



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

500 POLK STREET

Address

OAKWOOD

Historic District

Historic Property

045-17-MW

Certificate Number

03-14-2017

Date of Issue

09-14-2017

Expiration Date

Project Description:

- Removal and replacement of dead dogwood tree
- Removal and replacement of existing deck with smaller footprint deck
- Installation of brick patio to match one on north side of yard
- Removal of gardenia
- Pruning large tree

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 10 copies
 - Additions Greater than 25% of Building Square Footage
 - New Buildings
 - Demo of Contributing Historic Resource
 - All Other
- Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 503213

File # 045-17-MW

Fee \$29.00

Amount Paid 29.00

Received Date 02/09/17

Received By Pam Best

Property Street Address 500 Polk Street

Historic District Oakwood

Historic Property/Landmark name (if applicable)

Owner's Name Eric and Sarah David

Lot size 0.11 acre

(width in feet) 52

(depth in feet) 92

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys ([Label Creator](#)).

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Sarah David

Mailing Address 500 Polk Street

City Raleigh

State NC

Zip Code 27604

Date 2-2-2017

Daytime Phone 336-682-3695

Email Address winstondawg@gmail.com

Applicant Signature

Sarah David

Office Use Only

Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Type of Work

76, 24, 56, 38, 40

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.3, page 13	Tree removal and replacement, tree pruning, gardenia removal, patio construction	We propose: 1. removing a dead dogwood and replacing it with a dogwood or similar-size tree 2. replacing an existing deck with a smaller deck using Trex flooring and railing; colors and design to be similar to existing, supported with brick piers rather than wood posts 3. installing a brick patio in south half of side yard to match existing patio in the north half of the side yard 4. removing a large gardenia 5. pruning a large tree as part of regular maintenance
4.1, page 53	Deck replacement	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 9/14/17. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) *Melissa Robb* Date 3/14/17

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. <u>Minor Work</u> (staff review) – 1 copy <u>Major Work</u> (COA Committee review) – 10 copies	X		✓		
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		✓		
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>		✓		
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Drawings showing existing and proposed work <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>		✓		

Deck / Landscape / Patio Changes
500 Polk Street

Deck:

We propose replacing the current deck with slightly smaller deck with a simpler configuration constructed with Trex or Timber Tech (similar to Trex) composite decking material on brick piers with lattice fill between the piers.

The proposed deck will have a simple white railing similar to the existing and the deck flooring will be a grey similar to the appearance of weathered wood. The brick piers will be 12" x 12" and will match the existing brick wall and fence along the south and east edges of the yard.

Trex brand specifications for the decking and railing, including the proposed colors, are attached.

The footprint of the existing deck is approximately 110 square feet. The footprint of the proposed deck is approximately 54 square feet.

The railing height of the proposed deck will be the same as the existing deck. The posts on the existing deck are slightly taller than the height of the proposed posts.

Tree removal, tree pruning, gardenia removal, landscape:

We also propose removing an old and mostly-dead dogwood located along the east edge of the property. This will be replaced with another dogwood or tree of a similar mature size (most likely a Japanese maple if not a dogwood). We will consult with a landscape architect or arborist about the best location for a replacement tree. We would like to put the new tree a few feet south of the existing tree's location, but if a new tree is unlikely to thrive in this location because of the existing fence or proposed patio, we will plant the new tree in the planting strip along the East Street side of the property.

If the replacement tree will be healthy near the current dogwood's location, we may plant a dogwood or similar size tree in the planting strip along East Street in addition to the dogwood's replacement and we would like to have the option for planting two new trees approved.

We propose pruning a tall tree in the southwest corner of the yard. We have received a COA for pruning this tree before and we did that pruning, but it needs to be trimmed again. The tree species remains unidentified, but it is a fast-growing tree and limbs are over our and the roof at the house immediately to the south (Kay and Don Hobart).

We propose removing a large gardenia located at the north end of the side yard, next to the sidewalk that connects the front yard to the side yard.

We also propose replacing wildflowers (mostly black-eyed Susans) in the planting beds around the existing patio with Mondo grass.

