



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

222 N BLOODWORTH STREET

Address

OAKWOOD

Historic District

Historic Property

092-17-MW

Certificate Number

05-26-2017

Date of Issue

11-26-2017

Expiration Date

- Rebuild east foundation wall
- Install concrete curb on west foundation
- Remove deck
- Convert 2 doors to windows
- Replace light fixtures
- Install mailboxes
- Repaint
- Remove dangerous tree
- Replace roof
- Install gutters
-

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



Minor Work (staff review) – 1 copy

- Major Work (COA Committee review) – 10 copies
- Additions Greater than 25% of Building Square Footage
 - New Buildings
 - Demo of Contributing Historic Resource
 - All Other

Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 513911
 File # 092-17-MW
 Fee _____
 Amount Paid \$2900
 Received Date 5-10-17
 Received By [Signature]

Property Street Address 222 N. Bloodworth Street

Historic District Oakwood

Historic Property/Landmark name (if applicable) _____

Owner's Name Intaglio, LLC [Louis Cherry]

Lot size .09 (width in feet) 41 (depth in feet) 63

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Louis Cherry

Mailing Address 516 Eucild St.

City Raleigh

State NC

Zip Code 27604

Date May 1, 2017

Daytime Phone 919-971-2299

Email Address lou.cherry9@gmail.com

Applicant Signature

Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Office Use Only

Type of Work _____

37, 99, 28, 29, 48,
49, 51, 78, 60, 40

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.2.7, p. 41	Masonry	See attached sheet for details.
1.1.2, p. 19	Public Right of Ways	
1.5.3, p. 27	Walkways, Driveways	
2.7, p. 50	Windows	
2.7.7, p. 51	Windows	
1.1.12, p. 19	Walkways, Driveways	
1.7 p. 31	Lighting	
1.7.3, p. 31	Lighting	
1.7.4, p. 31	Lighting	
1.7.5, p. 31	Lighting	
2.4.3, p. 45	Paint	
2.5.6, p. 47	Roofs	
2.5.8, p. 47	Roofs	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____ Date _____

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF				
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. <u>Minor Work (staff review) – 1 copy</u> ✓ <u>Major Work (COA Committee review) – 10 copies</u>	✓				
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	X <input type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	X <input type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	X <input type="checkbox"/>				
4. Paint Schedule (if applicable)	X <input type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	X <input type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing existing and proposed work <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	X <input type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	X <input type="checkbox"/>			
8. Fee (See Development Fee Schedule)	X <input type="checkbox"/>				

Louis Cherry & Marsha Gordon
222 N. Bloodworth Street for Minor Work.

We request permission for the following:

1. We need to rebuild the foundation of the building. The visible foundation materials will be modular red brick to match the original brick piers.

According to RHDC Guidelines 2.2.7, "If replacement of a large historic masonry surface or entire feature is necessary, replace it in kind, matching the original in design, detail, dimension, color, pattern, texture, and material. Consider compatible substitute materials only if using the original material is not technically feasible."

2. The sidewalk currently drains onto the building and directly into our crawlspace. We will correct the sidewalk drainage issue by casting a concrete curb at the base of the building that will prevent the penetration into the crawl space. The curb will be 4 " or less tall and will meet the bottom of the building siding at the base of the building.

According to RHDC Guidelines 1.1.2 regarding Public Rights of Way, "Repair or replace sidewalks, curbs, and paving where needed, to match adjacent historic materials in design, color, module, pattern, texture, and tooling" (p. 19).

According to 1.5.3, "If replacement of a deteriorated section or element of an existing historic walkway, driveway, or off-street parking area is necessary, replace only the deteriorated portion in kind rather than the entire feature. Match the original section or element in design, dimension, texture, color, and material" (27).

3. We want to remove the noncontributing back deck, which encroaches on our neighbor's property, is in disrepair, and is not original to the structures. According to Tim Simmons at the State Historic Preservation Office, this deck is not original to the structure and can be removed without compromising the building's historic character.

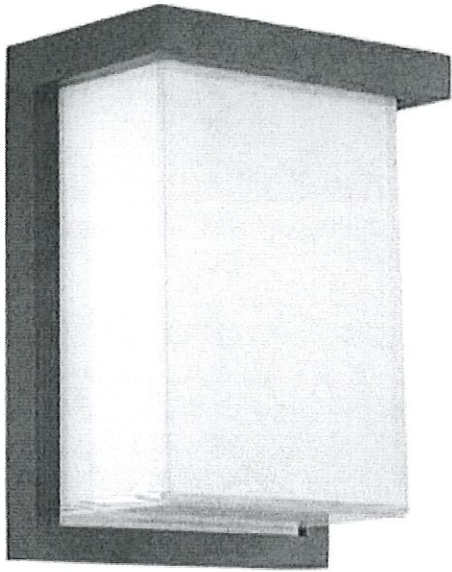
4. Without the back deck, there is no need (and it is a safety hazard) for the back doors that currently exist in two of the spaces (the middle and the right space). We request that we convert these doors into openable windows. They will be JeldWen 1 over 1, wood double hung windows. According to Tim Simmons at the State Historic Preservation Office, these doors can be turned into windows.

According to RDHC Guidelines 2.7, "Although many types of windows are found in early Raleigh buildings, a majority of those found in early houses are wooden double- hung windows. Each sash, depending on the style and the age of the house, may be divided, usually by muntins that hold individual lights (panes) in place. The introduction of mass-produced metal windows and doors contribute to the variety of configurations, like picture windows and clerestories found in postwar architecture. More so than houses, commercial and institutional buildings often established a hierarchy through the placement, size, and scale of windows and doors. The front facade, particularly its first floor, was usually distinguished from the less significant facades with larger, more decorative windows and doors.

Changing existing window and door openings, closing existing openings, or adding new openings on a historic building should be carefully considered and undertaken only for compelling reasons. Changes to original openings in a character-defining facade should never be considered. For less significant facades, the pattern of proposed openings should be characteristic of and complementary to the historic building and the historic district context."

According to 2.7.7, "If a historic window or a door is completely missing, replace it with a new unit based on accurate documentation of the original or a new design compatible with the original opening and the historic character of the building."

5. We request permission to add exterior light fixtures, Modern Forms "Ledge", WS-1408 Graphite, which measure 6"W X 8"H; with 4" Extension. According to the RHDC Guidelines for Lighting, "Contemporary fixtures that are inconspicuous or that complement the style and the character of the building may be selected for historic buildings."



