

RHDC
 RALEIGH HISTORIC
 DEVELOPMENT COMMISSION

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

508 OAKWOOD AVENUE

Address

OAKWOOD

Historic District

Historic Property

059-17-MW

Certificate Number

03-30-2017

Date of Issue

09-30-2017

Expiration Date

- Alter porch roof covering

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center;">For Office Use Only</p> Transaction # <u>506679</u> File # <u>059-17-MW</u> Fee <u>\$29</u> Amount Paid <u>\$29</u> Received Date <u>3/13/17</u> Received By <u>C. McCalley</u>
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Property Street Address 508 Oakwood Avenue

Historic District Historic Oakwood

Historic Property/Landmark name (if applicable)

Owner's Name Amber and Taylor Share

Lot size .14 Acres	(width in feet)	(depth in feet)
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For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

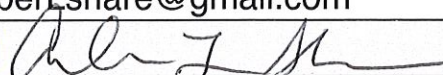
Type or print the following:

Applicant **Amber Share**

Mailing Address **508 Oakwood Avenue**

City Raleigh	State North Carolina	Zip Code 27601
Date 03/09/2017	Daytime Phone 402-853-2162	

Email Address **amberl.share@gmail.com**

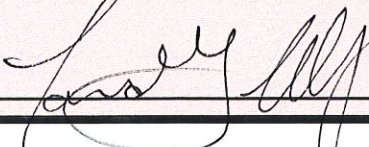
Applicant Signature 

<p>Will you be applying for rehabilitation tax credits for this project? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No</p> <p>Did you consult with staff prior to filing the application? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No</p>	<p style="text-align: center;">Office Use Only</p> <p>Type of Work _____</p> <p style="text-align: center;"><u>60</u></p> <p>_____</p> <p>_____</p>
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Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
3.5	Roofs	We will be replacing our porch roof, which is currently asphalt shingles, to a standing seam metal roof to comply with historic standards outlined in this section of the design guidelines. The standing seam metal roof will have completely flat panels between seams with 1" standing seams. The color will be a 24 gauge Kynar Classic Green finish to coordinate with the existing green asphalt shingle roof on the rest of the house. The standard panel width for this roof is 16" between seams. The panels are attached with concealed fasteners. The roof system will use locking eave trim; valley trim with an offset cleat; locking rake trim; sidewall, endwall, and counter-flashing; and hip cap with zee. Metal fascia will be installed to wrap the fascia of the main roof above the porch roof. Drawings showing the measurements of trim and roof panels are attached, as well as a swatch of the roof color and a photo of the current roof.

Minor Work Approval (office use only)

