

RHDC
 RALEIGH HISTORIC
 DEVELOPMENT COMMISSION

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

814 OBERLIN ROAD

Address

Project Description:

▪ Renew COA 076-16-CA

Historic District

PLUMMER T. HALL HOUSE

Historic Property

011-17-MW

Certificate Number

02-02-2017

Date of Issue

08-01-2017

Expiration Date

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Melissa Robb

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Ken Bowers, Planning Director, City of Raleigh

Mailing Address PO Box 590

City Raleigh	State NC	Zip Code 27602
---------------------	-----------------	-----------------------

Date December 30, 2016	Daytime Phone
-------------------------------	----------------------

Email Address kenneth.bowers@raleighnc.gov

Applicant Signature 

Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Office Use Only
Type of Work _____ 91

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
		renewal of expired 076-16-COA

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 8/1/17 2-2-18 ^{TGS}. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) Melissa Robb Date 2/2/17

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.					
Minor Work (staff review) – 1 copy					
Major Work (COA Committee review) – 10 copies					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale (required) <input type="checkbox"/> 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input type="checkbox"/>				

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS – CERTIFIED RECORD

076-16-CA 814 OBERLIN ROAD

Applicant: CITY OF RALEIGH

Received: 5/6/2016

Meeting Date(s):

Submission date + 90 days: 8/4/2016

1) 5/25/2016 2) 3)

INTRODUCTION TO THE APPLICATION

Historic District: LANDMARK HISTORIC DISTRICT

Raleigh Historic Landmark: REV. PLUMMER T. HALL HOUSE

Nature of Project: Relocate house on existing parcel; construct new foundation; reconstruct porch piers and floor; remove 3 trees; plant 6 trees

Conflict of Interest: None noted.

Staff Notes:

- North Carolina General Statutes and Raleigh City Code provide that the application for demolition of trees cannot be denied; only delayed for a maximum of 365-days.
- There is a typographical error in the Nature of Project listed in the amended agenda: only three trees are correctly described as being removed; however, six trees are proposed to be planted.

APPLICABLE SECTIONS OF GUIDELINES and DESCRIPTION OF PROJECT

<u>Sections</u>	<u>Topic</u>	<u>Description of Work</u>
2.3	Site Features and Plantings	remove trees; plant trees
3.8	Entrances, Porches, and Balconies	reconstruct porch piers and floor
4.3	New Construction	relocate house; construct new foundation; reconstruct porch piers and floor
5.1	Relocation	relocate house

STAFF POSITION

Based on the information contained in the application, in staff's judgment:

- A. Relocation of the house is not incongruous in concept according to *Guidelines* 2.3.1, 2.3.2, 2.3.5, 2.3.6, 2.3.7 5.1.1, 5.1.2, 5.1.4, 5.1.6, 5.1.7, and the following facts:
- 1* A survey of the trees on the property was provided. Only trees affected by the relocation of the house are proposed for removal and will be replaced two for one.
 - 2* Tree protection is proposed; a detailed plan is provided, but is not sufficiently readable.
 - 3* Detailed drawings and photographs of the house were provided and are on file.
 - 4* Details regarding the proposed move were prepared by a registered architect in conjunction with a structural engineer.
 - 5* The structure to be relocated sits in the right-of-way.
 - 6* The proposed location approximately 34 feet back (roughly east) reduces the impact to the dwelling from the existing roadway and from any future widening.
 - 7* The proposed location will create a larger front lawn to buffer the house from the traffic.
 - 8* The house will maintain its current orientation to the street.
 - 9* The property will be re-landmarked after relocation.

10* An archaeological investigation completed in May 2015 found that no significant archaeological remains would be disturbed by the relocation of the house.

B. Construction of new foundation; reconstruction of porch piers and floor is not incongruous in concept according to *Guidelines* 3.2.7, 3.4.3, 3.8.6, and the following facts:

- 1* The new foundation under the historic sections of the house will be brick veneer, detailed to convey the appearance of the original pier locations. The foundation under the 1996 addition will be continuous to match its modern era construction. Material samples were not provided.
- 2* The original height of the foundation was very low which contributed to termite-damage discovered in the floor framing system. The height of the new foundation seeks to balance proximity of the house's original relationship to the ground with code-mandated clearance to floor framing.
- 3* The historic portion of the house currently has no foundation vents. Dark bronze foundation crawl-space vents will be installed to meet building code requirements. Sample cast iron vents were provided.
- 4* Metal cellar access doors are also proposed on the rear and sides of the building. Specifications were provided.
- 5* The front porch floor is currently a non-original concrete slab supported by concrete block. This will be demolished and replaced at the new location with tongue and groove wood decking on wood framing supported by brick piers. Detailed drawings were provided.
- 6* Simple vernacular wood steps with open risers and stringers will provide access to the front and rear porches. Detailed drawings were provided.

C. Removal of trees; planting of new trees is not incongruous in concept according to *Guidelines* 2.3.1, 2.3.5, 2.3.7, and the following facts:

- 1* The committee has the authority and duty to waive or shorten the 365-day delay when a structure or site is found to be of no significance: "...If the Commission finds that the building, structure or site has no particular significance or value toward maintaining the character of the Historic Overlay District or Historic Landmark, it shall waive all or part of such period and authorize earlier demolition or removal." [UDO §10.2.15.E.1]
- 2* A survey of the trees on the property was provided. Only trees affected by the relocation of the house are proposed for removal and will be replaced.
- 3* A two-stemmed tree (or trees) immediately in front of and adjacent to the front porch will be removed in order to access the house foundation and floor framing to prepare the building for relocation. One tree will need to be removed that is in conflict with the new location.
- 4* Six new trees will be provided near the perimeter of the parcel on south and east sides to compensate for the removed tree canopy. Species and locations are provided.
- 5* Tree protection and silt protection fencing is proposed; detailed information is provided, but is not sufficiently readable.

Staff recommends that the committee approve the application waiving the 365-day demolition delay, with the following conditions:

1. That the application for landmark re-designation be filed within 30 days of the move.
2. That details and specifications for the following be provided to and approved by staff prior to the issuance of the blue placard for the move:

- a. Final foundation height (dependent upon site topography condition survey by contractor to determine foundation drain to daylight benchmark);
 - b. Higher visual quality tree protection plan.
3. That details and specifications for the following be provided to and approved by staff prior to construction/installation:
- a. brick face finish and color;
 - b. paint color selections;
 - c. final cellar door design and color;
 - d. final foundation vent color.
4. That a new COA be filed for any site modifications including sidewalks, planting and/or driveway.

PUBLIC TESTIMONY

Staff Introduction: Tania Tully [affirmed] showed the location of the property on the map and noted highlights from staff comments. Ms. Tully announced that since there is no one present at the meeting to represent the application as per guidance from the city attorney, it is up to the committee if they wished to hear this application. The committee decided to hear the application.

Ms. Tully introduced the Plummer T. Hall House which is a historic landmark. Ms. Tully stated that the house is being moved back and over slightly onto new property so that it is out of the right-of-way. Ms. Tully stated there was been a lot of termite damage and that staff has recommended approval with some conditions as well as waiving the 365 day delay of tree demolition for 2-3 trees on the property.

There was no one present to speak in favor of or in opposition to the application.

At Ms. Caliendo's suggestion Mr. Davis moved that the public testimony portion of the hearing be closed. Ms. David seconded; motion carried 6/0.