Patio:

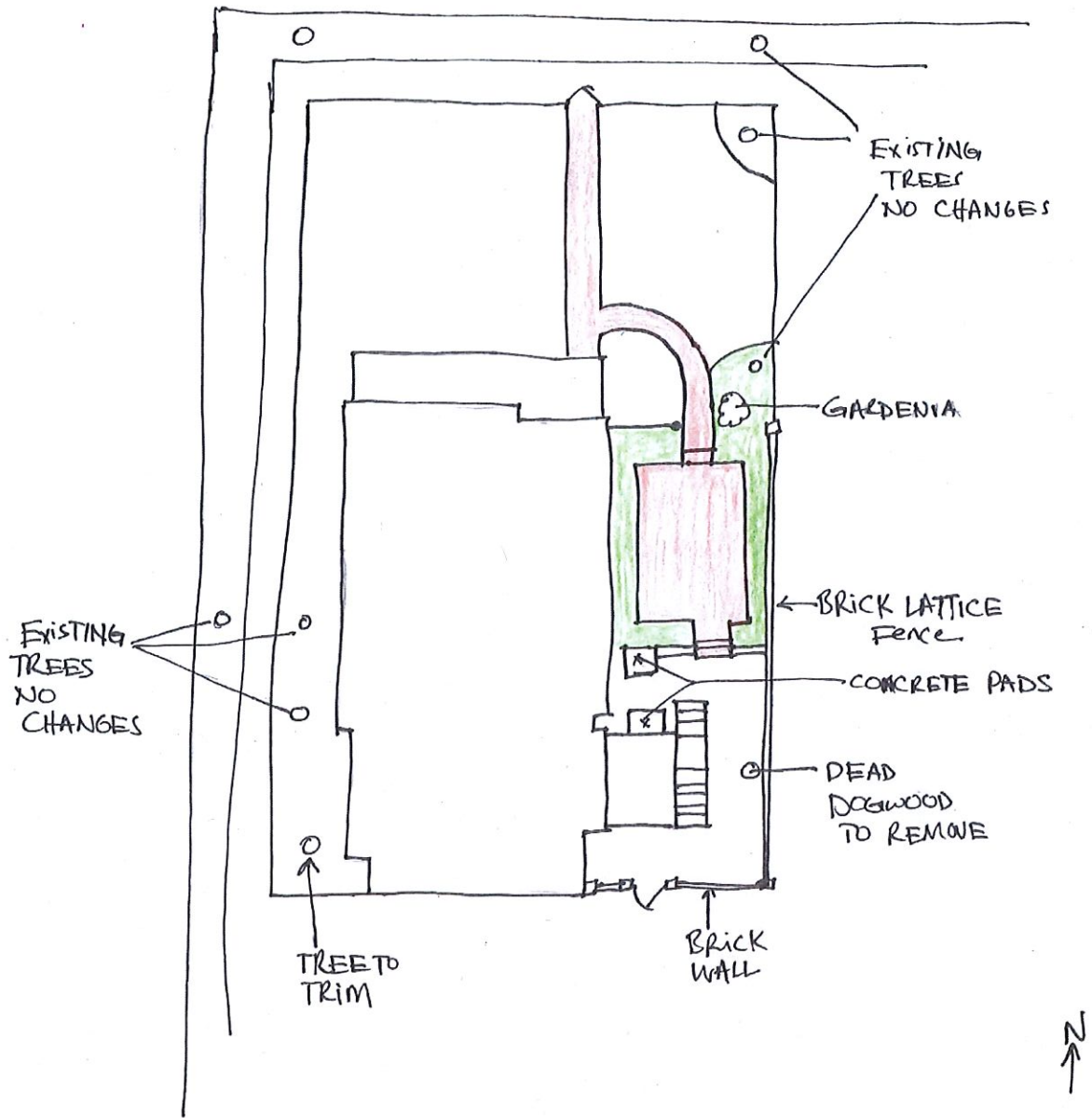
Several years ago, we received a COA to create upper and lower patios in the side yard. We constructed the upper patio and most of a retaining wall between the upper and lower side yard. The retaining wall

Deck / Landscape / Patio Changes
500 Polk Street

terminated at an air conditioning unit located next to the house. That unit and a second unit have been relocated to the west side yard (COA approved). We propose removing the concrete pads where those units were located and extending the stone retaining wall to the house's foundation.