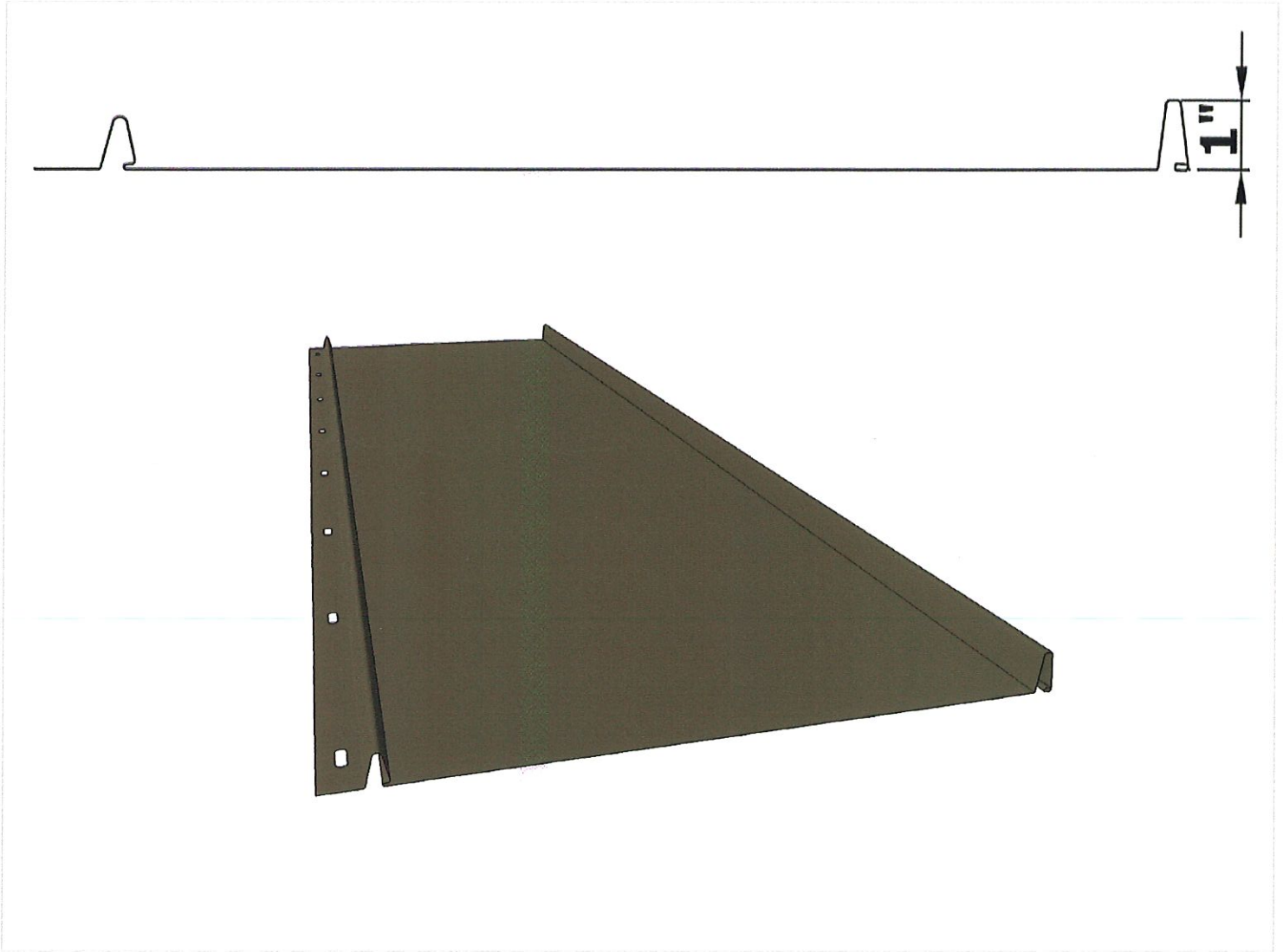
Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 9/30/17. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh)  Date 3/30/17

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 10 copies			X		
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		X		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		X		
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>		X		
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X
6. Drawings showing existing and proposed work <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	X		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			X
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>		X		

Panel Profiles

COMPLETELY FLAT FLAT W/ OUTSIDE PLANKS FIVE PLANKS STRIATED



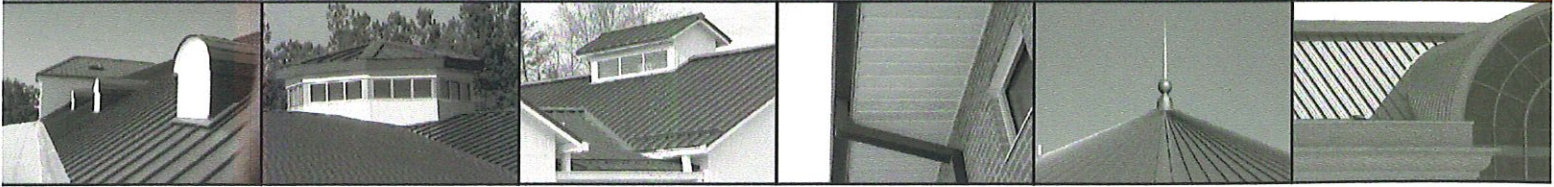


Construction Metal Products, Inc.

2204 West Front Street • Statesville, NC 28677
704-871-8704 or 888-750-9827

Kynar 500®

30 YEAR
FINISH
WARRANTY



Standard Cool Colors

Terra Cotta	Aged Copper	Snowdrift White	Almond	Sierra Tan
Colonial Red	Patina Green	Bone White	Dove Gray	Medium Bronze
Regal Red	Seaport	Stone White	Slate Gray	Mansard Brown
Burgundy	Hartford Green	Slate Blue	Charcoal Gray	Dark Bronze
Matte Black	Classic Green	Regal Blue	Teal	Galvalume

Metallic Colors

Silver*	Copper Penny*	Champagne*	Pre-Weathered Galvalume*



*Slight price upcharge may apply for metallic colors.