Committee Discussion

The following points were made in discussion [speaker indicated in brackets]:
The application covers everything. [Davis]
It is very complete. [David]

Findings of Fact and Conclusions of Law

Mr. Smith moved that based upon the facts presented in the application and the public hearing, the committee finds staff position A. (inclusive of facts 1-10), B. (inclusive of facts 1-6), and C. (inclusive of facts 1-5) to be acceptable as findings of fact:

- A. Relocation of the house is not incongruous in concept according to *Guidelines* 2.3.1, 2.3.2, 2.3.5, 2.3.6, 2.3.7 5.1.1, 5.1.2, 5.1.4, 5.1.6, 5.1.7, and the following facts:

- 1* A survey of the trees on the property was provided. Only trees affected by the relocation of the house are proposed for removal and will be replaced two for one.
- 2* Tree protection is proposed; a detailed plan is provided, but is not sufficiently readable.
- 3* Detailed drawings and photographs of the house were provided and are on file.
- 4* Details regarding the proposed move were prepared by a registered architect in conjunction with a structural engineer.
- 5* The structure to be relocated sits in the right-of-way.
- 6* The proposed location approximately 34 feet back (roughly east) reduces the impact to the dwelling from the existing roadway and from any future widening.
- 7* The proposed location will create a larger front lawn to buffer the house from the traffic.
- 8* The house will maintain its current orientation to the street.
- 9* The property will be re-landmarked after relocation.
- 10* An archaeological investigation completed in May 2015 found that no significant archaeological remains would be disturbed by the relocation of the house.

B. Construction of new foundation; reconstruction of porch piers and floor is not incongruous in concept according to *Guidelines* 3.2.7, 3.4.3, 3.8.6, and the following facts:

- 1* The new foundation under the historic sections of the house will be brick veneer, detailed to convey the appearance of the original pier locations. The foundation under the 1996 addition will be continuous to match its modern era construction. Material samples were not provided.
- 2* The original height of the foundation was very low which contributed to termite-damage discovered in the floor framing system. The height of the new foundation seeks to balance proximity of the house's original relationship to the ground with code-mandated clearance to floor framing.
- 3* The historic portion of the house currently has no foundation vents. Dark bronze foundation crawl-space vents will be installed to meet building code requirements. Sample cast iron vents were provided.
- 4* Metal cellar access doors are also proposed on the rear and sides of the building. Specifications were provided.
- 5* The front porch floor is currently a non-original concrete slab supported by concrete block. This will be demolished and replaced at the new location with tongue and groove wood decking on wood framing supported by brick piers. Detailed drawings were provided.
- 6* Simple vernacular wood steps with open risers and stringers will provide access to the front and rear porches. Detailed drawings were provided.

C. Removal of trees; planting of new trees is not incongruous in concept according to *Guidelines* 2.3.1, 2.3.5, 2.3.7, and the following facts:

- 1* The committee has the authority and duty to waive or shorten the 365-day delay when a structure or site is found to be of no significance: "...If the Commission finds that the building, structure or site has no particular significance or value toward maintaining the character of the Historic Overlay District or Historic Landmark, it shall waive all or part of such period and authorize earlier demolition or removal." [UDO §10.2.15.E.1]
- 2* A survey of the trees on the property was provided. Only trees affected by the relocation of the house are proposed for removal and will be replaced.
- 3* A two-stemmed tree (or trees) immediately in front of and adjacent to the front porch will be removed in order to access the house foundation and floor framing to prepare the

building for relocation. One tree will need to be removed that is in conflict with the new location.

- 4* Six new trees will be provided near the perimeter of the parcel on south and east sides to compensate for the removed tree canopy. Species and locations are provided.
- 5* Tree protection and silt protection fencing is proposed; detailed information is provided, but is not sufficiently readable.

The motion was seconded by Ms. Webb ; passed 6/0.

Decision on the Application

Mr. Smith made a motion that the application be approved with the following conditions:

1. That the application for landmark re-designation be filed within 30 days of the move.
2. That details and specifications for the following be provided to and approved by staff prior to the issuance of the blue placard for the move:
 - a. Final foundation height (dependent upon site topography condition survey by contractor to determine foundation drain to daylight benchmark);
 - b. Higher visual quality tree protection plan.
3. That details and specifications for the following be provided to and approved by staff prior to construction/installation:
 - a. brick face finish and color;
 - b. paint color selections;
 - c. final cellar door design and color;
 - d. final foundation vent color.
4. That a new COA be filed for any site modifications including sidewalks, planting and/or driveway.

The motion was seconded by Ms. Webb; passed 6/0.

Committee members voting: Caliendo, David, Davis, Jackson, Smith, Webb.

Certificate expiration date: 11/25/16.



Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 eFax 919-996-1831

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
- Most Major Work Applications
- Additions Greater than 25% of Building Square Footage
- New Buildings
- Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 471576

File # 076-16-CA

Fee N/A

Amt Paid ⊘

Check # _____

Rec'd Date 5/6/16

Rec'd By ACF

• If completing by hand, please use BLACK INK. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address **814 Oberlin Road**

Historic District

Historic Property/Landmark name (if applicable) **Rev. Plummer T. Hall House**

Owner's Name **City of Raleigh**

Lot size **0.37 acre** (width in feet) **~91.5'** (depth in feet) **~178'**

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address
806 Oberlin Rd.	0 Oberlin Rd. (rear 812 Oberlin)
0 Oberlin Rd. (rear 814 Oberlin)	818 Oberlin Rd.
904 Oberlin Rd.	801 Oberlin Rd.
815 Oberlin Rd.	817 Oberlin Rd.
901 Oberlin Rd.	903 Oberlin Rd.; 2206 Van Dyke Ave.

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:


Applicant **City of Raleigh**

Mailing Address **PO Box 590**

City **Raleigh** State **NC** Zip Code **27602**

Date **5/6/16** Daytime Phone _____

Email Address _____ **martha.lauer@raleighnc.gov**

Signature of Applicant 

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until _____. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature _____ Date _____

Project Categories (check all that apply):

Exterior Alteration

Addition

New Construction

Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes

No

(Office Use Only)

Type of Work _____

6, 74, 75, 37,

57

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
5.1/pp. 60-61	Relocation	Relocate house within the same parcel
2.2/pp. 10-11	Archaeology	Relocation of house.
5.2/pp. 62-63	Demolition	Remove three (3) trees.
3.2/pp. 28-29	Masonry	Construct new foundation.
3.8/pp. 42-43	Entrances, Porches, and Balconies	Reconstruct original porch piers and wood floor
2.3/pp. 12-13	Site Features & Plantings	Plant three (3) trees.

	TO BE COMPLETED BY CITY STAFF				
	YES	NO	N/A		
<p>Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>			✓		
<p>1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)</p>	<input checked="" type="checkbox"/>	✓	✓		
<p>2. Description of materials (Provide samples, if appropriate)</p>	<input checked="" type="checkbox"/>		✓		
<p>3. Photographs of existing conditions are required.</p>	<input checked="" type="checkbox"/>		✓		
<p>4. Paint Schedule (if applicable)</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
<p>5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
<p>6. Drawings showing proposed work</p> <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s). <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
<p>7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
<p>8. Fee (See Development Fee Schedule)</p>	<input checked="" type="checkbox"/>		FOR		✓

WRITTEN DESCRIPTION:

The project consists of the relocation of the Plummer T. Hall House (a Raleigh Historic Landmark and listed in the National Register of Historic Places) within the same parcel it now stand on. Included in the project is the construction of a new foundation, reconstruction of the original wood front porch floor, and the planting of six trees. It will be necessary to remove three trees in order to accommodate the move.

[**For information only**, as the following work will not be visible from the exterior]: The project also includes performing structural reinforcement and repairs on deteriorated and termite-damaged building floor framing to strengthen its integrity for the relocation process.

Background: The Plummer T. Hall House (and its original 0.19 acre parcel) was designated a Raleigh Historic Landmark in 1993. It is significant for its association with the Reverend Plummer T. Hall, a former slave and the first pastor of Oberlin Baptist Church. Hall served as first pastor from 1880 until his death in 1915. He built this nearby house between 1880 and 1893 and added an office with front bay window and an exterior entrance from the front porch around 1900. A rear addition was constructed in 1996. The dwelling and its parcel were listed in the National Register of Historic Places in 2002.

The house remained in the Hall family until 2013. After the last resident family member entered a nursing home, the property became a financial burden. The City of Raleigh acquired the property in an effort to preserve the now-deteriorating dwelling. The City also acquired the vacant parcel at 812 Oberlin Road and has recombined 812 and 814 into a single parcel. The goal is to return the property to private ownership with preservation easements. The City intends to seek local and national re-designation of the property with the entirety of its new parcel once the relocation project is completed.