According to RHDC Guidelines for Lighting 1.1.12 (p. 19), "It is not appropriate to introduce new paving materials, lighting, streetscape features, and furniture in the historic districts in an attempt to create a false historical appearance."

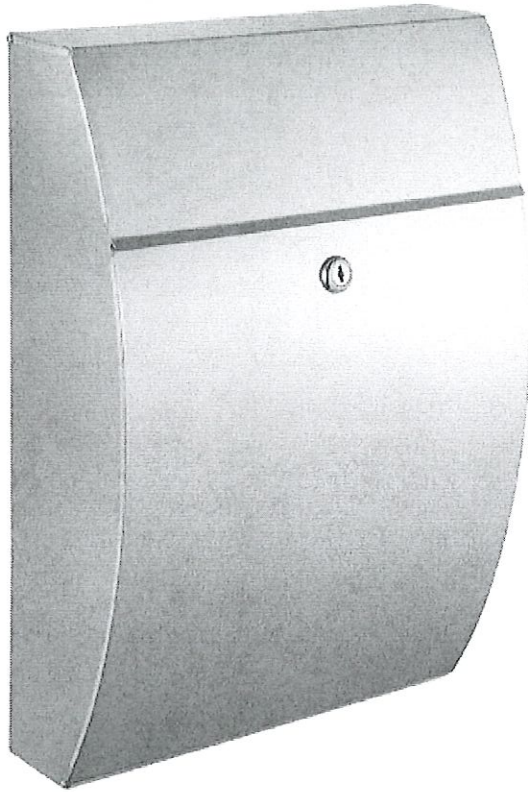
According to the RHDC 1.7, "Contemporary fixtures that are inconspicuous or that complement the style and the building's character may be selected for historic buildings. Simple, discreet styles and materials are usually successful" (30).

According to 1.7.3, "If replacement of a missing or deteriorated historic exterior lighting fixture is necessary, replace it with a fixture that is similar in appearance, material, and scale to the original, or with a fixture that is compatible in scale, design, materials, color, finish, and historic character with the building and the streetscape."

According to 1.7.4 "Introduce new site and street lighting that is compatible with the human scale and the historic character of the district or local landmark. Consider the location, design, material, size, color, finish, scale, light color, and brightness of a proposed fixture in determining its compatibility."

According to 1.7.5, "In the residential historic districts, introduce low-level lighting to provide for safety and security where needed."

6. We would like to install locking mailboxes so that our tenants can safely get their mail delivered. We would like to install mailboxes that look like: <https://www.wayfair.com/Qualarc-Winfield-Series-Locking-Wall-Mounted-Mailbox-CHA1254.html>



7. We are going to repaint the building. It was originally white; then green; and now it is purple. We would like to paint it medium gray with white trim and red doors. See the attached paint schedule. The grey is Sherwin Williams SW7066, Gray Matters; the trim is SW 7063, Nebulous White; the doors are SW 6594, Pointsettia.

According to RHDC Guidelines 2.4.3, “When repainting, select paint colors appropriate to the historic building and district. Enhance the features of a building through appropriate selection and placement of paint color consistent with its architectural style. In particular, the foundation color is usually darker than the body of the building in order to visually anchor it to the ground.”

8. There is large tree that leans directly over the building, and it is rotten. A certified arborist report attesting to the need to remove the tree is attached. The arborist expressed to us an urgency to its removal; he says it is on the verge of falling onto the building, so we would appreciate expedited approval on this matter.

Given our very small lot size and that most of the lot is sloping down into a valley behind the building, there is not an ideal place for a tree replacement that will not cause damage to the building’s foundation in the future. However, if we are required to replace the tree we are removing we can try a dogwood on the farthest back edge of our property.

9. We need to replace the roof, which has numerous penetrations and leaks. Nothing will change about the roof beyond replacing the current asphalt shingles with GAF Timberline HD, color: Oyster Gray.

According to 2.5.6, .6 “If a historic roof feature is completely missing, replace it with a new feature based on accurate documentation of the original feature or a new design compatible in scale, size, material, and color with the historic building and district.”

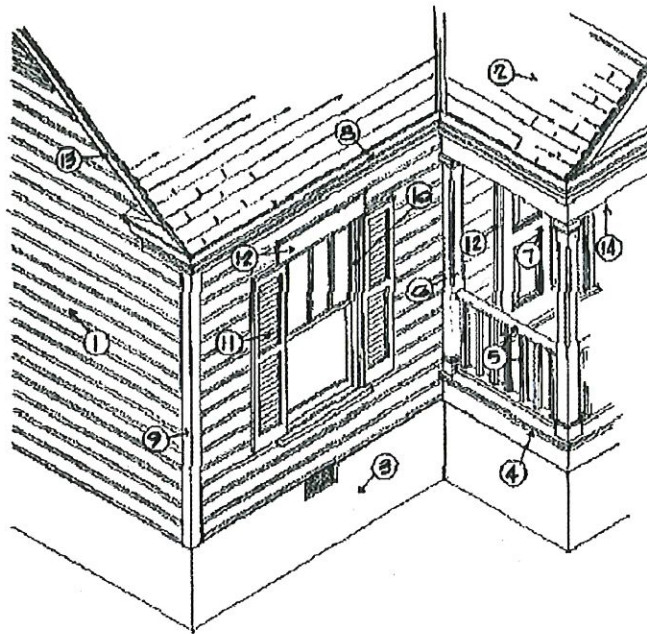
10. The building has never had gutters, but we propose to add them to help with drainage issues. We will use 6" half-round galvalume

According to 2.5.8, "If new gutters and downspouts are needed, install them so that no architectural features are lost or damaged. Select new gutters and downspouts that match trim color, unless they are copper. For modest postwar roofs, galvanized metal may be an appropriate choice."

Tidwell's Tree Service Leslie Tidwell, ISA# SO5750-A 2709 Old Milburnie Rd Raleigh, NC 27604 (919) 771-7396	<h1>PROPOSAL</h1>	
JOB SITE:	Customer Name: _____ MARSHA GORDON Address: _____ 222 N. BLOODWORTH RALEIGH Phone: _____ (919) 247-2443 Email: _____	
DATE: _____		
DESCRIPTION ASSESSMENT FOR 30 INCH DBH ASH TREE ON LANE & NORTH BLOODWORTH RECOMMENDED FOR REMOVAL CAUSE DUE TO ROOT ROTTEN CERTIFIED ARBORIST # SO5750-A REMOVAL EST 3200 3200.00 NO STUMP 300	COST 75.00 PAID CHK # 1001	
TOTAL:		
Thank you for your business!		