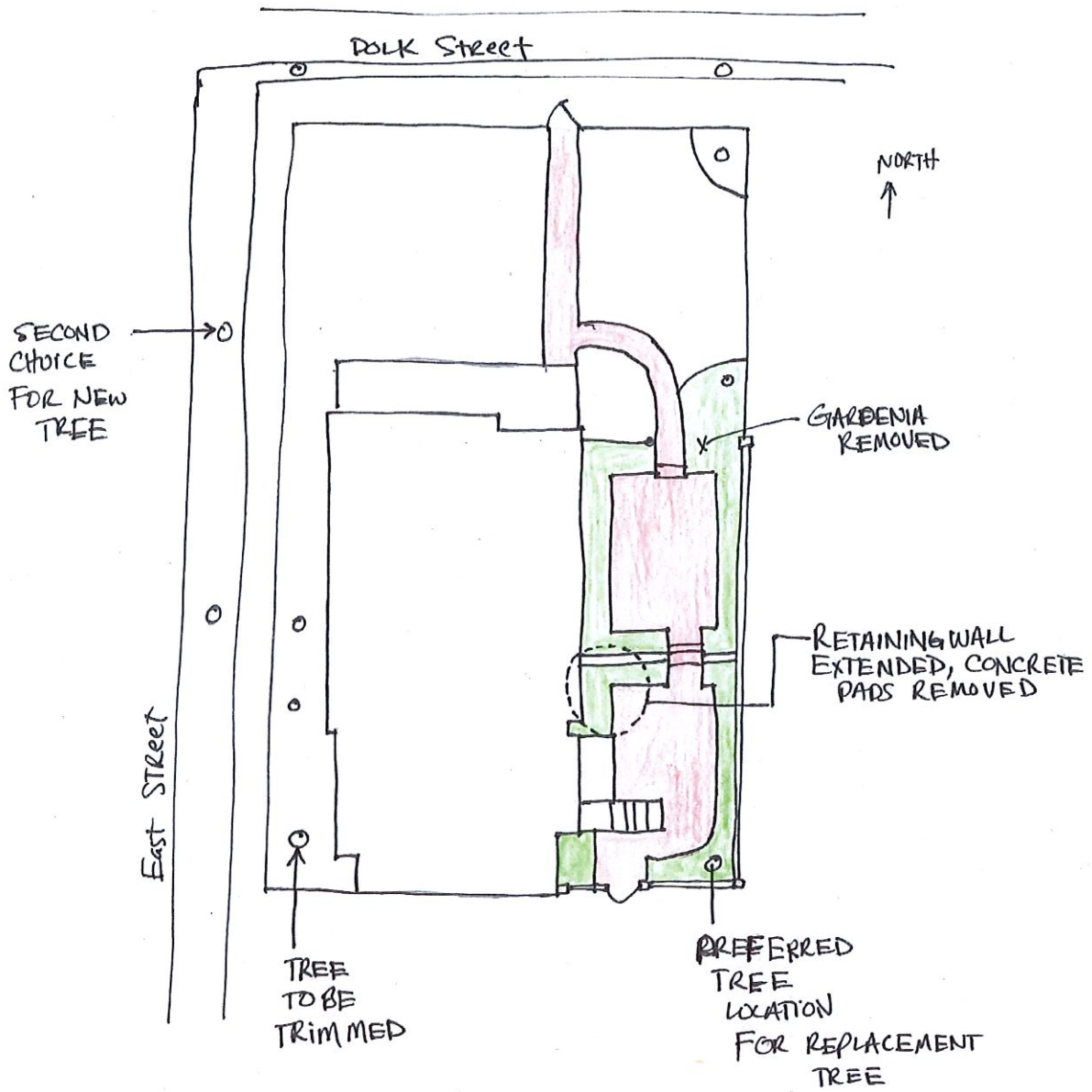
To the south of the retaining wall, we propose creating a brick patio similar to the upper patio. This patio will have a 2' deep planting bed along the retaining wall and along the east fence and south wall. Planting beds will also be located against the house's foundation to the north and south of the deck.

