



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

420 S BLOODWORTH STREET

Address

PRINCE HALL

Historic District

Historic Property

060-17-MW

Certificate Number

03-30-2017

Date of Issue

09-30-2017

Expiration Date

Project Description:

- Changes to previously approved COA 059-16-CA:
- alter site wall to include access ramp;
- add new egress window and door;
- construct rear yard shed;
- plant two trees

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center;">For Office Use Only</p> Transaction # <u>507013</u> File # <u>060-17-MW</u> Fee <u>\$29</u> Amount Paid <u>\$29</u> Received Date <u>3/15/17</u> Received By <u>McClay</u>
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Property Street Address **420 S Bloodworth St**

Historic District **Prince Hall HOD**

Historic Property/Landmark name (if applicable) **N/A**

Owner's Name **Guesthouse, LLC**

Lot size 5,143	(width in feet) 43	(depth in feet) 119.5
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For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant **Nicole Alvarez**

Mailing Address **Clearscapes: 311 W Martin Street, Suite 200**

City **Raleigh**

State **NC**

Zip Code **27601**

Date **3/15/2017**

Daytime Phone **919-821-2775**

Email Address **nalvarez@clearscapes.com**

Applicant Signature

Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Office Use Only

Type of Work

89, 59, 10, 74

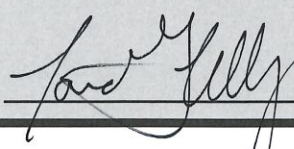
Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.1/8-9	Public Rights-of-Way	Accessible ramp and retaining wall to provide accessible path from sidewalk to rear entry.
2.3/12-13	Site Features	
2.4/14-15	Fences and Walls	New accessory structure to provide long-term bicycle parking and trash storage area.
2.5/16-17	Walkways	Two new street trees at right-of-way. Revision to approved COA to add new egress window and egress door to basement.
2.6/18-19	Accessory Structures	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 9/30/17. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____



Date _____

3/30/17

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.			X		
Minor Work (staff review) – 1 copy					
Major Work (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		X		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		X		
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>		X		
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>		X	
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	X		
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	X		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>		X		



May 6, 2016

Nicole Alvarez & Matt Tomasulo
215 Haywood Street
Raleigh NC 27601

RE: 059-16-CA (420 S Bloodworth Street)—Approved as Amended with Conditions

Dear Ms. Alvarez & Mr. Tomasulo:

Your application, 059-16-CA, which was presented at the April 28, 2016 meeting of the Certificate of Appropriateness (COA) Committee of the Raleigh Historic Development Commission, was approved as amended with the following condition(s):

1. That the physical elements of the tree protection plan be constructed prior to relocation of the house on the site.
2. That details and specifications for the following be provided to and approved by staff prior to the issuance of the blue placard for the move:
 - a. Confirmation of the setback compared to other houses on the block face;
 - b. Move route;
 - c. Foundation.
3. That details and specifications for the following be provided to and approved by staff prior to the issuance of the blue placard for the work on the relocated house and new portion:
 - a. Eave construction for both portions of the house;
 - b. New windows including muntin profile and size;
 - c. Front porch design details based on evidence if any;
 - d. Front porch construction details including porch floor, steps, columns, and railing.
4. That details and specifications for the following be provided to and approved by staff prior to construction/installation:
 - a. Chimney design and material;
 - b. Window and door trim for the relocated portion of the house; based on evidence if any;
 - c. Window and door trim for the new portion of the house based;
 - d. New doors;
 - e. Rear railing detail;
 - f. Gutters & downspouts;
 - g. Roof and paint colors;
 - h. Foundation material sample.
5. That new ground level concrete have a water washed finish.
6. That details and specifications for the following be provided to and approved by staff prior to the issuance of the blue placard for the work on the site:

Placard printed 11/1/16 TGT

11/1/16 TGT

2/2/17 TGT

Post Office Box 829
Raleigh, North Carolina 27602
(919) 882-7238 ph
(919) 516-2682 fax
www.rhdc.org



- a. *Front walk and site steps;*
- b. *Retaining wall;*
- c. *HVAC unit locations and screening.*