Customer Signature: _____

Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



Applicant

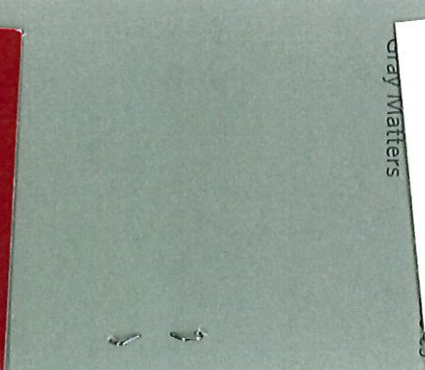
Address

Paint Manufacturer (Please submit color chips with this schedule)

Color Schedule

1	Body of House	SHERWIN WILLIAMS	SW 7066	GRAY MATTERS
2	Roofing	GAF TIMBERLINE SHINGLES -		OYSTER GRAY
3	Foundation	RED BRICK		
4	Porch Floor	N/A		
5	Railing	N/A		
6	Columns	N/A		
7	Entrance Door	SHERWIN WILLIAMS	SW 6594	POINSETTIA
8	Cornice	SHERWIN WILLIAMS	SW 7063	NEBULOUS WHITE
9	Corner Boards	SHERWIN WILLIAMS	SW 7063	NEBULOUS WHITE
10	Window Sash	SHERWIN WILLIAMS	SW 7063	NEBULOUS WHITE
11	Shutter	N/A		
12	Door & Window Trim	SHERWIN WILLIAMS	SW 7063	NEBULOUS WHITE
13	Rake	SHERWIN WILLIAMS	SW 7063	NEBULOUS WHITE
14	Porch Ceiling	SHERWIN WILLIAMS	SW 7063	NEBULOUS WHITE
15	Other	GUTTERS - GALVALUME FINISH		

CHANGED TO SW 7063 PER 5/24 EMAIL MRK



SW 7063
Nebulous White

1

Name: Barnes Grocery
Address: 222 N. Bloodworth St.
City: Raleigh
Photo #: 1
Description: Lane Street side of building with contextual view of Side Street Café across the street.



2

Name: Barnes Grocery
Address: 222 N. Bloodworth St.
City: Raleigh
Photo #: 2
Description: Corner view with context of historic residential houses on Lane Street. Note building's diagonal facing entry as well as a significant lean on



3

Name: Barnes Grocery
Address: 222 N. Bloodworth St.
City: Raleigh
Photo #: 3
Description: Lane St. straight on view. Note the sidelights and transoms.



4

Name: Barnes Grocery
Address: 222 N. Bloodworth St.
City: Raleigh
Photo #: 4
Description: Bloodworth St. straight on view. Note the two storefront doors into the smaller spaces on the right half of the building [the middle spaces and right spaces, as opposed to the main space with the corner entry on the left].



5

Name: Barnes Grocery
Address: 222 N. Bloodworth St.
City: Raleigh
Photo #: 5
Description: Bloodworth St. corner view with clear views of that side's two storefronts.



6

Name: Barnes Grocery
Address: 222 N. Bloodworth St.
City: Raleigh
Photo #: 6
Description: Side straight on view from Bloodworth, totally obstructed by vegetation. Note historic home on right side of photo.



7

Name: Barnes Grocery
Address: 222 N. Bloodworth St.
City: Raleigh
Photo #: 7
Description: Back corner view. Note deterioration of siding, roof, and lean to building, as well as noncontributing back deck.



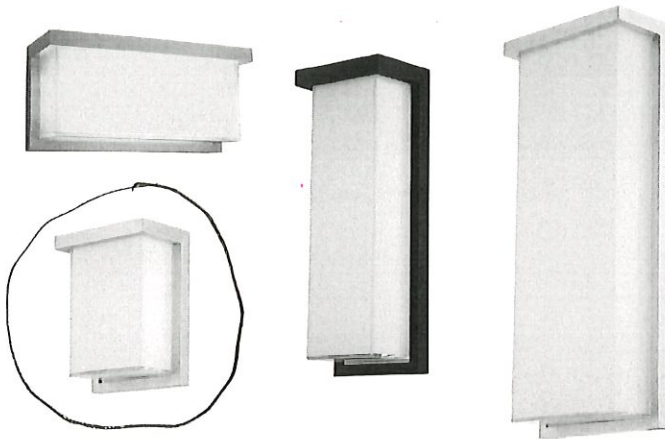
8

Name: Barnes Grocery
Address: 222 N. Bloodworth St.
City: Raleigh
Photo #: 8
Description: Rear view. Note significant lean to structure and buckling of foundation.



LEDGE – model: WS-W14

LED Outdoor Sconce Luminaire

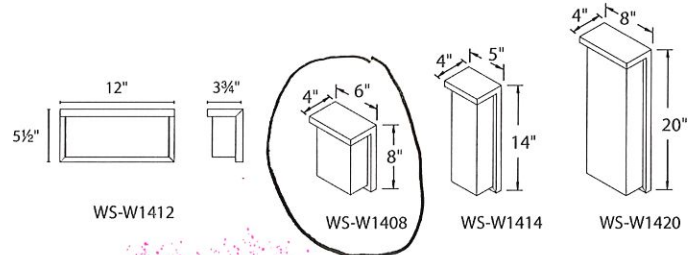


Fixture Type:

Catalog Number:

Project:

Location:



PRODUCT DESCRIPTION

A luminous architectural profile and superior construction make this sconce appropriate for transitional and contemporary interiors or exteriors. Mitered silk-screened glass encases a maximum number of LEDs engineered for optimal illumination. Three sizes allow for cohesive specifications across residential and commercial interior and exterior applications.

FEATURES

- ETL & cETL listed for wet locations
- CEC Title 24 Compliant
- Low profile design
- Replaceable LED module
- 200° beam angle
- 277V option available special order
- 80,000 hour potential life
- **Color Temp: 3000K**
- **CRI: 90**

SPECIFICATIONS

Construction: Aluminum with white mitered glass.

Power: Transformer located in outlet box. 120V input.

Light Source: High output LED.

Dimming: Dims to 10% with an electronic low voltage (ELV) dimmer.

Mounting: Mounts directly to junction box.

Finish: Brushed Aluminum (AL), Black (BK).