Deck / Landscape / Patio Changes
500 Polk Street



Existing Deck +
Landscape at
500 Polk Street

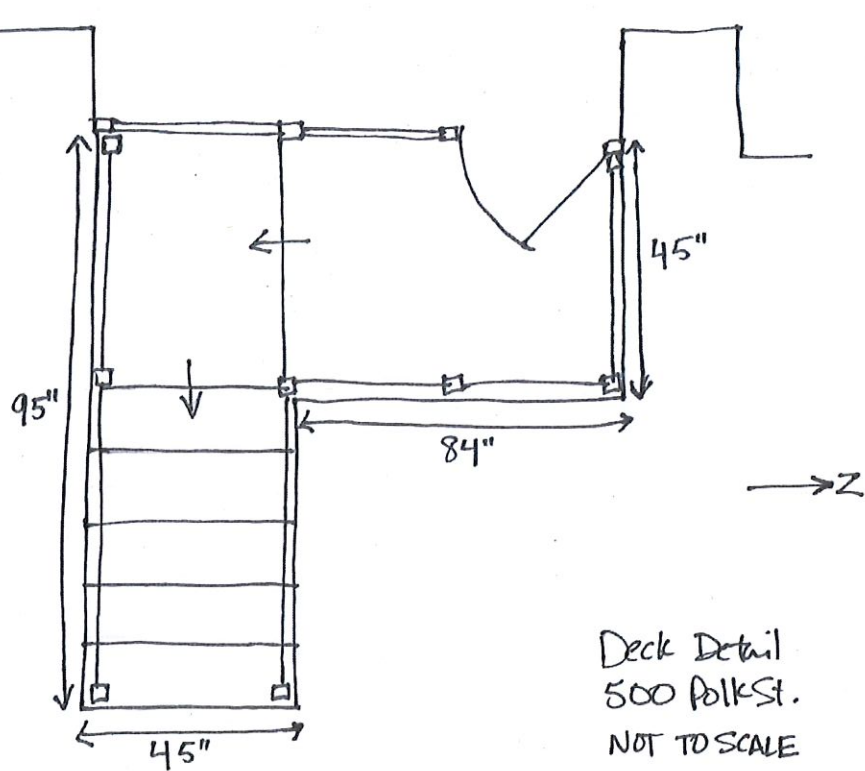
Deck / Landscape / Patio Changes
500 Polk Street



PLANTING BEDS IN GREEN
BRICK IN RED

PROPOSED
Deck + landscape
500 Polk Street

Deck / Landscape / Patio Changes
500 Polk Street



Deck Detail
500 Polk St.
NOT TO SCALE

Deck / Landscape / Patio Changes
500 Polk Street



1 Existing Deck

Deck / Landscape / Patio Changes
500 Polk Street



2: Existing Deck

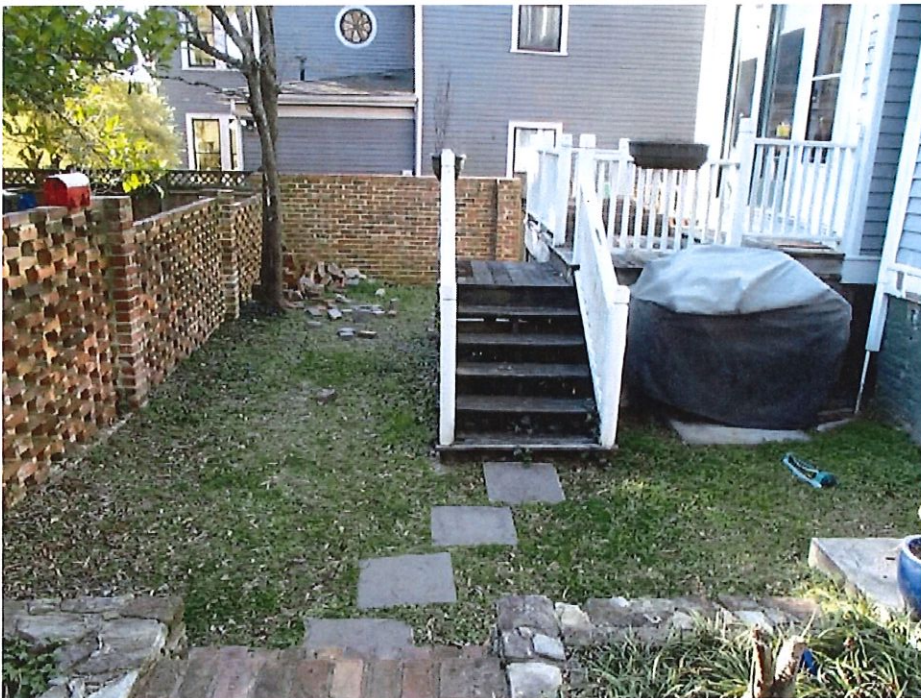


3: mock-up of replacement deck and new patio

Deck / Landscape / Patio Changes
500 Polk Street



4: Existing conditions in southern half of side yard



5: Existing conditions

Deck / Landscape / Patio Changes
500 Polk Street



6: Gardenia to be removed



7: existing upper patio; no changes except replacing flowers with grass; gardenia to be removed is highlighted