A draft Certified Record that describes the committee's action will be available upon request in approximately ten business days from the date of the meeting. The draft will become final when the committee votes at its next meeting to approve the April minutes. Please note that you and aggrieved parties have a 20-day window for notification of intent to appeal or to file a petition to submit a request for reconsideration. *Commencement of work within the appeal period is at your own risk.*

In order to complete your application, you must contact the commission staff when you have met the conditions. You will then be issued the blue placard form of the certificate which is valid through October 28, 2016. Please note that all items for fulfillment of conditions should be submitted together, as each additional conditions review after the first review is subject to an additional fee. To obtain your building permit (if applicable), take the placard and this letter with you to the Office of Development Services. Please post the blue placard in public view, as indicated at the bottom of the card, while the work is in progress. For more information about permits, call the Office of Development Services at 919-996-2495.

When your project is complete, you are required to ask for a final zoning inspection. Call the Raleigh Historic Development Commission office at 919-832-7238 or email rhdc@rhdc.org and the commission staff will coordinate an inspection. If you do not call for this final inspection, your Certificate of Appropriateness is null and void. If you have any questions concerning your application, please contact the commission office.

On behalf of the commission, thank you for your positive efforts in making these proposed changes, thereby enhancing the Prince Hall Historic District.

Sincerely,


Elizabeth Caliendo, Chair
Certificate of Appropriateness Committee

Minor Work Application

**Gorham House
420 S. Bloodworth St.**

March 15, 2017

Description:

This application is to request approval of design revisions to an approved COA in response to the Administrative Site Review process. The project site is located within the Prince Hall Historic Overlay District.

A COA was issued for this project on 04/28/2016 with certificate number 059-16-CA, and renewed on 11/02/2016 with certificate number 169-16-MW.

Revisions include a ramp and retaining wall to accommodate an accessible path from the sidewalk to the rear entry of the house. There is a new shed structure to accommodate the required long-term bicycling parking and a trash storage area. Street trees are proposed.

Also, to accommodate building code, there is a new egress window and egress door in the basement.

All details (path, deck, railings, windows, doors, and screening) will be provided along with the conditions of the approved COA 059-16-CA, prior to construction. As noted in drawings, accessory structure details (siding, windows/door, trim, roof and paint colors, etc.) will match the new portion of the main structure and will be submitted along with the conditions.

Please see attached drawings for reference and more details. COA approval letter with conditions is also attached for reference.

GENERAL NOTE:
REFERENCE APPROVED COA: 059-16-CA

Nicole Alvarez
Architectural Designer +
Project Contact

215 Haywood St
Raleigh, NC 27601

919.539.8633
nicole.n.alvarez@gmail.com

CONSULTANTS

PROJECT

Gorham House

420 S. Bloodworth St.
Raleigh, NC 27601

ASR Revisions

PROJECT DATA

DATE:	03/15/2017
DRAWN:	NNA
CHECKED:	
FILENAME:	GuestHouse-Ph2.wvx
PROJECT NO:	2016_0001
PRINTING:	COA Minor Work