Standards: ETL & cETL listed. ADA compliant.

Installation: Requires Transformer to be recessed within the junction box.

Model	Height	Watt	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W1408	8"	11.5W		525	340	AL <i>Brushed Aluminum</i>
WS-W1414	14"	19.5W	120V	910	670	BK <i>Black</i>
WS-W1420	20"	29W		1575	1050	BZ <i>Bronze</i>
						GH <i>Graphite</i>

REPLACEMENT GLASS

Model	Fixture	Description
RPL-GLA-1408-01	WS-W1408	Outside Glass
RPL-GLA-1414-01	WS-W1414	
RPL-GLA-1420-01	WS-W1420	
RPL-GLA-1408-02	WS-W1408	Inside Glass
RPL-GLA-1414-02	WS-W1414	
RPL-GLA-1420-02	WS-W1420	

Example: **WS-W1420-AL**

For 277V special order, add an "F" before the finish: **WS-W1420F-AL**

For 2700K add "-27"; 3500K add "-35" before the finish: **WS-W1414-27-GH**

Model	Length	Watt	Voltage	LED Lumens	Delivered Lumens	Finish
WS-W1412	12"	29W	120V	1200	690	AL <i>Brushed Aluminum</i>
						BK <i>Black</i>
						BZ <i>Bronze</i>
						GH <i>Graphite</i>

Example: **WS-W1412-AL**

For 277V special order, add an "F" before the finish: **WS-W1412F-AL**

For 2700K add "-27"; 3500K add "-35" before the finish: **WS-W1412-35-GH**

modernforms.com
Phone (800) 526.2588
Fax (800) 526.2585

Headquarters/Eastern Distribution Center
44 Harbor Park Drive
Port Washington, NY 11050

Central Distribution Center
1600 Distribution Ct
Lithia Springs, GA 30122

Western Distribution Center
1750 Archibald Avenue
Ontario, CA 91760



Quality You Can
Trust... From
North America's
Largest Roofing
Manufacturer!™

TIMBERLINE®

LIFETIME HIGH DEFINITION® SHINGLES

AMERICA'S #1-SELLING ROOF

gaf.com

Made to protect
your home. Your story.
And those of over **50 million**
of your fellow Americans!

Shown: Timberline Ultra HD®
in Weathered Wood





Install Peace Of Mind

Whether you install the ultra-dimensional Timberline Ultra HD® Shingles or the ever-popular Timberline HD® Shingles, you'll be getting all the benefits that only a genuine Timberline® roof can provide!

Install To Protect.

When you install GAF Timberline® High Definition® Shingles with **Advanced Protection®** Shingle Technology, you're getting the very best combination of weight and performance that modern manufacturing technology can deliver. In fact, you won't find a shingle that surpasses Timberline® on:

- ✓ Toughness
- ✓ Wind uplift resistance
- ✓ Flexibility
- ✓ Fire resistance

That's why every Timberline® High Definition® Shingle comes with GAF's transferable Lifetime Ltd. warranty*—for your peace of mind!—plus the backing of the Good Housekeeping Seal.**



*See GAF Shingles & Accessories Ltd. Warranty for complete coverage and limitations. The actual "lifetime" refers to the length of coverage provided by the GAF Shingles & Accessories Ltd. Warranty and means no longer as the original individual owner of a single-family detached residence (or the second owner) in certain circumstances owns the property where the shingles are installed. For owners/structures not meeting the above criteria, lifetime coverage is not applicable.

**Timberline® High Definition® Shingles have earned the prestigious Good Housekeeping Seal, which means that Good Housekeeping stands behind these products. Refer to Good Housekeeping Magazine for its consumer protection policy. Available in U.S. only.

Install To Invest.

Your roof can represent up to 40% of your home's "curb appeal." Timberline® High Definition® Shingles not only protect your most valuable asset but also beautify your home for years to come—and add to its resale value.

Recently, an independent research firm surveyed U.S. homeowners about the brand of architectural shingles they preferred based on appearance. The result: **more homeowners preferred the look of Timberline® High Definition® Shingles** to the other leading brands!

In fact, according to a recent survey conducted by the National Association of REALTORS®, you can increase the value of your home by an average of 5% with a new Timberline® roof!

So why settle for anything less than a genuine Timberline® roof?

Based on a 2014 survey of U.S. homeowners commissioned by GAF comparing the appearance of two popular Timberline® High Definition® Shingle colors to the competitive colors of three leading brands. ©2014 National Association of REALTORS®. Survey conducted by GAF of REALTOR® Associations and Realtors in the U.S. who reported that they had sold a home with Timberline® Shingles in the three years preceding the survey and felt they could provide an estimated value increase to a home with a Timberline® roof as compared to a home with a basic asphalt shingle roof.

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

Weathered Wood

See the difference...

Another Major Brand



Timberline® High Definition® Shingles



The color blends on Timberline® High Definition® Shingles are sharp and well defined—to give your roof maximum dimensionality and depth. Color shown: Hickory

Here's What Female Homeowners Have to Say...



GAF recently received the Women's Choice Award for being the brand that is a gold standard when it comes to helping high standards of quality shine through. GAF is the #1 choice of female homeowners in the U.S.

WOMEN'S CHOICE AWARD
FOR EXCELLENCE IN CUSTOMER SERVICE
BY WOMEN



Timberline Ultra HD® Shingles

GAF

Shown: Timberline Ultra HD®
in Slate

TIMBERLINE ULTRA HD
GAF CORP. 10000 W. WASHINGTON AVENUE
DENVER, CO 80231

Our thickest, most dimensional Timberline® Shingle.

Timberline Ultra HD® Shingles will cost you just pennies-a-day more than standard architectural shingles. In return, you can enjoy a thicker, ultra-dimensional wood-shake look for your roof.

Extra-thick layers make Timberline Ultra HD® Shingles up to 53% thicker than standard architectural shingles for a natural dimensional beauty that you'll notice and appreciate. *

(Not to mention they can increase the resale value of your home!)

*Comparison rates to Timberline HD® Shingles. Thickness varies by plant; see actual shingles for comparison.

NOTE: It is difficult to reproduce the color clarity and actual color blends of these products. Before selecting your color, please ask to see several full-size shingles.