•Colors shown are matched as accurately as possible, but may vary slightly from finished product.

Test Performance

TEST	ASTM TEST	PERFORMANCE
Physical Properties and Durability		
Film Thickness	D-1005	0.15 - 0.30 mil primer 0.7 - 0.9 mil topcoat
60° Specular Gloss	D-523	25 - 35
IR Reflectivity	C-1549 (Standard test method using portable Reflectometer)	0.25 (25%) minimum
Emissivity	C-1371 E-408	0.80 (80%) minimum
Pencil Hardness	D-3363	HB - H
Flexibility, T-Bend	D-4145	1 - T aluminum 2 - T coated steel*
Adhesion	D-3359	No adhesion loss
Reverse Impact	D-2794	No cracking or loss of adhesion
Abrasion, Falling Sand	D-968	65 - 85 l/mil
Mortar Resistance	C-267	No effect
Detergent Resistance 3% Detergent, 100°F (72 hrs.)	D-2248	No effect
Atmospheric and Pollutant Resistance		
Acid Pollutants	D-1308 10% Muriatic Acid, (15 min.) 20% Muriatic Acid, (15 min.) AAMA 621	No effect No effect < 5 units color change
Acid Rain Test	Kesternich	10 cycles minimum, no objectionable color change
Alkali Resistance 5% @ (72 hrs.)	20% Sodium Hydroxide (1 hr.)	No effect
Salt Spray Resistance 5% @ 95°F	B-117	Passes 3,000 hrs. - aluminum Passes 1,000 hrs. - coated steel*
Humidity Resistance 100% @ 100°F	D-2247	Passes 3,000 hrs. - aluminum Passes 1,000 hrs. - coated steel*
Weathering		
South Florida exposure	D-2244	Less than 5 units color change at 10 yrs.
UVA (340 Bulbs)	G-154	Passes, 3,000 hrs.
Chalk Resistance	D-4214	Rating of 8 min.

Based on a minimum of 70% PVDF resin technology.

Kynar 500® is a registered trademark of Arkema, Inc.

*All tests performed to the latest ASTM revision.

*Performance on G-90, Zincolume, Galvalume, and other approved zinc/aluminum coated steel.

Reflectance values measured using a D&S Solar Reflectometer, values may vary between instruments and method.

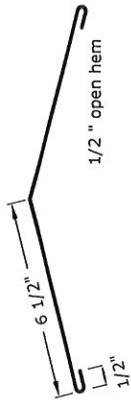


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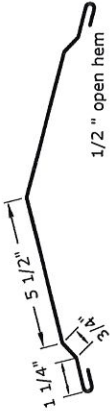
CMP NAILSTRIP

STRAIGHT RIDGE CAP



Need Roof Pitch
Requires two pieces of Zee per piece of ridge cap

STEPPED RIDGE CAP



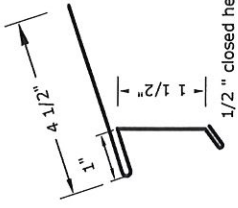
Need Roof Pitch
Requires two pieces of Zee per piece of ridge cap

NON LOCKING RAKE

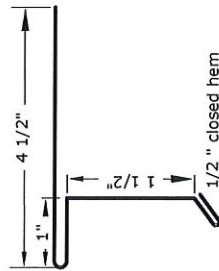


Requires one piece of Non Vented Zee and one piece of Rake Cleat per piece of Non Locking Rake

LOCKING DRIP



LOCKING RAKE



VALLEY



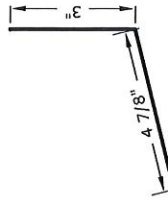
Need Roof Pitch
Requires two pieces of Offset Cleat per Piece of Valley

SIDE WALL



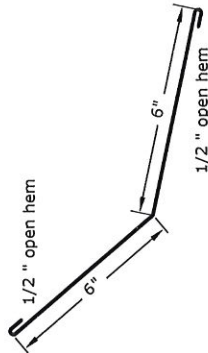
Requires one piece of Non Vented Zee Per piece of Side Wall