SHEET DATA

Existing Photos

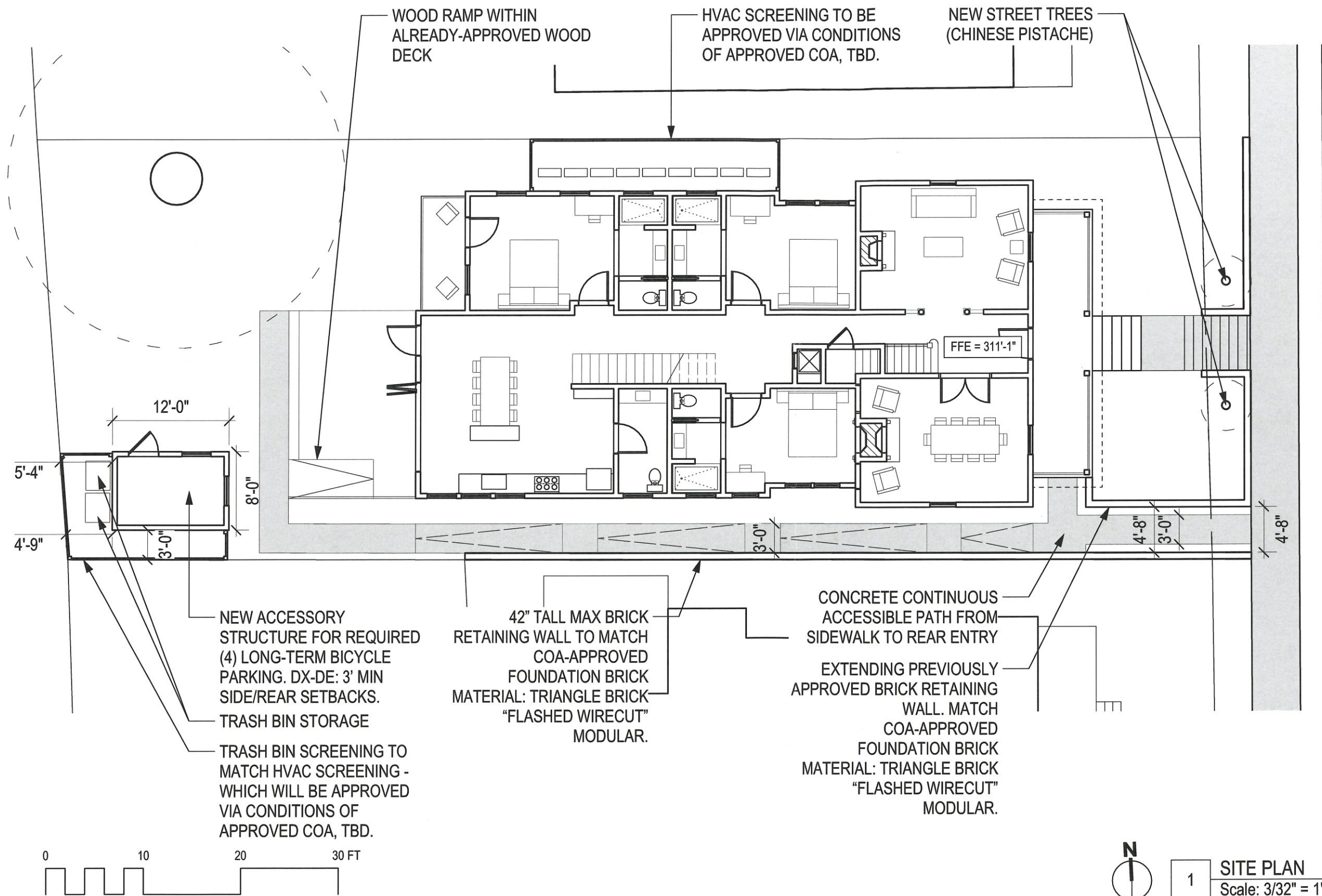
SHEET NO.

A1



EXISTING PHOTO OF PROJECT SITE -
FOUNDATION WALLS CURRENTLY UNDER
CONSTRUCTION AFTER HOUSE MOVE.

GENERAL NOTE:
 DETAILS (PATH, DECK, RAILINGS, WINDOWS, DOORS, SCREENING, ACCESSORY STRUCTURE, ETC.) TO BE PROVIDED ALONG WITH CONDITIONS OF APPROVED COA 059-16-CA, PRIOR TO CONSTRUCTION.



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PROJECT

Gorham House

420 S. Bloodworth St.
 Raleigh, NC 27601

ASR Revisions

PROJECT DATA

DATE: 03/15/2017
 DRAWN: NNA
 CHECKED:
 FILENAME: GuestHouse-Ph2.wvx
 PROJECT NO: 2016_0001
 PRINTING: COA Minor Work

SHEET DATA

Site Plan

SHEET NO.

A2

GENERAL NOTE:
 DETAILS (PATH, DECK, RAILINGS, WINDOWS, DOORS, SCREENING, ACCESSORY STRUCTURE, ETC.) TO BE PROVIDED ALONG WITH CONDITIONS OF APPROVED COA 059-16-CA, PRIOR TO CONSTRUCTION.