Relocation: To reduce the impact to the dwelling from the existing roadway and from any future widening, the City proposes to move it approximately 34 feet back (roughly east). This will create a larger front lawn to buffer the house from the traffic and keep it out of the current and possible expanded right-of-way. The façade will remain parallel to the street. The selected position preserves the greatest number of existing trees on the parcel. The recombination of 814 and 812 Oberlin Road into a parcel accommodates the new location of the house and further protects it, letting it stand on a single legal parcel. An archaeological investigation completed in May 2015 found that no significant archaeological remains would be disturbed by the above-described relocation of the Plummer T. Hall House. A copy of the investigation report is available for inspection.

The foundation of the main portion of the house is brick. Original brick pier construction was later infilled with brick between the piers. The new foundation under the historic sections of the house will be brick veneer, detailed to convey the appearance of the original pier locations. The foundation under the 1996 addition will be continuous to match its modern era construction. The original height of the foundation was very low which contributed to termite-damage discovered in the floor framing system. Height of the new foundation seeks to balance proximity of the house's original relationship to the ground with code-mandated clearance to floor framing. Moderate excavation of the crawl space allows some reduction in exterior foundation wall height while still permitting necessary foundation drains to

discharge to daylight (the relatively flat topography of the site provides only about 24" to work with). The historic portion of the house currently has no foundation vents. Dark bronze foundation crawl-space vents will be installed to meet building code requirements. Their simple visual design will differentiate them from historic construction while avoiding the creation of a false historical appearance. Two pairs of painted steel cellar doors of simple design supported by brick retaining walls will provide access the two discontinuous sections of the crawl space (Bilco or equal, information sheet attached).

The front porch floor is currently a non-original concrete slab supported by concrete block. This will be demolished and replaced at the new location with tongue and groove wood decking on wood framing supported by brick piers. See application drawing 3/A-103 for trim details. Porch posts and roof will remain; deteriorated elements will be repaired/replaced in kind. Simple vernacular wood steps with open risers and stringers will provide access to the front and rear porches.

Tree removal, protection and replacement: A two-stemmed tree (or trees) immediately in front of and adjacent to the front porch will have to be removed in order to access the house foundation and floor framing to prepare the building for relocation. One tree will need to be removed that is in conflict with the new location. Six new trees will be provided near the perimeter of the parcel on south and east sides to compensate for the removed tree canopy. See drawings for species. Tree protection and silt protection fencing will be employed to preserve trees to remain and manage construction impacts.

Materials:

- Brick: New, standard manufactured masonry to closely match masonry on historic portion of house
- Foundation vents: cast iron painted dark bronze, with bronze insect screening mounted to the crawl space side of the vent
- Porch wood decking: nominal 5/4 x 4" pressure-treated tongue and groove
- Porch deck wood fascia trim: nominal 1" x 10" board; 3/4" cove mould
- Stair treads and stringers: nominal 2" x [variable dimension] pressure-treated lumber for

Conditional approval: We request conditional approval of the application allowing us to provide information to staff for review and approval prior to construction for the following items:

1. final foundation height (dependent upon site topography condition survey by contractor to determine foundation drain to daylight benchmark);
2. brick face finish and color;
3. paint color selections;
4. final cellar door design and color;
5. final foundation vent color.



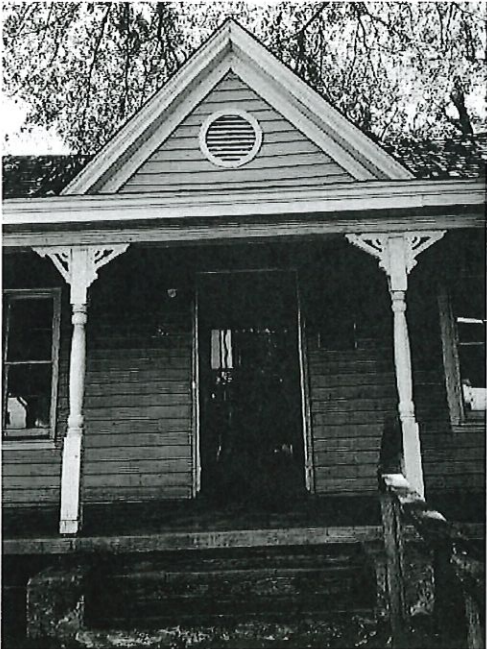
Foundation Vent Size: 9.75" x 17.5"