Timberline HD® Shingles

GAF

Timberline Ultra HD® and Timberline HD® Shingles Provide These Unique Benefits

- Beautiful Look... Features GAF's proprietary color blends and enhanced shadow effect for a genuine wood-shake look.
- Highest Roofing Fire Rating... UL Class A, listed to ANSI/UL 790.
- High Performance... Designed with Advanced Protection® Shingle Technology, which reduces the use of natural resources while providing excellent protection for your home (visit gaf.com/APS to learn more).
- Stays In Place... Dura Grip™ Adhesive seals each shingle tightly and reduces the risk of shingle blowoff. Shingles warranted to withstand winds up to 130 mph.¹
- Peace Of Mind... Lifetime Ltd. Transferable warranty with Smart Choice® Protection (incorporated material and installation labor coverage) for the first ten years.²
- Perfect Finishing Touch... Use Timberline® Premium Ridge Cap Shingles or Ridgeglass® Premium Ridge Cap Shingles.³

Shown: Timberline HD®
in Mission Brown
(Regional color)

Timberline® HD: North America's #1-selling shingle

More homeowners in North America choose **Timberline HD®** Shingles than any other brand. They offer just the right combination of beauty, performance, and reliability—and are the best value in roofing today.

When you install Timberline HD® Shingles, you'll be installing the brand that professional installers have long preferred for its rugged, dependable performance—thanks to **Advanced Protection® Shingle Technology**. And you'll be getting your own genuine Timberline® roof!

TIMBERLINE HD
LIFETIME HIGH DEFINITION SHINGLES



¹ This wind speed coverage requires special installation; see GAF Shingle & Accessory (in Manual).
² See GAF Shingle & Accessory (in Warranty) for complete coverage and restrictions. The word "Lifetime" refers to the length of coverage provided by the GAF Shingle Coverage Warranty for the original owner(s) of a single-family detached residence (or the original owner(s) of a single-family detached residence who owns the property where the shingles are installed). For owners/structures not meeting the above criteria, Lifetime coverage is not applicable.
³ See www.gaf.com/ridgecap for details.

NOTE: It is difficult to reproduce the color of the shingles in this advertisement. Please ask to see several full-size shingles.

GAF TIMERLINE
OYSTER GRAY



Robb, Melissa

From: Louis Cherry <lou.cherry9@gmail.com>
Sent: Wednesday, May 24, 2017 4:34 PM
To: Marsha Gordon; Robb, Melissa
Subject: Re: Fwd: rotten tree at 222 N Bloodworth
Attachments: 222 N BLOODWORTH DRAWINGS.pdf

Hi Melissa,

Attached are the revised drawings. I am dropping off a printed copy this afternoon.

See the responses below to your questions. They should all be addressed on the drawings.

Thanks,

Louis

On 5/23/17 4:48 PM, Marsha Gordon wrote:

Ball is in your court, I'm afraid.

Website: [Marsha Gordon PhD](#)
Twitter: [@MarshaGGordon](#)

Just published, [Film is Like a Battleground](#): Sam Fuller War Movies

Begin forwarded message:

From: "Robb, Melissa" <Melissa.Robb@raleighnc.gov>
Subject: RE: rotten tree at 222 N Bloodworth
Date: May 23, 2017 at 4:47:26 PM EDT
To: Marsha Gordon <marshagordon99@gmail.com>
Cc: "Tully, Tania" <Tania.Tully@raleighnc.gov>

Marsha,

Please bring your NeighborWoods application and check to the 3rd floor of the One Exchange Plaza building.

Here are the questions and/or suggestions that will help with review and approval of the rest of the application. I'll do them in the same order as on your application:

1. Can you clarify where the rebuilding of the foundation will happen? I believe when Tania and I did our site visit the discussion was to rebuild the east wall but the application did not

- specify. [See added foundation drawing. It had been previously noted on east elevation drawing as well.]
2. Can you provide detail drawings showing the concrete curb that will address the sidewalk drainage? How will you address the connection between the new curb and the existing siding? Will there be any changes to the existing building or materials? [See added detail. The only impact is that it will cover the very bottom 4" of the wall where the siding meets the sidewalk.]
 3. No questions.
 4. No questions.
 5. Please provide drawings showing the new light fixtures on the elevations where they'll be installed. [Light fixtures are shown on North Elevation.]
 6. Please provide drawings showing the mailboxes on the elevations where they'll be installed. Also, please provide dimensions for each mailbox. [Mailboxes are shown on North Elevation]
 7. No questions.
 8. See previous email.
 9. No questions.
 10. What color will the gutters be painted? The paint schedule shows the gutters will have a Galvalume finish. Unpainted Galvalume gutters are not in keeping with the character of the district. [We will paint gutters to match trim. This is noted on North Elevation drawing.]

Best,
Melissa

From: Marsha Gordon [mailto:marshagordon99@gmail.com]
Sent: Tuesday, May 23, 2017 4:43 PM
To: Robb, Melissa
Cc: Tully, Tania
Subject: Re: rotten tree at 222 N Bloodworth

Hi Melissa,

If we have to redo the application and write another application check to do this, we'd rather just answer your queries and hopefully it can move through the process expeditiously.

We will do the NeighborWoods application and get that to you tomorrow. Where do we bring it?