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CONSULTANTS

PROJECT

Gorham House

420 S. Bloodworth St.
 Raleigh, NC 27601

ASR Revisions

PROJECT DATA

DATE: 03/15/2017
 DRAWN: NNA
 CHECKED:
 FILENAME: GuestHouse-Ph2.vwx
 PROJECT NO: 2016_0001
 PRINTING: COA Minor Work

SHEET DATA

Elevations

SHEET NO.

A3



ACCESSIBLE PATH TO REAR ENTRY - SEE SITE PLAN
 42" TALL MAX BRICK RETAINING WALL ALONG ACCESS PATH - SEE SITE PLAN



1 FRONT (EAST) ELEVATION
 Scale: 1/8" = 1'-0"

GENERAL NOTE:
 DETAILS (PATH, DECK, RAILINGS, WINDOWS, DOORS, SCREENING, ACCESSORY STRUCTURE, ETC.) TO BE PROVIDED ALONG WITH CONDITIONS OF APPROVED COA 059-16-CA, PRIOR TO CONSTRUCTION.

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 Project Contact

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 nicole.n.alvarez@gmail.com

CONSULTANTS

PROJECT

Gorham House

420 S. Bloodworth St.
 Raleigh, NC 27601

ASR Revisions

PROJECT DATA

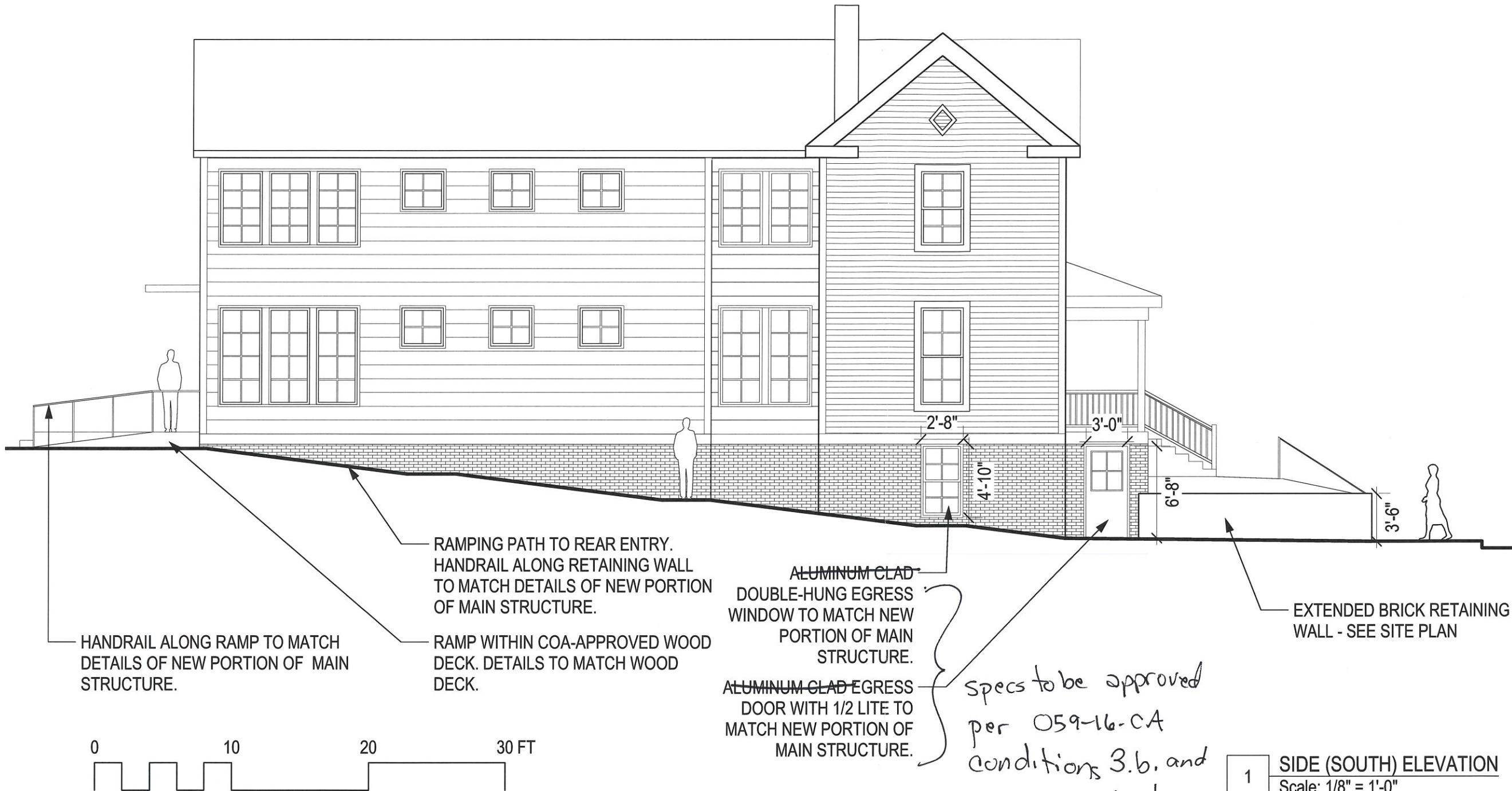
DATE: 03/15/2017
 DRAWN: NNA
 CHECKED:
 FILENAME: GuestHouse-Ph2.vwx
 PROJECT NO: 2016_0001
 PRINTING: COA Minor Work