Two-stem tree to
be removed

Photographs



Main (West) Facade



Front Door



View along porch to office entrance

Photographs

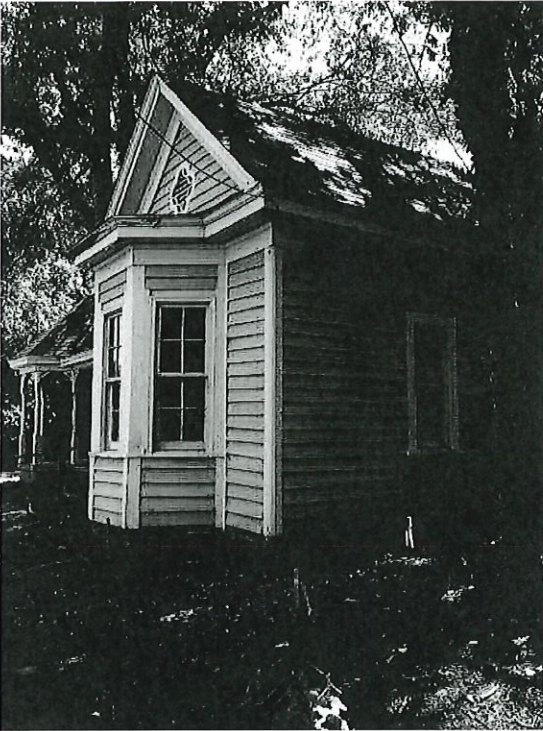


North Facade



East (Rear) Facade

Photographs



South Facade at Office Addition



South Facade



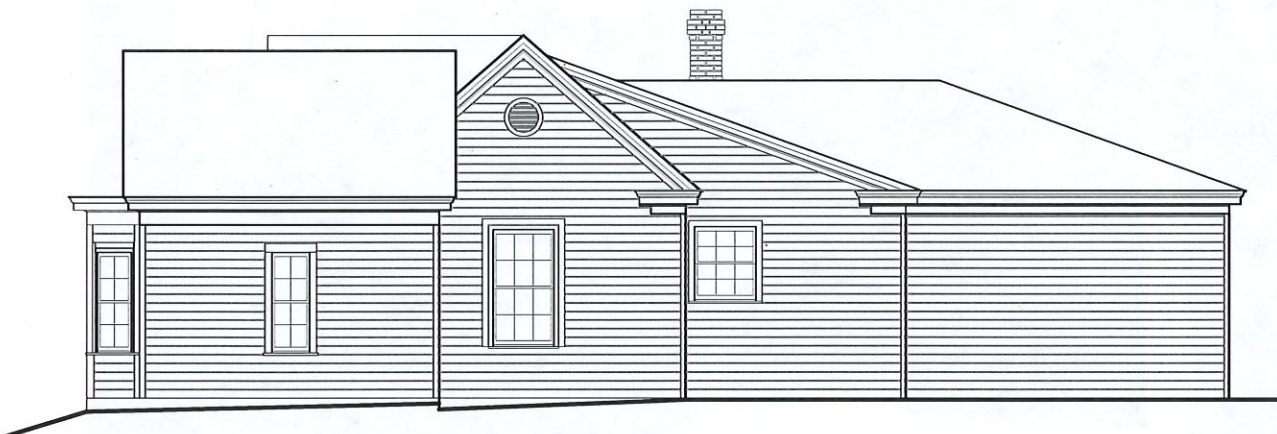
WEST ELEVATION EXISTING CONDITIONS

SCALE : $\frac{1}{8}'' = 1'-0''$



NORTH ELEVATION EXISTING CONDITIONS

SCALE : $\frac{1}{8}'' = 1'-0''$

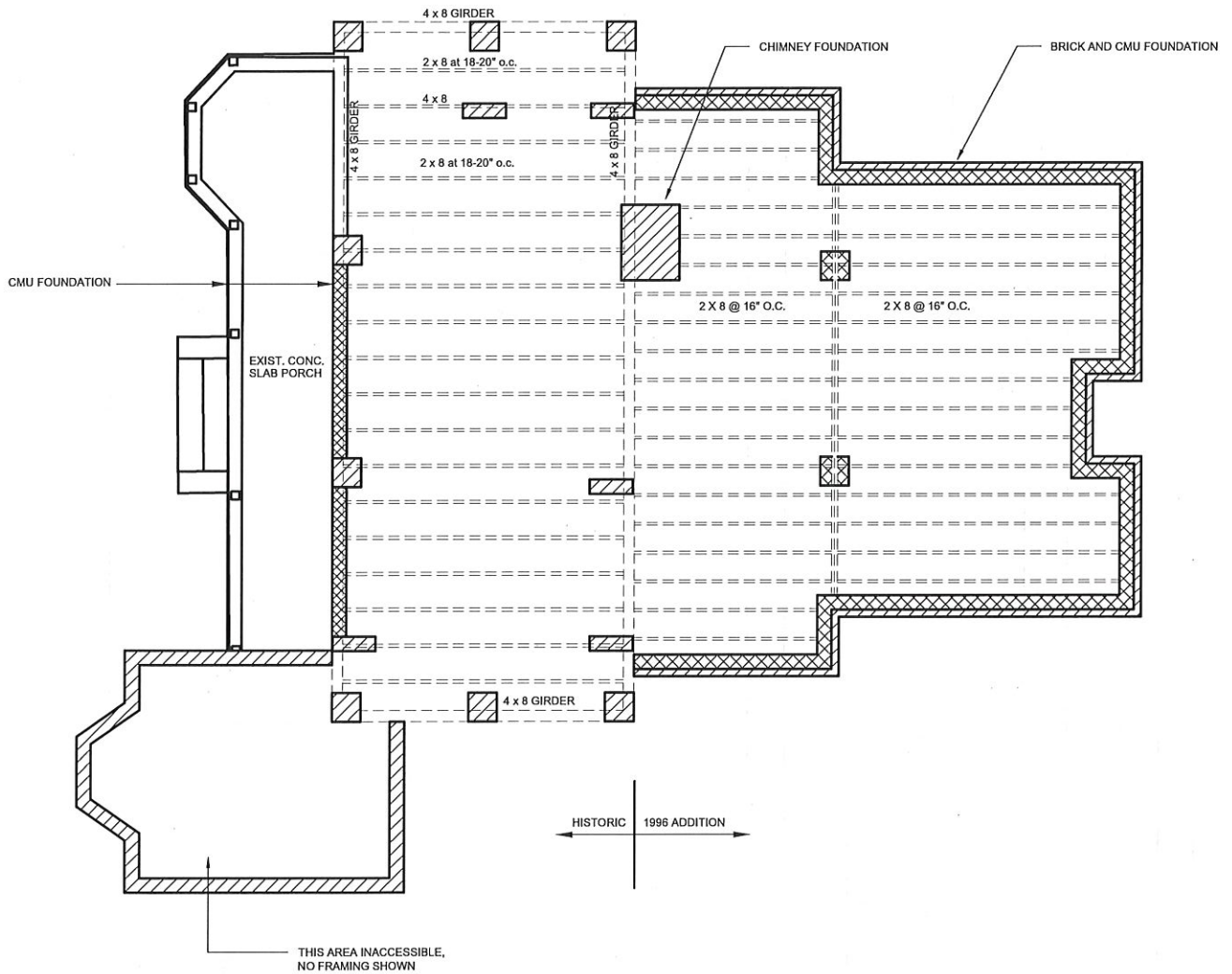


SOUTH ELEVATION EXISTING CONDITIONS

SCALE : $\frac{1}{8}'' = 1'-0''$

PLUMMER HALL HOUSE
EXISTING ELEVATIONS

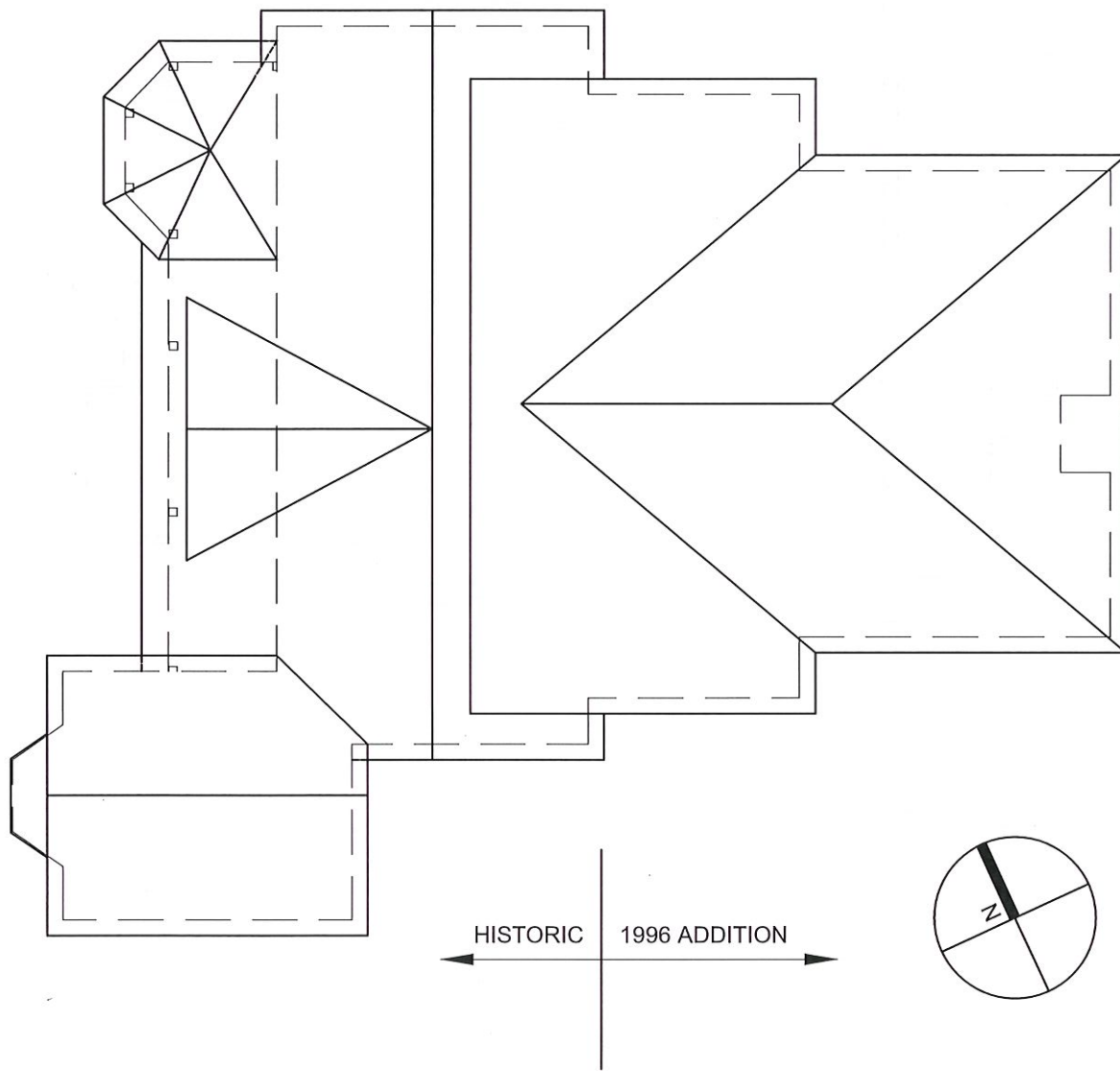
Kirwan architecture



EXISTING FRAMING PLAN FOR REFERENCE ONLY
 SCALE : $\frac{1}{8}" = 1'-0"$



**PLUMMER HALL HOUSE
 EXISTING CONDITIONS**



ROOF PLAN EXISTING
 SCALE : $\frac{1}{8}'' = 1'-0''$

PLUMMER HALL HOUSE
EXISTING ELEVATIONS

REPAIR SCHEDULE ARCHITECTURAL AND STRUTURAL

MARK #	NOTES	REPAIR
TD-1	TERMITE DAMAGE NOTED IN FLOOR ALONG WALLS.	FLOORING TO REMAIN. DO NOT REMOVE. G.C. TO REVIEW POTENTIAL DAMAGE TO JOISTS BELOW AND SISTER NEW SIM. SIZE (2X8) JOIST TO EXISTING TO REINFORCE.
TD-2	TERMITE DAMAGE NOTED N EXTERIOR SIDING	SIDING IS NON-STRUCTURAL. SIDING TO REMAIN.
TD-3	DAMAGE IN FLOOR.	FLOORING TO REMAIN. EXAMINE CORRESPONDING AREA IN CRAWL SPACE AND REPAIR ANY STRUCTURAL DAMAGE PER NOTE TD-1 ABOVE.
TD-4	TERMITE DAMAGE IN WALL	REMOVE INTERIOR GWB FINISH AT THE BASE OF THE WALL ABOVE THE BASE BOARD TO DETERMINE WHICH STUDS ARE DAMAGED. WHERE DAMAGED STUDS EXIST CAREFULLY REMOVE ADDITIONAL INTERIOR FINISHES AND EXAMINE EXTENT OF WALL DAMAGE. SISTER NEW STUDS TO EXISTING TO REINFORCE DAMAGED WALL STUDS.