Deck / Landscape / Patio Changes
500 Polk Street



8 Concrete pad to be removed



9 Concrete pad (under grill) to be removed

Deck / Landscape / Patio Changes
500 Polk Street



10 Dead dogwood, LIVING limbs shown in yellow

Deck / Landscape / Patio Changes
500 Polk Street



11: Dead dogwood, LIVING limbs in yellow



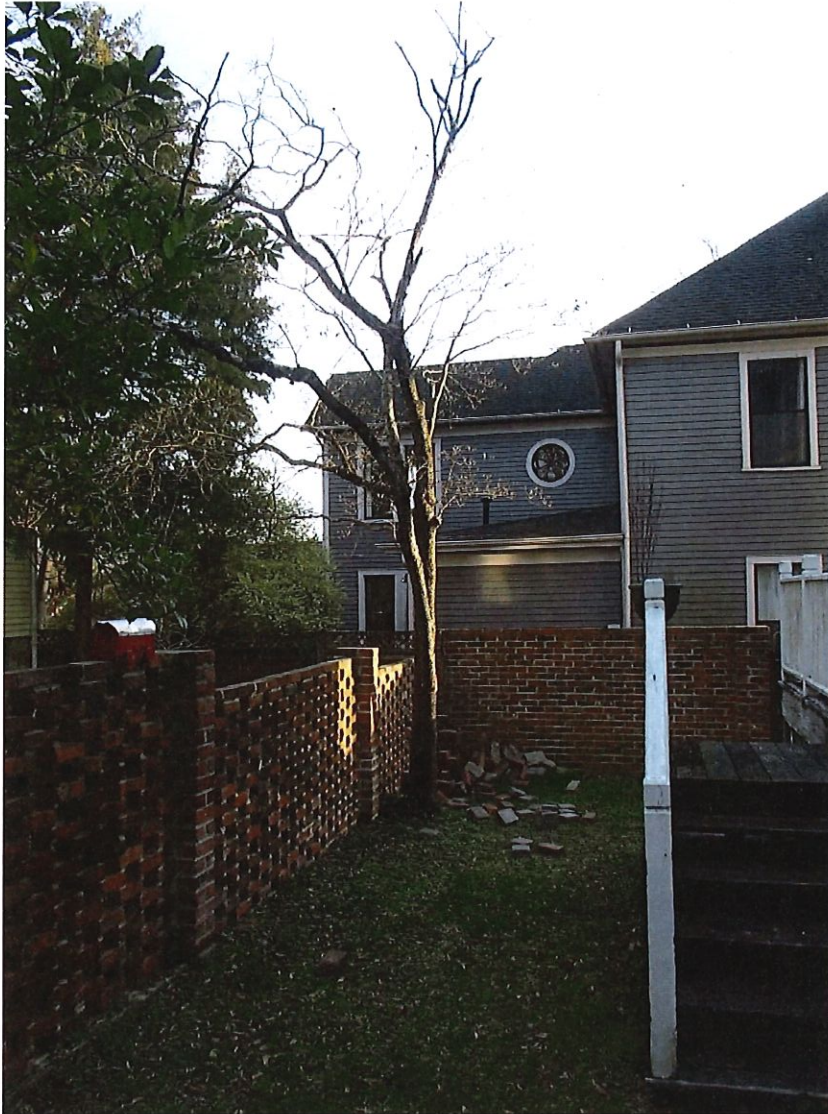
12: Dead dogwood; LIVING area circled

Deck / Landscape / Patio Changes
500 Polk Street



13: *Dead dogwood*

Deck / Landscape / Patio Changes
500 Polk Street



14: *Dead dogwood*

Deck / Landscape / Patio Changes
500 Polk Street



15: Second choice location (yellow dot) for replacement tree, or possible new tree location if dogwood in the rear side is feasible

Deck / Landscape / Patio Changes
500 Polk Street



16: Tree to be pruned; regular maintenance to keep limbs off our house and neighbor's house