END WALL



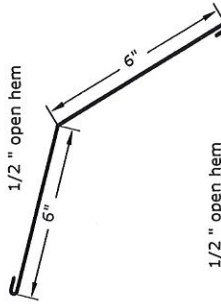
Need Roof Pitch
Requires one piece of Non Vented Zee Per piece of End Wall

TRANSITION



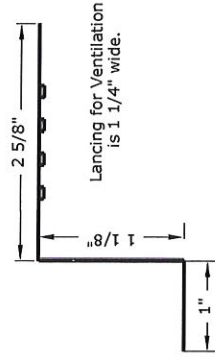
Need Roof Pitch of Upper and Lower Roof Line
Requires one piece of Non Vented Zee and One Piece of Offset Cleat per Transition

GAMBREL



Need Roof Pitch of Upper and Lower Roof Line
Requires one piece of Non Vented Zee and One Piece of Offset Cleat per Gambrel

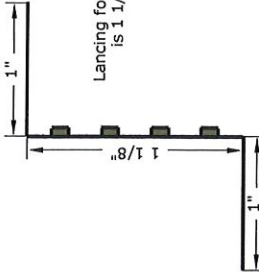
TOP VENTED ZEE



Lancing for Ventilation is 1 1/4" wide.

Recommended when Venting is Required using a Stepped Ridge Cap.

FACE VENTED ZEE



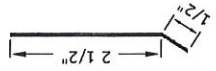
Lancing for Ventilation is 1 1/4" wide.

Recommended when Venting is Required using a Straight Ridge Cap.