TD-5	DAMAGE ALONG ALL SURFACE BOARDS AT FRONT ENTRY	REMOVE FACIA BOARDS, AND BEAD BOARD TO FULLY EXAMINE PORCH STRUCTURE UNDER SHED ROOF. PROVIDE TEMPORARY SUPPORT OF ROOF STRUCTURE AS NECESSARY TO PREVENT FURTHER FAILURE. RETAIN ALL TRIM MATERIAL SUITABLE FOR REUSE. EXAMINE EXISTING RAFTERS. SISTER NEW RAFTERS TO DAMAGES AS REQUIRED. RE-INSTALL ALL FACIA AND BEAD BOARD SUITABLE FOR REUSE AND PROVIDE NEW TO MATCH THE EXISTING.
TD-6	TERMITE DAMAGE ALONG FACIA AT ROOF	SEE NOTE D-5 ABOVE. IN ADDITION TO DAMAGED FACIA AND BEAD BOARD, REMOVE ANY SIDING OR EXTERIOR TRIM AS NECESSARY TO EXAMINE DAMAGE TO ROOF AND TOP OF WALL. EXAMINE RAFTERS AND SISTER NEW RAFTERS TO DAMAGED AS REQUIRED. RE-INSTALL OR PROVIDE NEW EXTERIOR FINISHES PER NOTED-5 ABOVE.
TD-7	TERMITE DAMAGE ABOVE COLUMNS AND IN ROOF	SEE NOTE D-5 AND D-6 ABOVE. REMOVE ANY EXISTING BEAD BOARD AND FACIA BOARD THAT IS NOT SUITABLE FOR REUSE. EXAMINE ABOVE CEILING CONDITIONS AND REPAIR AS INDICATED IN NOTES TD-5 AND TD-6. REINSTALL OR PROVIDE NEW EXTERIOR FINISHES PER NOTE TD-5 ABOVE
TD-8	MINOR DAMAGE IN CRAWL SPACE ALONG GIRDER	SISTER NEW 2X8 TO EXISTING GIRDER TO REINFORCE.
TD-9	TERMITE DAMAGE IN FLOOR ALONG WALLS	AT LOWERED ROOM, CAREFULLY REMOVE EXISTING FLOORING AND SAVE FOR REUSE. STORE WITHIN THE HOUSE. REMOVE ANY EXISTING DAMAGED SUB-FLOORING IF PRESENT. CAREFULLY REMOVE AND SAVE FOR REUSE ANY UNDAMAGED SUB-FLOORING. REPAIR JOISTS AS INDICATED IN STRUCTURAL REPAIR NOTES AND IF THESE REPAIR AREAS PROVIDE ACCESS TO EXTERIOR GIRDERS, REPAIR GIRDERS PER STRUCTURAL REPAIR NOTES. REINSTALL SUB-FLOORING AND PROVIDE NEW SUB FLOORING MATCHING THE EXISTING. SHOULD ALL SUB FLOORING NEED REPLACEMENT PROVIDE $\frac{3}{4}$ " TONGUE AND GROOVE PLYWOOD SUB FLOOR

NOTES:

1. "TD" STANDS FOR TERMITE DAMAGE.
2. SEE GENERAL NOTES ABOUT MAKING CRAWLSPACE ACCESSIBLE.

