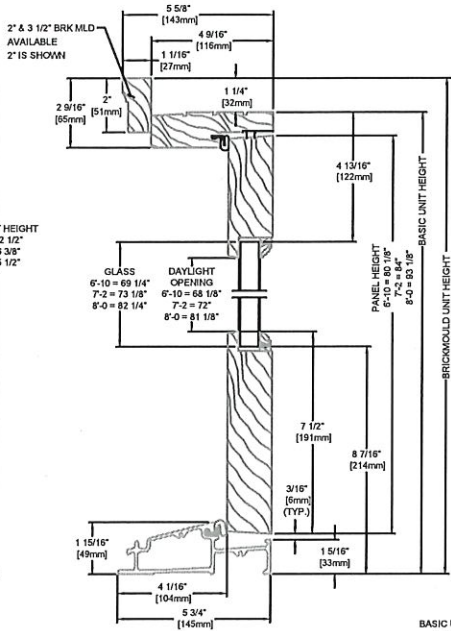
Wood / Wood - French Inswing Patio Doors

SECTION DETAILS
Scale 1"=1"
4 9/16" JAMB

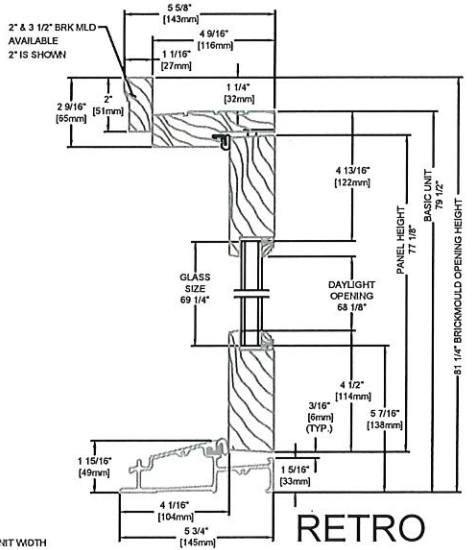
Vertical Section w/ 9 1/2" Bottom Rail - Standard Sill



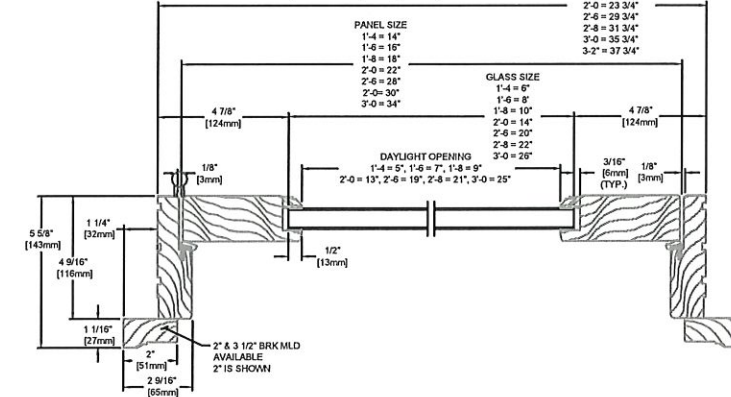
Vertical Section w/ 7 1/2" Bottom Rail - Standard Sill



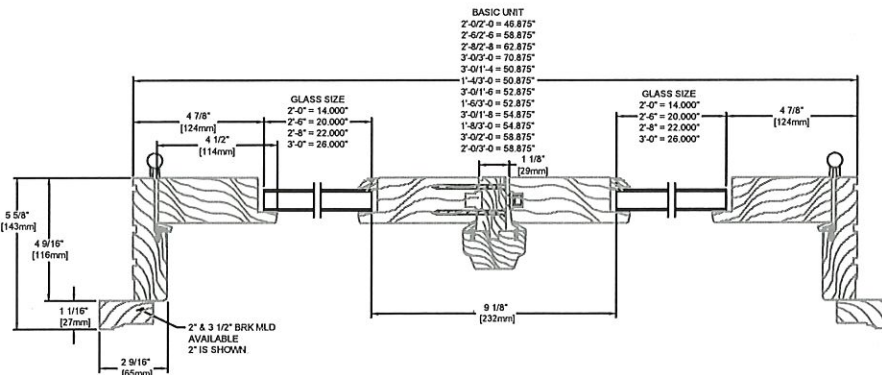
Retro Vertical Section Narrow Bottom Rail - Standard Sill



Horizontal Section - 1-Wide, 1-Panel, Single Operation



French Horizontal Section - 1-Wide, 1-Panel, Dual Operation





SHARE THIS:

SWINGING PATIO DOOR



(http://hurd.com/sites/default/files/product-images/hrd-11-4-05-074_0.png)

We offer you every choice you can imagine in our patio doors. You can choose doors that swing in or swing out. You can make both doors operable, or just one. And, of course, we offer you multiple choices of interior wood, hardware, glazing and grilles. But best of all, all our patio doors come with the same attention to detail and innovative engineering you've come to expect from Hurd.