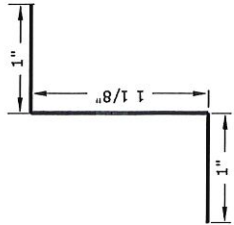
OFFSET CLEAT



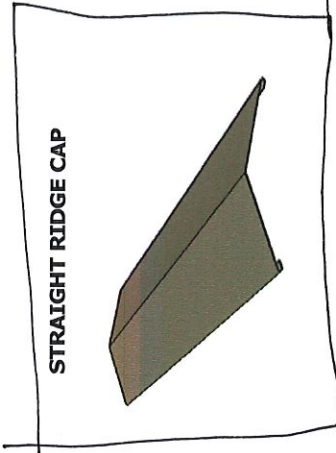
RAKE CLEAT



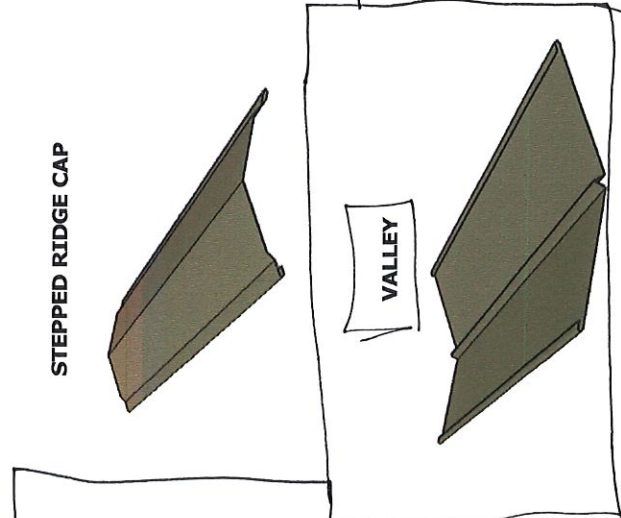
NON VENTED ZEE



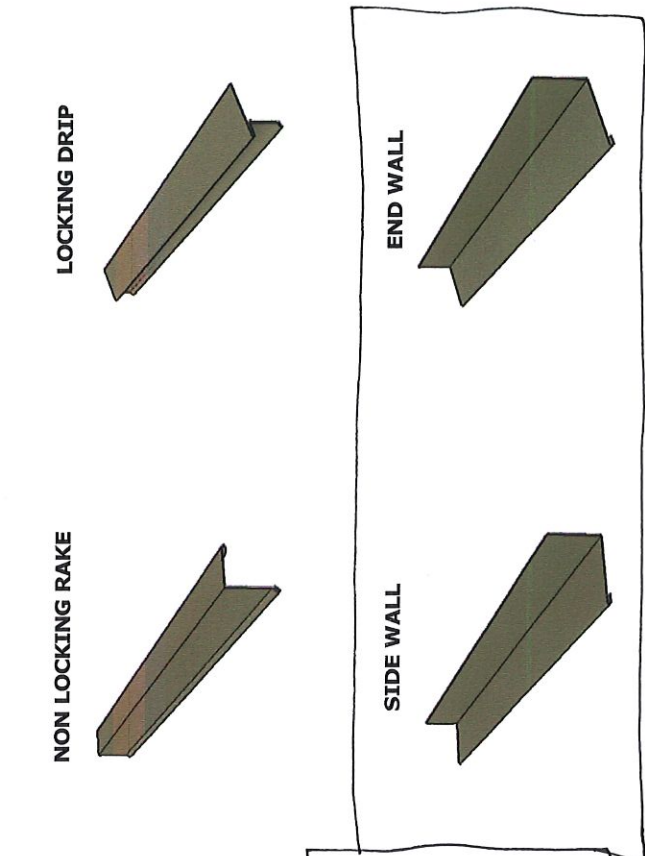
CMP NAILSTRIP



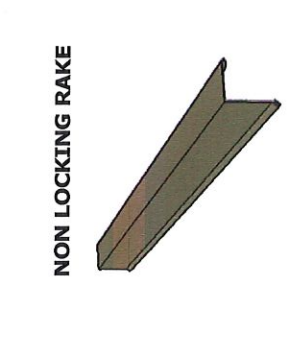
STRAIGHT RIDGE CAP



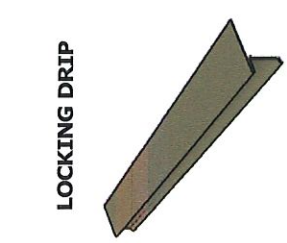
STEPPED RIDGE CAP



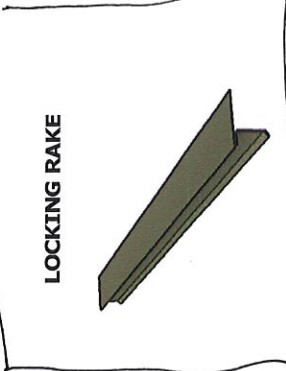
LOCKING RAKE



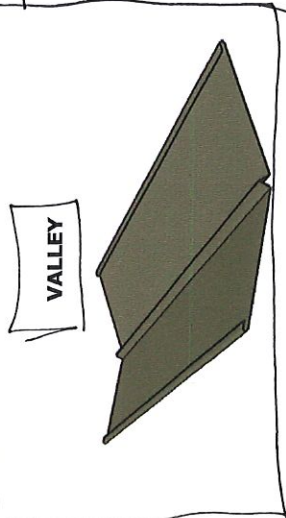
NON LOCKING RAKE



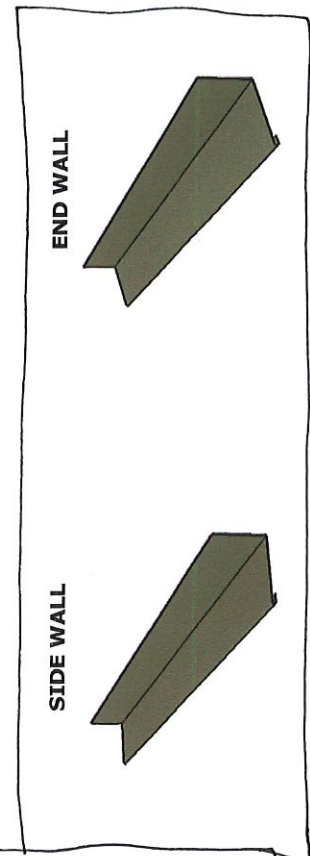
LOCKING DRIP



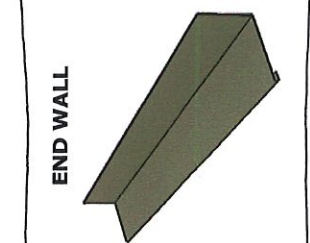
LOCKING RAKE



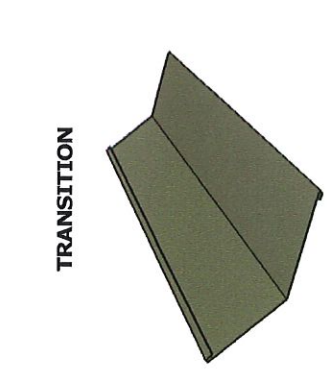
VALLEY



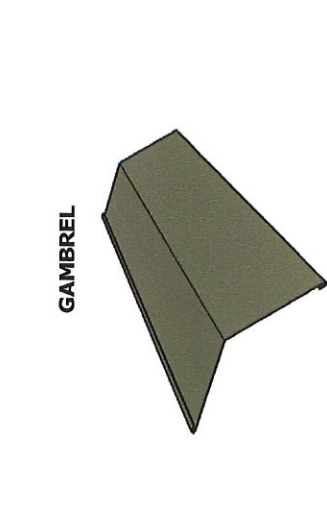
SIDE WALL



END WALL



TRANSITION



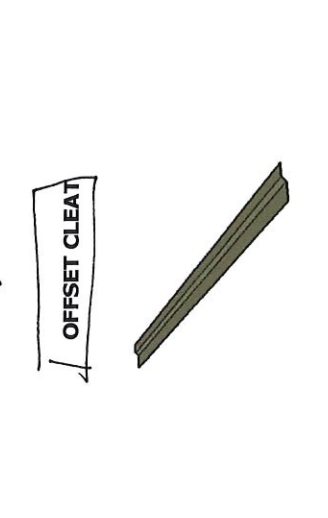
GAMBREL



FACE VENTED ZEE



NON VENTED ZEE



OFFSET CLEAT



RAKE CLEAT

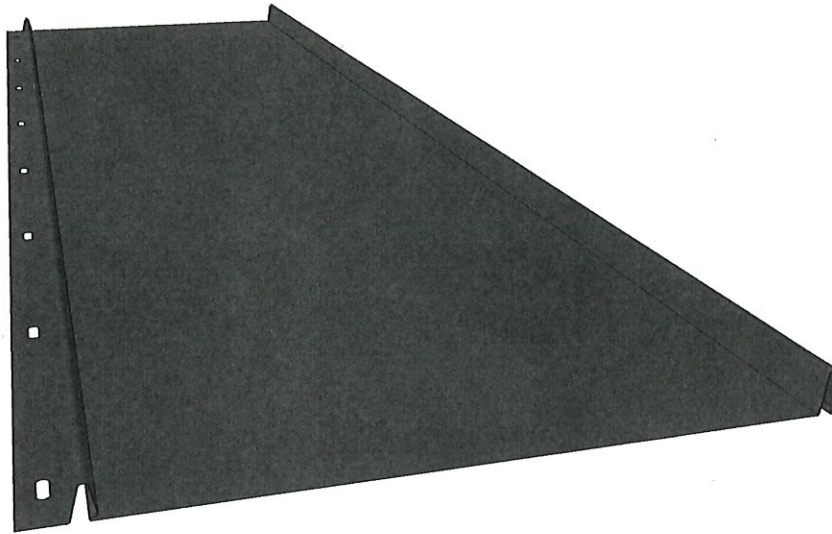


TOP VENTED ZEE



FACE VENTED ZEE





[DESCRIPTION](#) [TRIMS](#) [REFERENCE FILES](#) [COLOR CHART](#)

The Series Nail Strip system includes a revolutionary design which eliminates the use of retainer clips and exposed fasteners while embracing the dynamic nature of a true standing seam metal roof. The Nail Strip panel is attached with concealed fasteners through its slotted securement flange, allowing for expansion and contraction. Designed for sloped roofs and walls with solid substrates the nail strip panel installs quickly and is available in selected colors in 26 gauge, and a full range of Kynar® finishes in 24 gauge.

Also able to resist winds up to 130 MPH when following the building parameters and fastener spacing requirements on a per job basis.

Note: Oil canning is an inherent aspect within metal roofing, and not a cause for rejection. See "Oil Canning Statement" under the Reference Files tab for more information.