DAMAGE AT ROOF ALONG GIRDER AND UP TO ROOF ELEVATION. TEMPORARILY SUPPORT ROOF FRAMING, AND REPLACE WITH LIKE MATERIALS

DAMAGE AT CHANGE IN ROOF. TEMPORARILY SUPPORT ROOF STRUCTURE AND REPLACE WITH LIKE P.T. MATERIALS

TERMITE DAMAGE IN DOOR. SILL UNDER DOOR NOT PRESENT. REPLACE SILL AND DOOR WITH LIKE MATERIALS

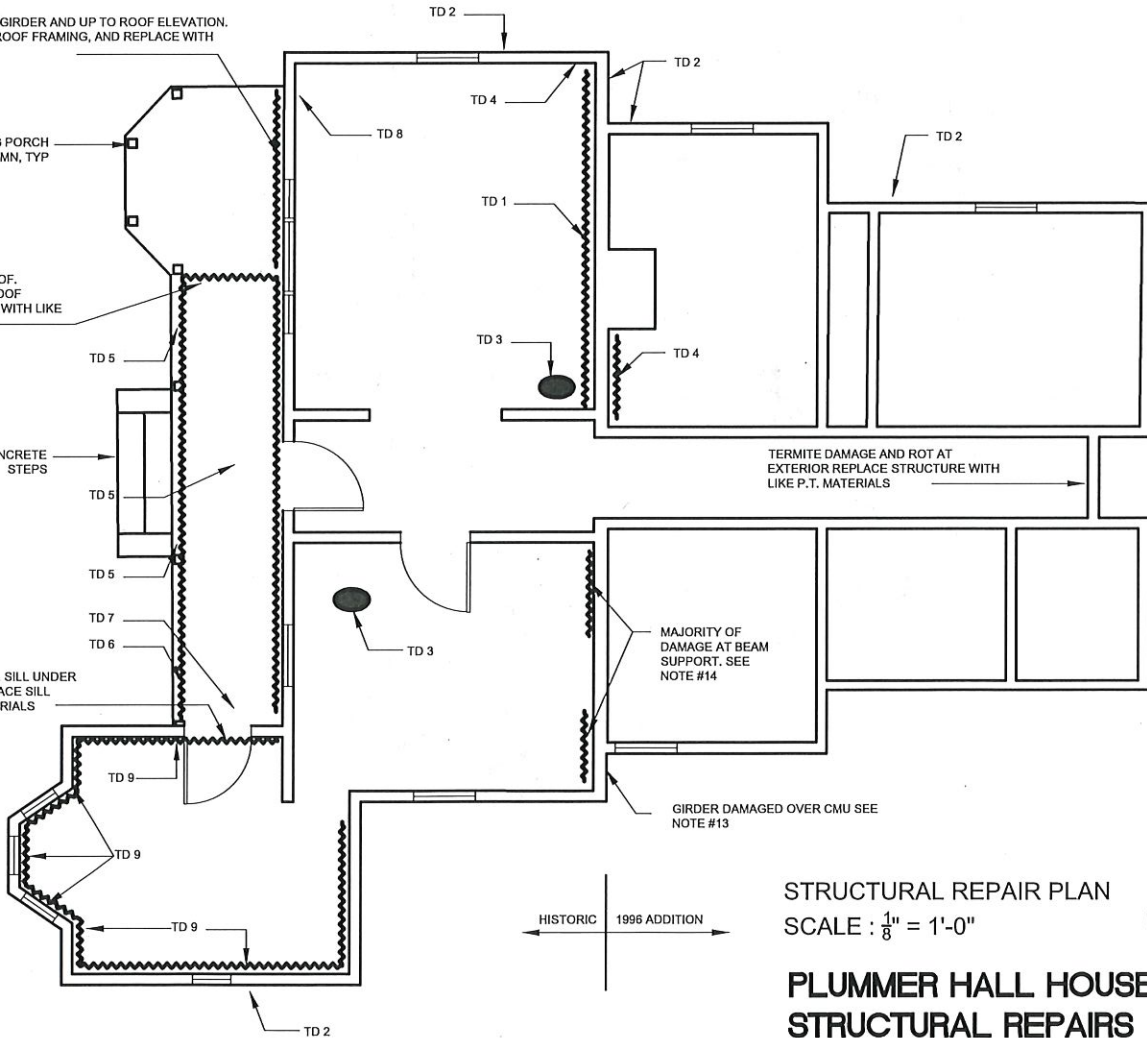
EXISTING PORCH COLUMN, TYP

EXISTING CONCRETE STEPS

TERMITE DAMAGE AND ROT AT EXTERIOR REPLACE STRUCTURE WITH LIKE P.T. MATERIALS

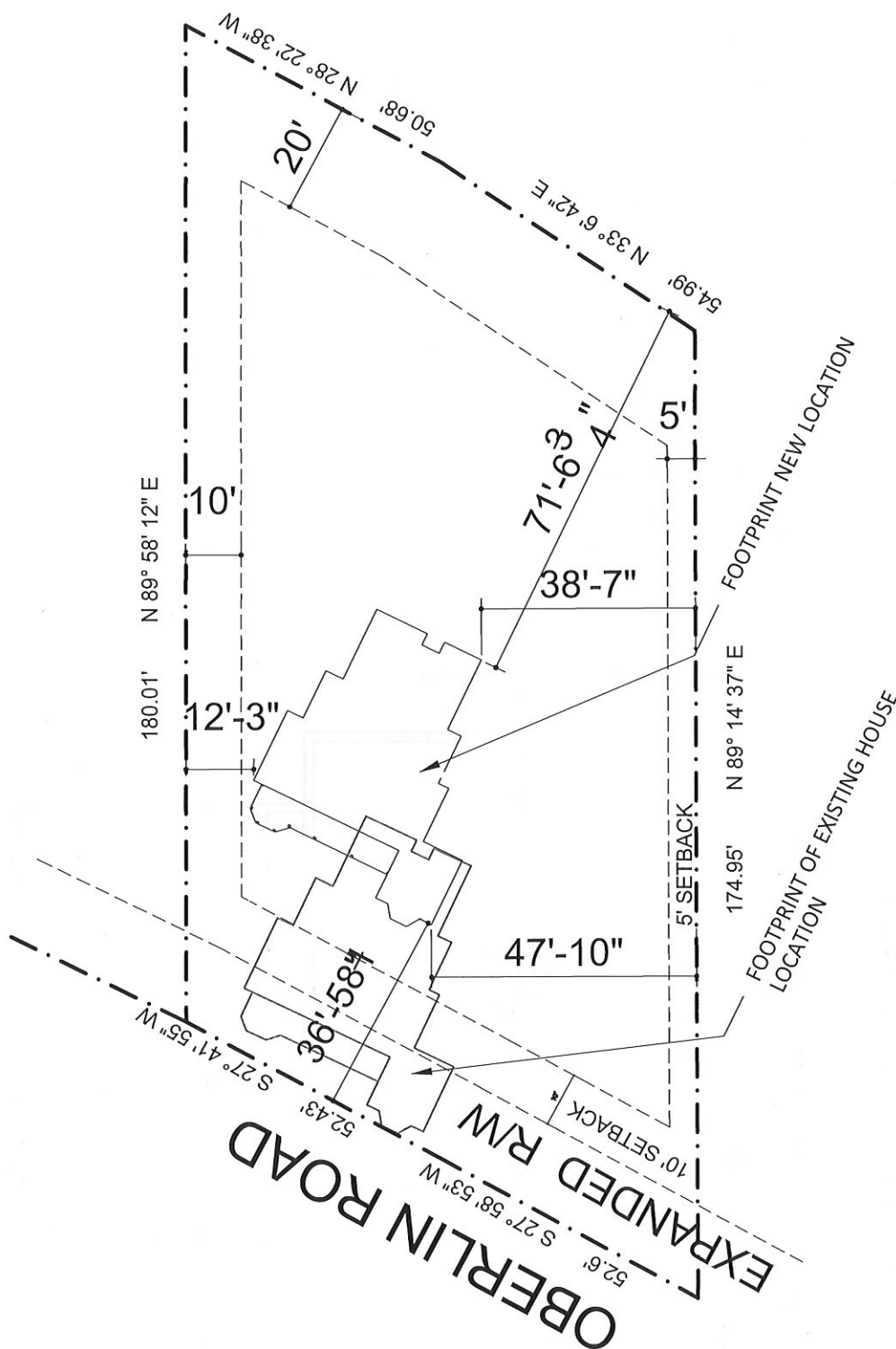
MAJORITY OF DAMAGE AT BEAM SUPPORT. SEE NOTE #14

GIRDER DAMAGED OVER CMU SEE NOTE #13



STRUCTURAL REPAIR PLAN
SCALE : $\frac{1}{8}$ " = 1'-0"

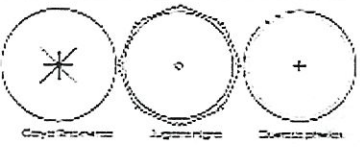
**PLUMMER HALL HOUSE
STRUCTURAL REPAIRS**



PLOT PLAN
SCALE : 1" = 30'-0"