SHEET DATA

Elevations

SHEET NO.

A4



HANDRAIL ALONG RAMP TO MATCH DETAILS OF NEW PORTION OF MAIN STRUCTURE.

RAMPING PATH TO REAR ENTRY. HANDRAIL ALONG RETAINING WALL TO MATCH DETAILS OF NEW PORTION OF MAIN STRUCTURE.

RAMP WITHIN COA-APPROVED WOOD DECK. DETAILS TO MATCH WOOD DECK.

ALUMINUM CLAD DOUBLE-HUNG EGRESS WINDOW TO MATCH NEW PORTION OF MAIN STRUCTURE.

ALUMINUM CLAD EGRESS DOOR WITH 1/2 LITE TO MATCH NEW PORTION OF MAIN STRUCTURE.

Specs to be approved per 059-16-CA conditions 3.b. and 4.d.

1 SIDE (SOUTH) ELEVATION
 Scale: 1/8" = 1'-0"

GENERAL NOTE:

DETAILS TO BE PROVIDED ALONG WITH CONDITIONS OF APPROVED COA 059-16-CA, PRIOR TO CONSTRUCTION.

ACCESSORY STRUCTURE DETAILS (SIDING, WINDOWS/DOOR, TRIM, ROOF AND PAINT COLORS, ETC.) TO MATCH NEW PORTION OF MAIN STRUCTURE - WHICH WILL BE APPROVED VIA CONDITIONS OF APPROVED COA, TBD.

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CONSULTANTS

PROJECT

Gorham House

420 S. Bloodworth St.
Raleigh, NC 27601

ASR Revisions

PROJECT DATA

DATE: 03/15/2017
DRAWN: NNA
CHECKED:
FILENAME: GuestHouse-Ph2.vwx
PROJECT NO: 2016_0001
PRINTING: COA Minor Work