Deck / Landscape / Patio Changes
500 Polk Street

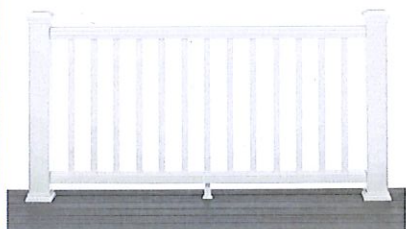


17: Tree for pruning

CONTRAST IT
with Island Mist



IM-2

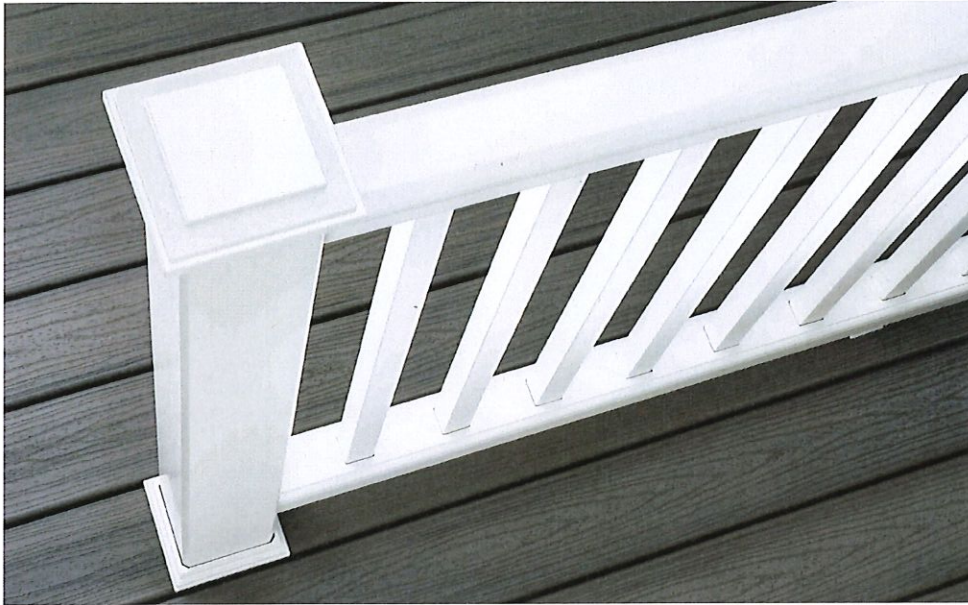


Now that you've found your favorite duo,
here's how to put it all together.

Take this ordering guide to a builder or dealer to get
all the components necessary for your
ideal decking and railing.

Find a builder: [TREX.COM/FIND-A-CONTRACTOR](https://www.trex.com/find-a-contractor)

Find a dealer: [TREX.COM/FIND-TREX](https://www.trex.com/find-trex)



ISLAND MIST
Trex Transcend®

CONTRAST IT

BOARD PROFILES



— OR —



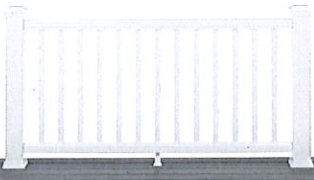
Square edge boards are designed to be installed with deck screws. They can also be used to create a cocktail rail.

Grooved edge boards install with hidden fasteners, so the deck surface looks smooth.

ISLAND MIST DECK BOARD PROFILES

		Trex Item #	Description*	Number needed
1-in x 6-in Decking, Square Edge	1 x 6 x 12'	IM010612TS48	1" Square Edge Board, 12' long	
	1 x 6 x 16'	IM010616TS48	1" Square Edge Board, 16' long	
	1 x 6 x 20'	IM010620TS48	1" Square Edge Board, 20' long	
1-in x 6-in Decking, Grooved Edge	1 x 6 x 12'	IM010612TG48	1" Grooved Edge Board, 12' long	
	1 x 6 x 16'	IM010616TG48	1" Grooved Edge Board, 16' long	
	1 x 6 x 20'	IM010620TG48	1" Grooved Edge Board, 20' long	
Fascia	1 x 8 x 12'	IM010812TS60	1" x 8" Fascia, 12' long	
	1 x 12 x 12'	IM011212TS40	1" x 12" Fascia, 12' long	