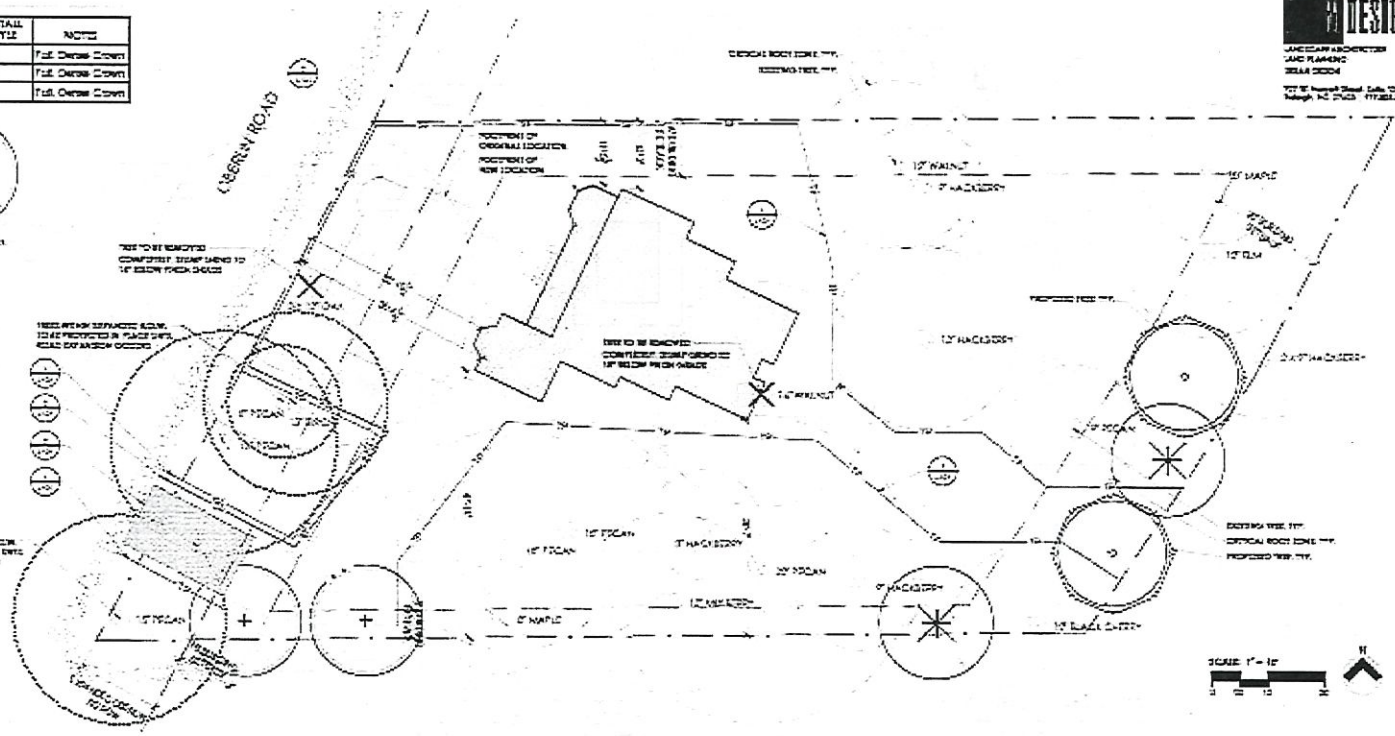
PLANTING LEGEND

QTY	SCIENTIFIC NAME	COMMON NAME	INSTALL SIZE	INSTALL STYLE	NOTE
2	<i>Carya floridana</i>	pecan	2" CAL/DI/T	DD	Fall, Diverse Crown
2	<i>Ligustrum lucidum</i>	Waxrod	2" CAL/DI/T	DD	Fall, Diverse Crown
2	<i>Quercus prinus</i>	Overcup Oak	2" CAL/DI/T	DD	Fall, Diverse Crown

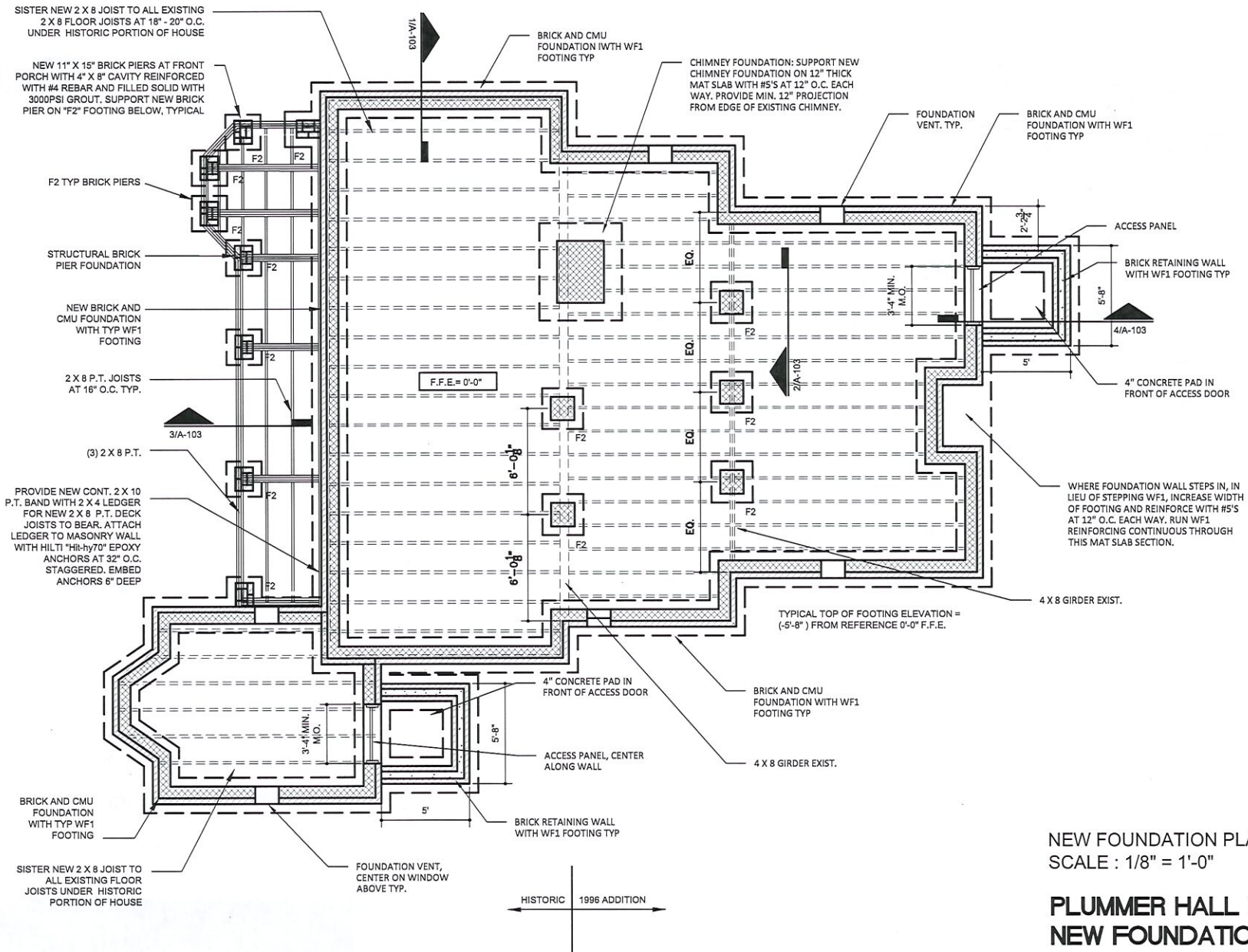


Landscape Notes

1. SOUND CONTRACTOR TO VERIFY SITE CONTRACTOR MEET CODES WITH ALL APPLICABLE CODES, PARTICULARLY IN REGARDS TO GRADING, EROSION CONTROL AND OTHER PROTECTION MEASURES.
2. TREE PROTECTION FENCING TO BE PROVIDED BY CONTRACTOR USING 4" X 4" ALUMINUM POSTS AND 1/2" X 1/2" X 1/2" WOODEN BOARDING.
3. TREE PROTECTION FENCING AND OTHER PROTECTION TO BE MAINTAINED BY CONTRACTOR THROUGHOUT CONSTRUCTION.
4. CONTRACTOR TO MAINTAIN FENCING THROUGHOUT CONSTRUCTION AND REPAIR AS NECESSARY.