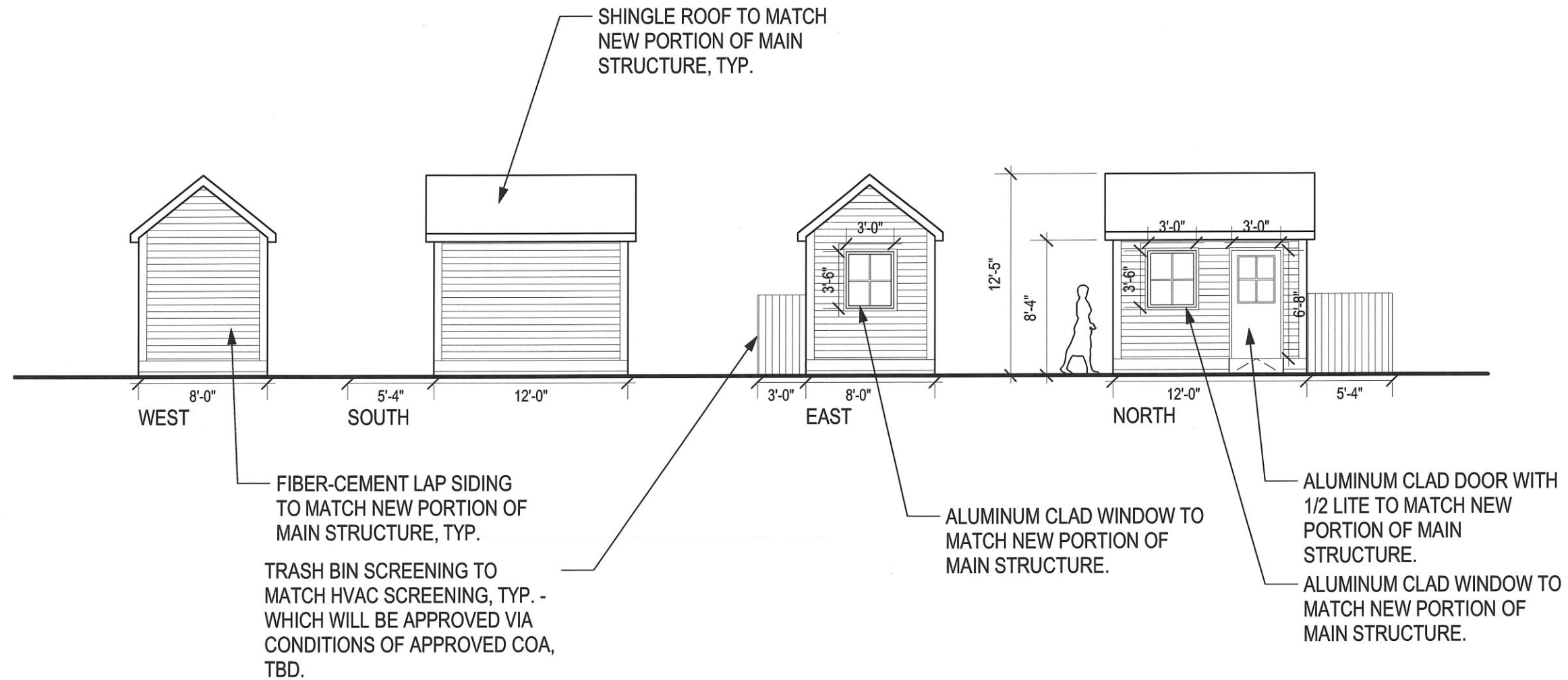
SHEET DATA

Elevations

Accessory Structure

SHEET NO.