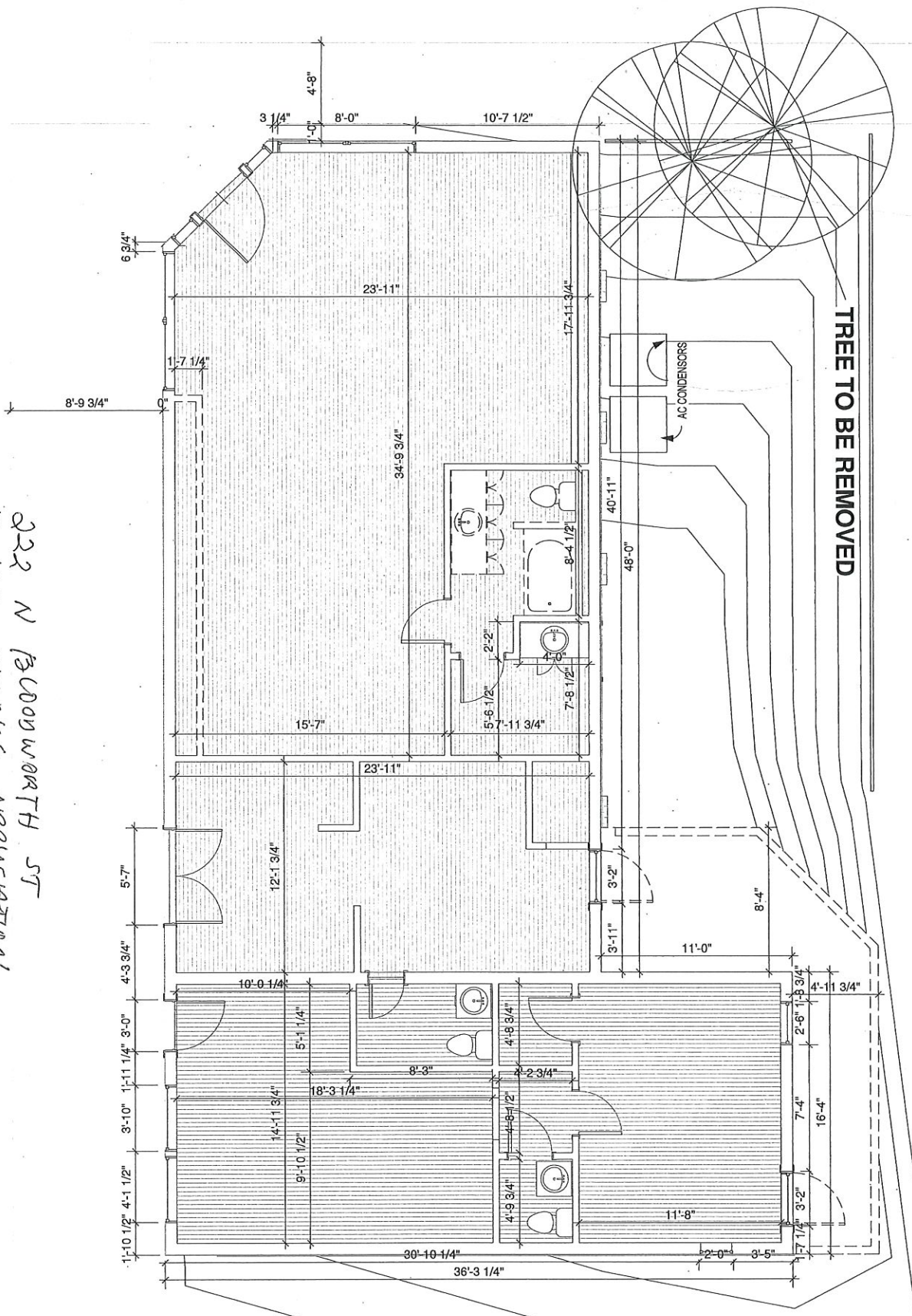
Thank you,
Marsha

Website: [Marsha Gordon PhD](#)
Twitter: [@MarshaGGordon](#)

Just published, [Film is Like a Battleground](#): Sam Fuller War Movies

On May 23, 2017, at 4:08 PM, Robb, Melissa <Melissa.Robb@raleighnc.gov> wrote:

222 N BLOOMSBURY ST
 MINOR WORKS APPLICATION



TO: MELISSA ROBB

AMENDMENT 5/24/17

TREE TO BE REMOVED

AC CONDENSORS

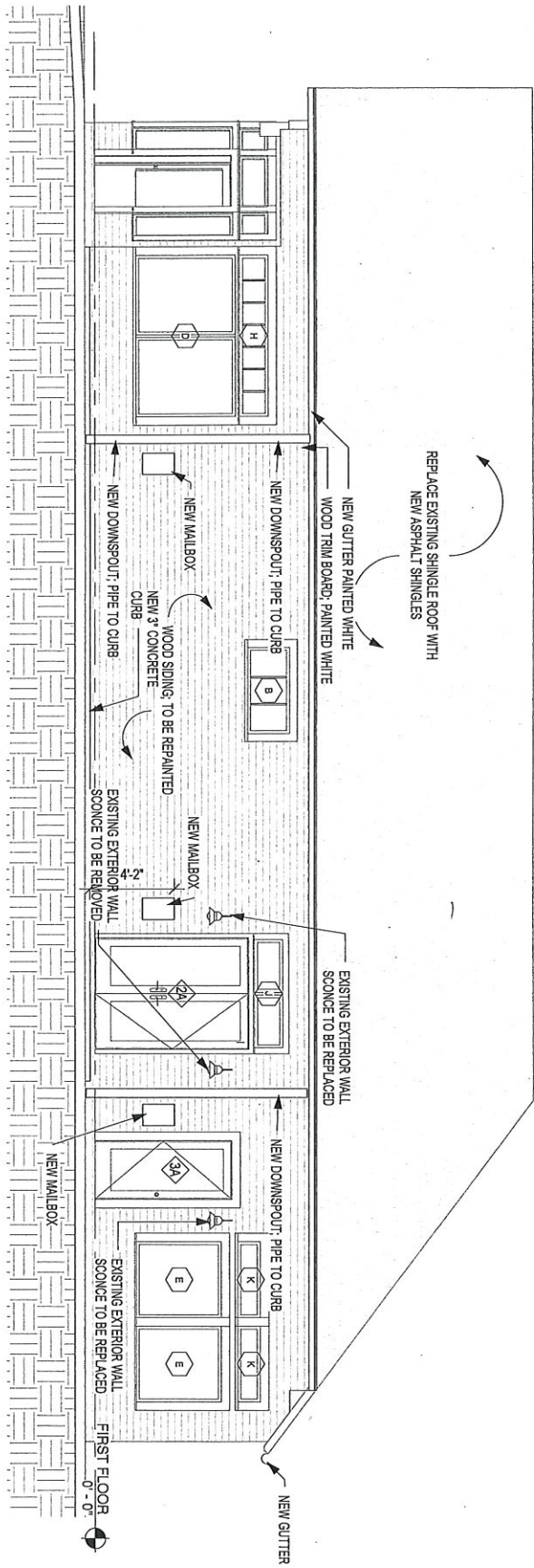
LOUIS CHERRY
 ARCHITECTURE

SEALS:

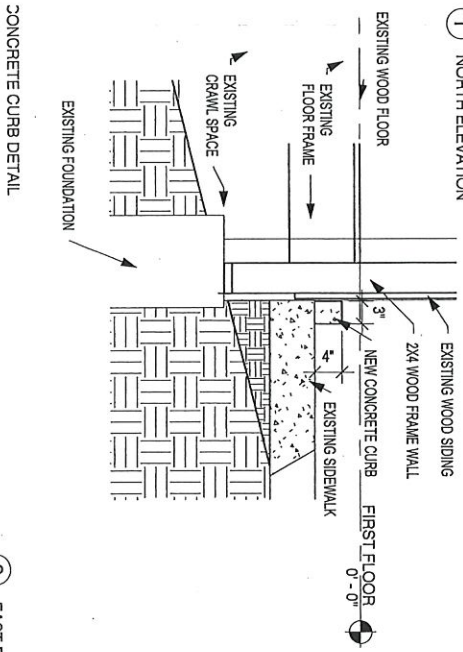
FIRST FLOOR PLAN

Project No.: 1715
 Date: 05/2017
 Scale: 3/16" = 1'-0"