NOTE: *All dimensions listed are nominal, for actual dimensions visit trex.com



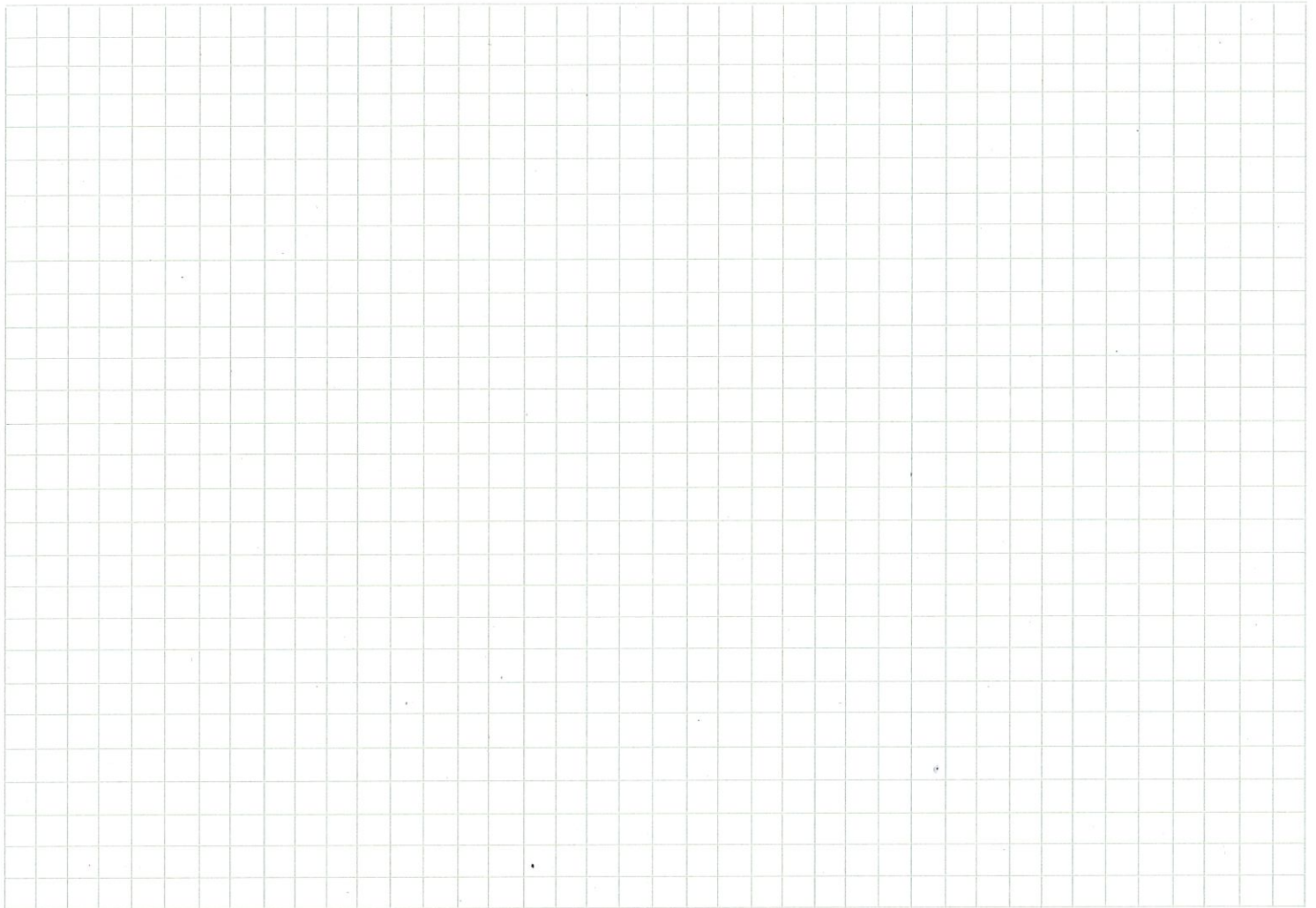
Classic White rails, posts and balusters