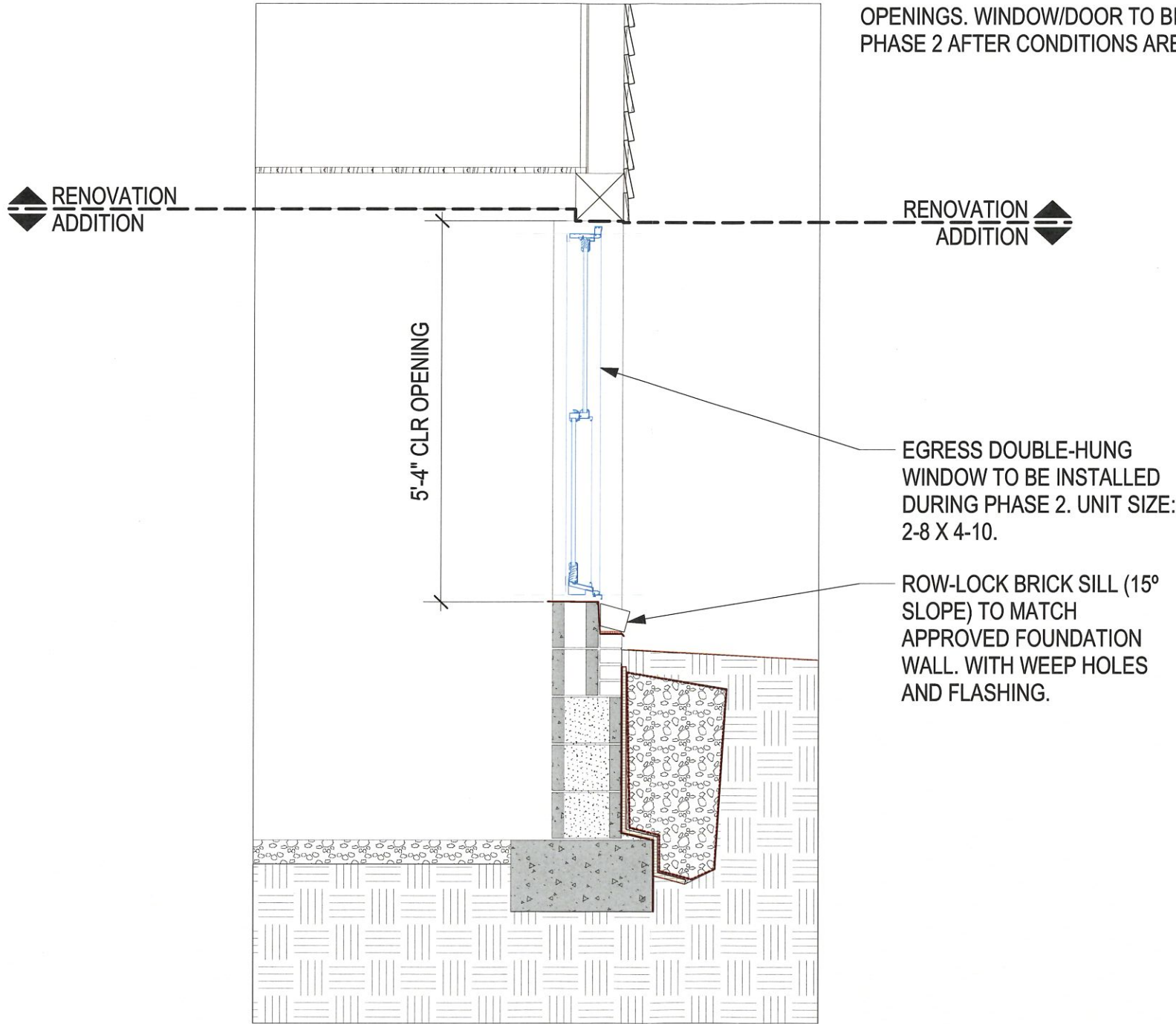
A5



1 ACCESSORY STRUCTURE ELEVATIONS
Scale: 1/8" = 1'-0"

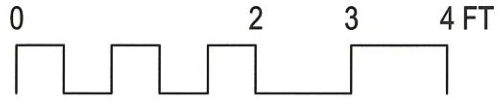
GENERAL NOTE:
 DETAILS (WINDOW AND TRIM) TO BE PROVIDED ALONG WITH CONDITIONS OF APPROVED COA 059-16-CA, PRIOR TO CONSTRUCTION.

FOUNDATION WALLS ARE UNDER CONSTRUCTION UNDER PHASE 1 AND WILL INCLUDE MASONRY OPENINGS. WINDOW/DOOR TO BE INSTALLED DURING PHASE 2 AFTER CONDITIONS ARE MET.



EGRESS DOUBLE-HUNG WINDOW TO BE INSTALLED DURING PHASE 2. UNIT SIZE: 2-8 X 4-10.

ROW-LOCK BRICK SILL (15° SLOPE) TO MATCH APPROVED FOUNDATION WALL. WITH WEEP HOLES AND FLASHING.



1 MASONRY OPENING DETAIL
 Scale: 1/2" = 1'-0"

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 Architectural Designer +
 Project Contact

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 nicole.n.alvarez@gmail.com

CONSULTANTS

PROJECT

Gorham House

420 S. Bloodworth St.
 Raleigh, NC 27601

ASR Revisions

PROJECT DATA

DATE: 03/15/2017
 DRAWN: NNA
 CHECKED:
 FILENAME: GuestHouse-Ph2.vwx
 PROJECT NO: 2016_0001
 PRINTING: COA Minor Work

SHEET DATA

Details

Masonry Opening Detail
 At Future Window

SHEET NO.

A6