About CMP_Metal

CMP, Inc. has been in business manufacturing metal roofing systems since 1994. We have expanded our business by supplying quality roof systems to our customers and have many successful commercial and industrial metal roof systems in both Carolinas.

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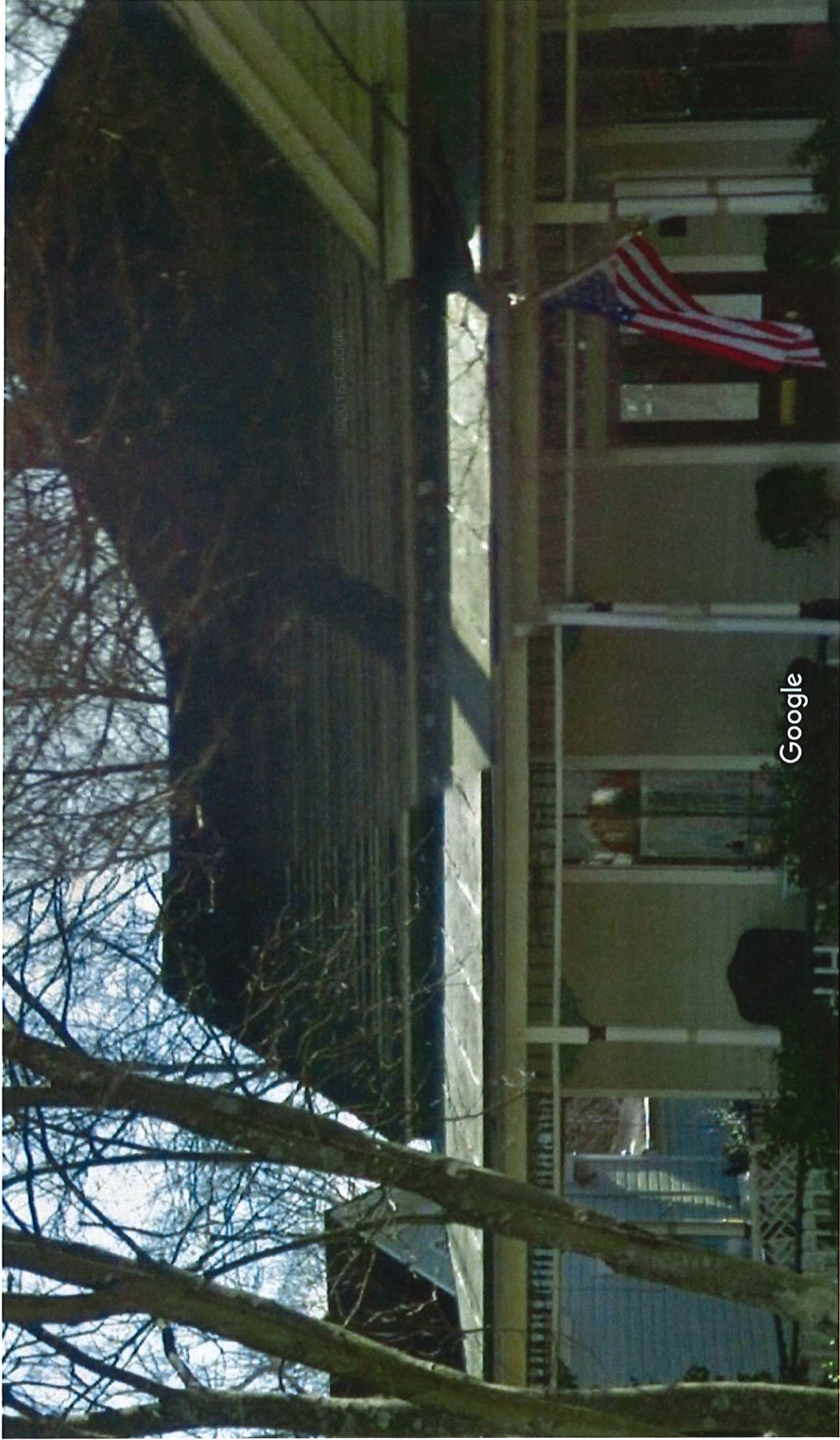


Image capture: Feb 2016 © 2017 Google

Raleigh, North Carolina

Street View - Feb 2016







Image capture: Feb 2016 © 2017 Google