(<http://hurd.com/sites/default/files/product-images/hrd-11-4-05-089.png>)
 (<http://hurd.com/sites/default/files/product-images/Phil-Kean-Designs-14.jpg>)
 (<http://hurd.com/sites/default/files/product-images/Phil-Kean-Designs-23.jpg>)
 (<http://hurd.com/sites/default/files/product-images/Phil-Kean-Designs-62.jpg>)

- ☰ [PRODUCT OPTIONS \(/ALL-WOOD-WINDOWS-PATIO-DOORS/SWINGING-PATIO-DOOR?QT-PRODUCT_OPTIONS_TECHNICAL=0#QT-PRODUCT_OPTIONS_TECHNICAL=0\)](/ALL-WOOD-WINDOWS-PATIO-DOORS/SWINGING-PATIO-DOOR?QT-PRODUCT_OPTIONS_TECHNICAL=0#QT-PRODUCT_OPTIONS_TECHNICAL=0)
- 📖 [TECHNICAL DESCRIPTION \(/ALL-WOOD-WINDOWS-PATIO-DOORS/SWINGING-PATIO-DOOR?QT-PRODUCT_OPTIONS_TECHNICAL=1#QT-PRODUCT_OPTIONS_TECHNICAL=1\)](/ALL-WOOD-WINDOWS-PATIO-DOORS/SWINGING-PATIO-DOOR?QT-PRODUCT_OPTIONS_TECHNICAL=1#QT-PRODUCT_OPTIONS_TECHNICAL=1)
- H3 [ADVANTAGE \(/ALL-WOOD-WINDOWS-PATIO-DOORS/SWINGING-PATIO-DOOR?QT-PRODUCT_OPTIONS_TECHNICAL=2#QT-PRODUCT_OPTIONS_TECHNICAL=2\)](/ALL-WOOD-WINDOWS-PATIO-DOORS/SWINGING-PATIO-DOOR?QT-PRODUCT_OPTIONS_TECHNICAL=2#QT-PRODUCT_OPTIONS_TECHNICAL=2)
- A [CLOSER LOOK \(/ALL-WOOD-WINDOWS-PATIO-DOORS/SWINGING-PATIO-DOOR?QT-PRODUCT_OPTIONS_TECHNICAL=3#QT-PRODUCT_OPTIONS_TECHNICAL=3\)](/ALL-WOOD-WINDOWS-PATIO-DOORS/SWINGING-PATIO-DOOR?QT-PRODUCT_OPTIONS_TECHNICAL=3#QT-PRODUCT_OPTIONS_TECHNICAL=3)

Construction

- Solid wood primed exterior natural optional.
- Natural pine interior. Prime, paint or stain optional.
- CoreGuard wood treatment.
- Alternative interior and exterior wood species optional.
- 7-1/2" bottom rail on 6'10", 7'2" and 8'0" height panels.
- Pultruded fiberglass sill.
- Basic jamb width 4-9/16".

- Sash profile width 4-1/2".

Performance Glazing

- Available in all Eco System options except FeelSafe.

Weatherproofing

- Perimeter weatherstrip on operable and fixed panels.

Operation

- Sturdy adjustable hinge system on inswing doors.
- Ball bearing butt hinges on outswing doors.
- Mortised lock and keyed deadbolt with 2-3/8" backset.
- Three-point locking hardware.

Options

Operation: Inswing, dual inswing, outswing or dual outswing.

Decorative glazing: Bronze, gray, obscure or stained glass.

Grilles: Hurd simulated divided lite, removable wood grilles, grilles in airspace.

Screens: (Inswing only.) Aluminum frame painted to match clad colors. Charcoal color fiberglass cloth standard, aluminum mesh optional. Optional hinged aluminum storm/screen door with charcoal fiberglass mesh, standard clad colors. No outswing screen available.

Hardware: Three-point locking lever standard. Single-point locking optional on some sizes. Seven finish options.

Other options:

- Standard extension jambs up to 7-3/8".
- Flat exterior casing or brickmould.
- Inswing available with 6-9/16" sill nosing applied.