A-1

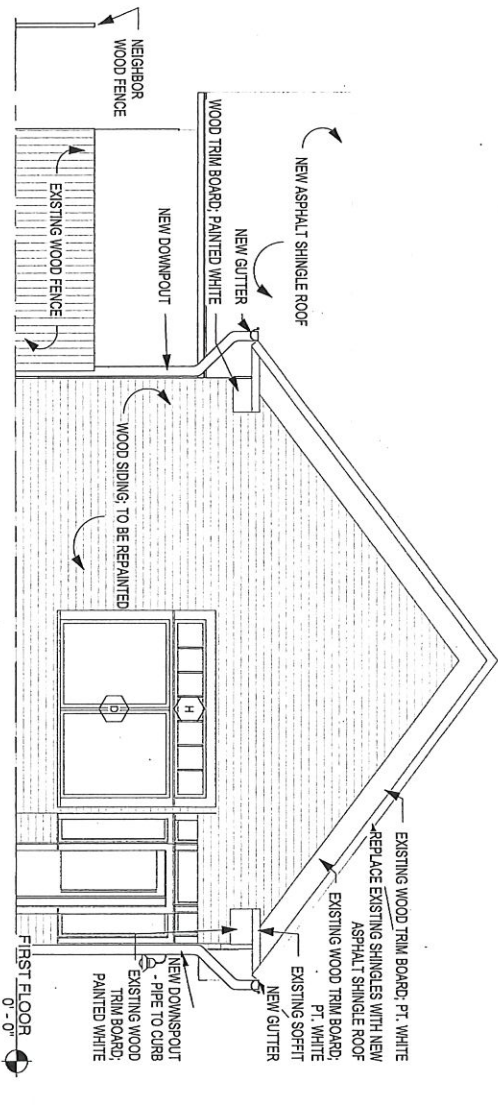


1 NORTH ELEVATION



CONCRETE CURB DETAIL

2 EAST ELEVATION



AMENDMENT 5/24/17

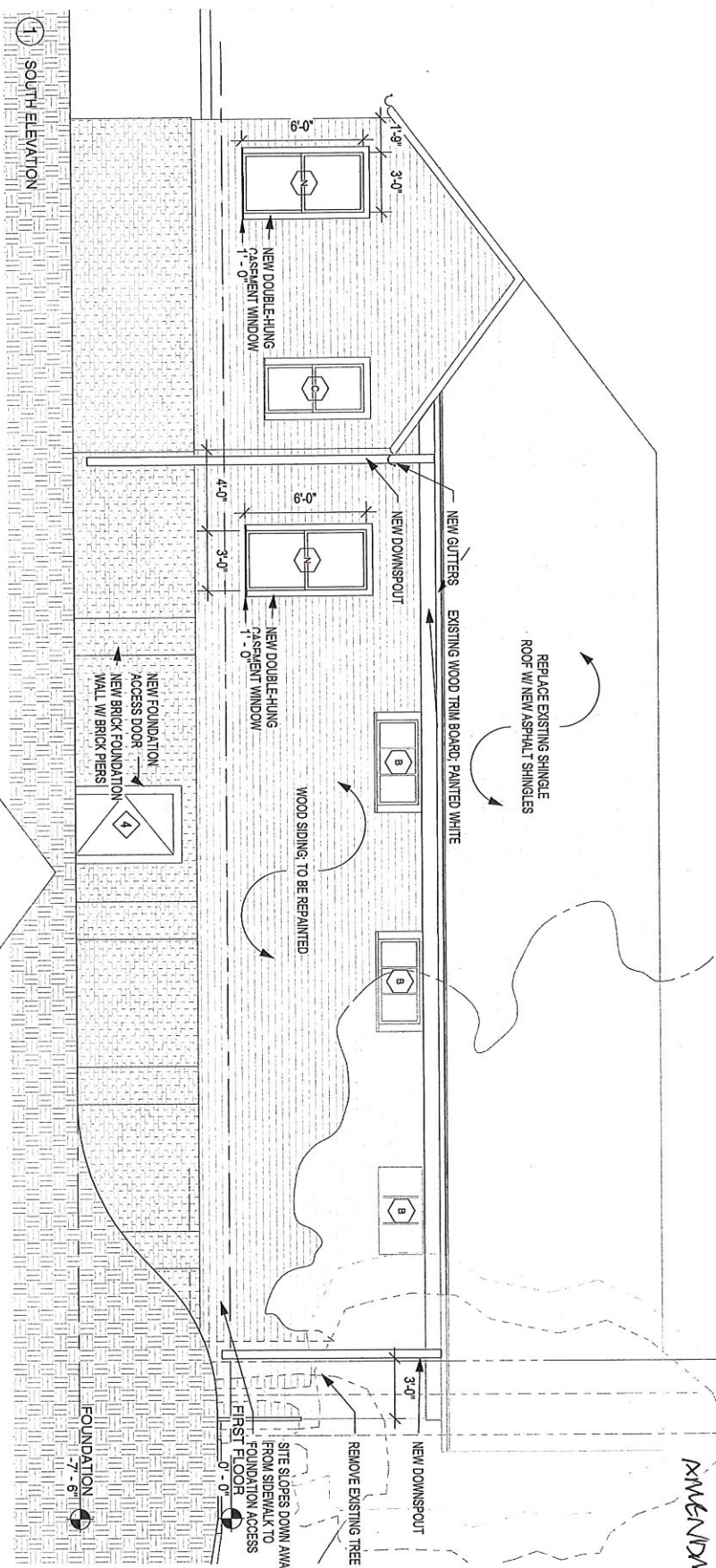
ELEVATIONS

Project No.: 1715
 Date: 05/2017
 Scale: As indicated

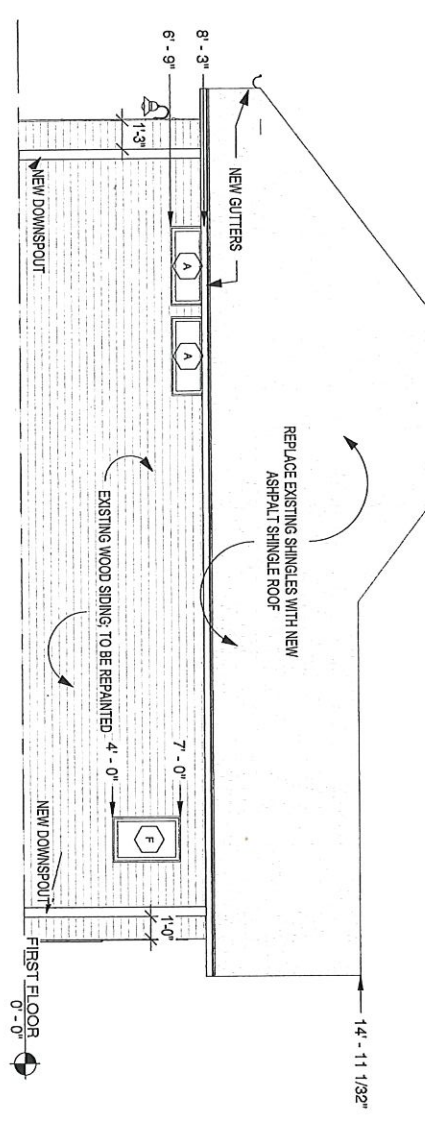
A-3

SEALS:

LOUIS CHERRY
 ARCHITECTURE



AMENDMENT 5/24/17



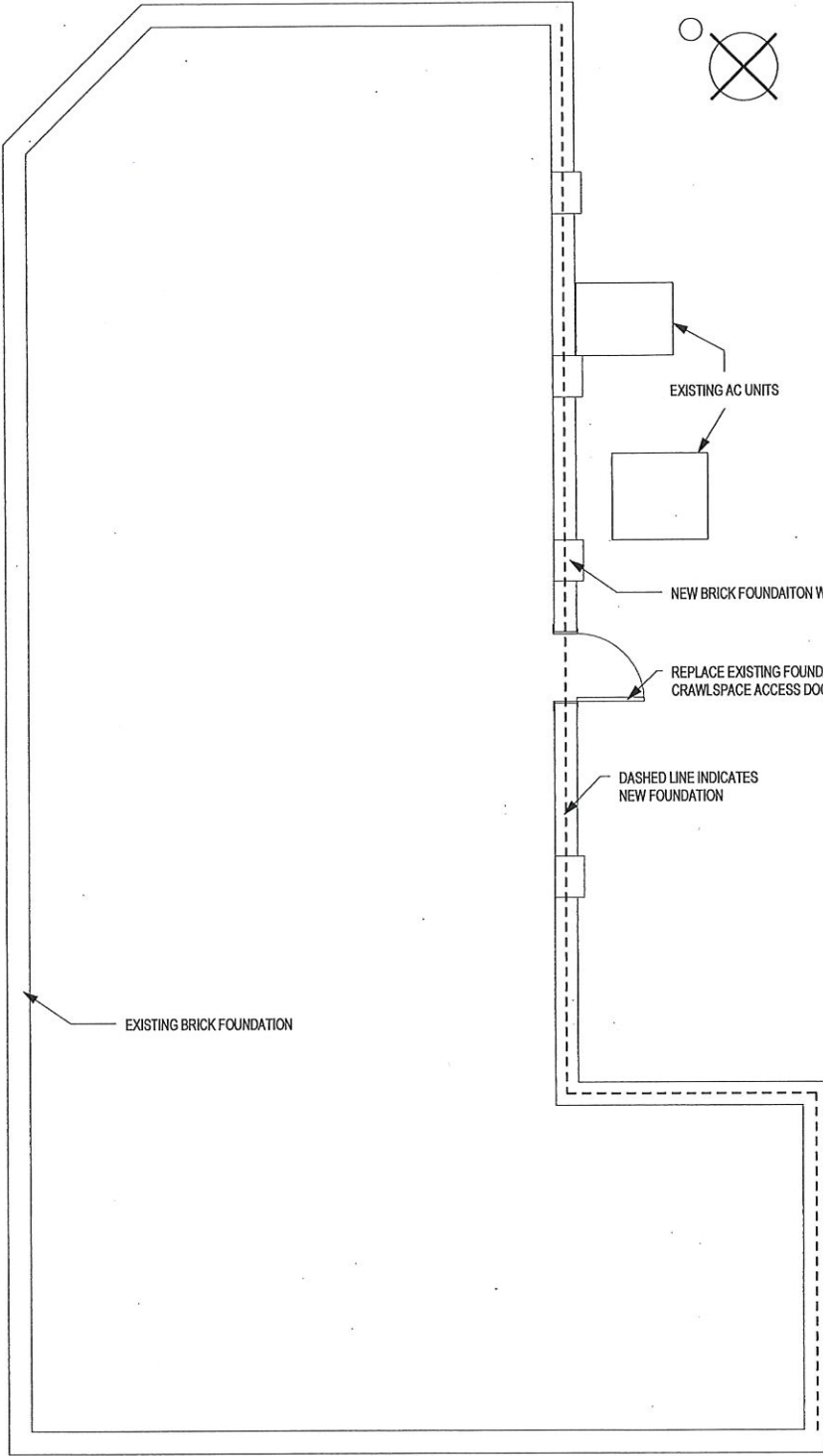
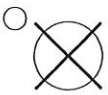
1 SOUTH ELEVATION

2 WEST COPY 1

<p>LOUIS CHERRY ARCHITECTURE</p>	SEALS:	<p>ELEVATIONS</p>	<p>A-4</p>	
				Project No.: 1715
				Date: 05/2017
		Scale: 3/16" = 1'-0"		

A-201
5

AA-31
2



AA-41

A-3
1

EXISTING BRICK FOUNDATION

EXISTING AC UNITS

NEW BRICK FOUNDATION W/ BRICK PIERS

REPLACE EXISTING FOUNDATION CRAWLSPACE ACCESS DOOR

DASHED LINE INDICATES NEW FOUNDATION



AA-41
2

1 FOUNDATION PLAN Copy 1

<p>LOUIS CHERRY ARCHITECTURE</p>	SEALS:	FOUNDATION PLAN	
		Project No.:	1715
		Date:	05/2017
		Scale:	3/16" = 1'-0"
		A-6	

AMENDMENT 5/24/17