		Trex Item #	Description*	Notes	
6-ft x 36-in Horizontal Rail	Number of sections: _____	Step 1	WT040439APS	4" x 4" x 39" Post Sleeve	
		Step 2A	WTSQCAP4X4	Flat 4" x 4" Post Cap (Sold in Box of 12)	1 required per post
		Step 2B	WTSKIRT4X4	4" x 4" Post Sleeve Skirt (Sold in Box of 12)	1 required per post
		Step 3A	WTCROWNTR06	6' Crown Top Rail	
		Step 3B	WTUNIVTBR06	6' Universal Top / Bottom Rail	
		Step 4	WT020230SBK	Square Composite Balusters for 36" Rail Height (Sold in Box of 16)	13 required per section
		Step 5	WTSQHIK06	6' Accessory Infill Kit for Square Composite Balusters - Horizontal	
6-ft x 36-in Stair Rail	Number of sections: _____	Step 1	WT0404108APS	4" x 4" x 108" Post Sleeve	1 required for every 2 posts
		Step 2A	WTSQCAP4X4	Flat 4" x 4" Post Cap (Sold in Box of 12)	1 required per post
		Step 2B	WTSKIRT4X4	4" x 4" Post Sleeve Skirt (Sold in Box of 12)	1 required per post
		Step 3A	WTCROWNTR06	6' Crown Top Rail	
		Step 3B	WTUNIVTBR06	6' Universal Top / Bottom Rail	
		Step 4	WT020230SBK	Square Composite Balusters for 36" Rail Height (Sold in Box of 16)	11 required per section
		Step 5	WTSQSIK06	6' Accessory Infill Kit for Square Composite Balusters - Stair	
8-ft x 36-in Horizontal Rail	Number of sections: _____	Step 1	WT040439APS	4" x 4" x 39" Post Sleeve	
		Step 2A	WTSQCAP4X4	Flat 4" x 4" Post Cap (Sold in Box of 12)	1 required per post
		Step 2B	WTSKIRT4X4	4" x 4" Post Sleeve Skirt (Sold in Box of 12)	1 required per post
		Step 3A	WTCROWNTR08	8' Crown Top Rail	
		Step 3B	WTUNIVTBR08	8' Universal Top / Bottom Rail	
		Step 4	WT020230SBK	Square Composite Balusters for 36" Rail Height (Sold in Box of 16)	18 required per section
		Step 5	WTSQHIK08	8' Accessory Infill Kit for Square Composite Balusters - Horizontal	
8-ft x 36-in Stair Rail	Number of sections: _____	Step 1	WT0404108APS	4" x 4" x 108" Post Sleeve	1 required for every 2 posts
		Step 2A	WTSQCAP4X4	Flat 4" x 4" Post Cap (Sold in Box of 12)	1 required per post
		Step 2B	WTSKIRT4X4	4" x 4" Post Sleeve Skirt (Sold in Box of 12)	1 required per post
		Step 3A	WTCROWNTR08	8' Crown Top Rail	
		Step 3B	WTUNIVTBR08	8' Universal Top / Bottom Rail	
		Step 4	WT020230SBK	Square Composite Balusters for 36" Rail Height (Sold in Box of 16)	15 required per section
		Step 5	WTSQSIK08	8' Accessory Infill Kit for Square Composite Balusters - Stair	

Number needed

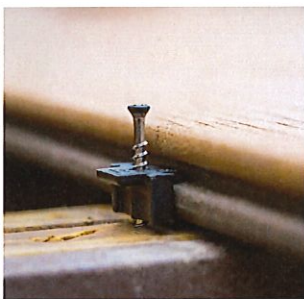
Accessories for 42-in Rail Height	Step 1	WT0404108APS	4" x 4" x 108" Post Sleeve	1 required for every 2 posts Substitute item for 42" Rail Height Horizontal and Stair installations
	Step 4	WT020236SBK	Square Composite Balusters for 42" Rail Height (Sold in Box of 16)	Substitute item for 42" Rail Height Horizontal and Stair installations
Accessories	Accessory	WTHZACCYKIT	Mounting Hardware for Cut Rails - Horizontal	
	Accessory	WTSTACCYKIT	Mounting Hardware for Cut Rails - Stair	
	Accessory	WT22HGASK	22.5 Degree Gasket Pack	
	Accessory	WT45RSBADAPK	45 Degree "Birdsmouth" Gasket Pack	

NOTE: *All dimensions listed are nominal, for actual dimensions visit trex.com



Trex® Accessories to Consider

HIDDEN FASTENERS



Sub-surface clips that leave a smooth, unfettered finish

for grooved-edge boards

FASCIA



Gives a clean, polished look to stairs and sides of deck

DECK LIGHTING



Energy-efficient lights that easily integrate into your decking and railing

ALUMINUM GATES



Strong, durable gates that can be customized for your space