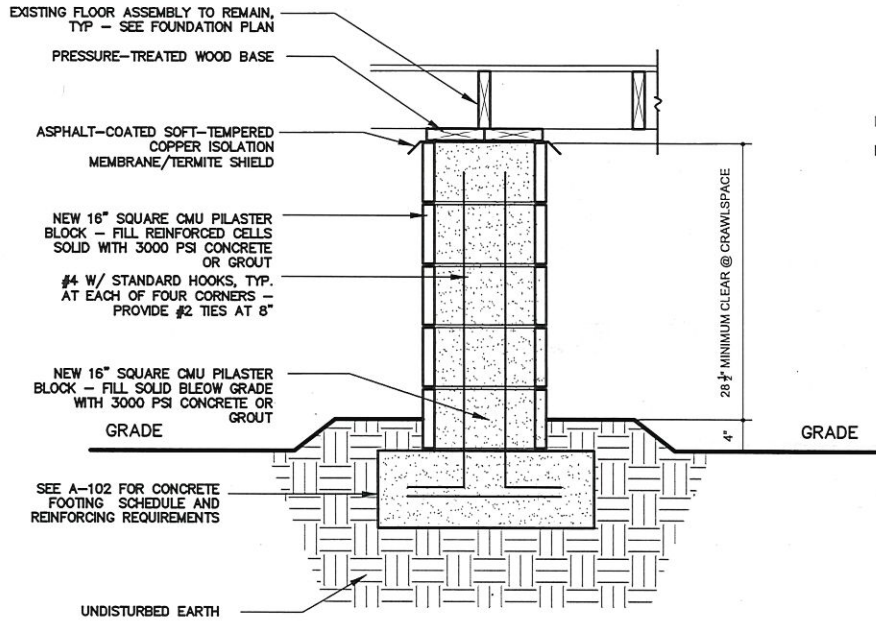
SITE PLAN AND TREE PROTECTION PLAN
 PLUMMER HALL HOUSE
 NEW FOUNDATION



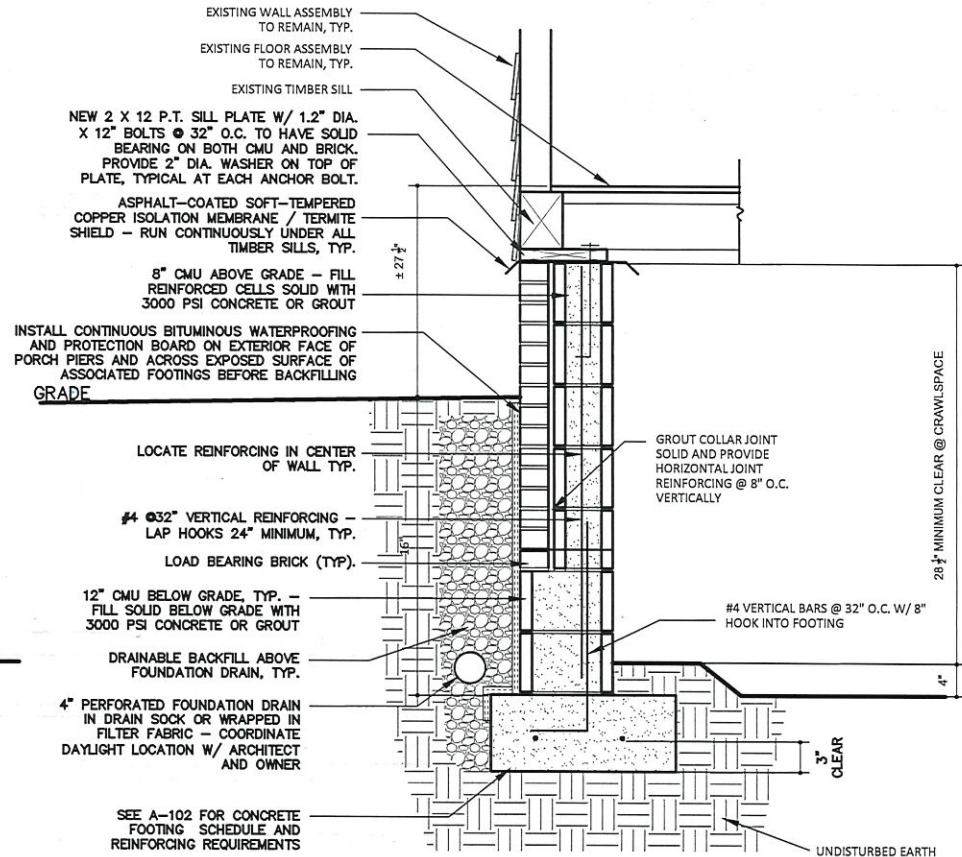
NEW FOUNDATION PLAN
SCALE : 1/8" = 1'-0"



**PLUMMER HALL HOUSE
NEW FOUNDATION**



INTERIOR PIER TYP.



SECTION STRETCHED VERTICALLY FOR CLARITY OF STRUCTURAL NOTES

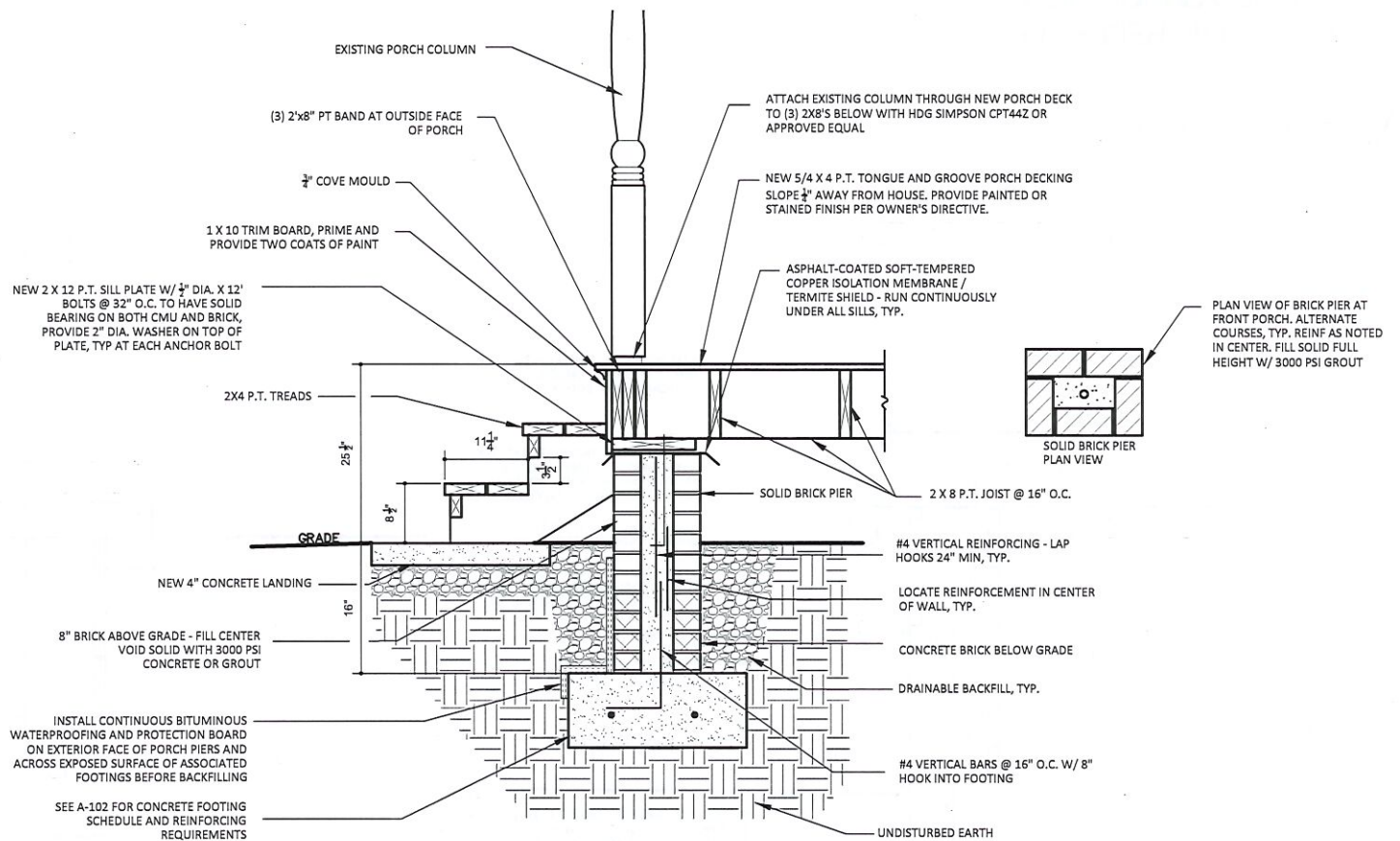
HOUSE FOUNDATION TYP.

NEW FOUNDATION DETAILS
SCALE : 1/2" = 1'-0"



**PLUMMER HALL HOUSE
NEW FOUNDATION**

Kirwan architecture

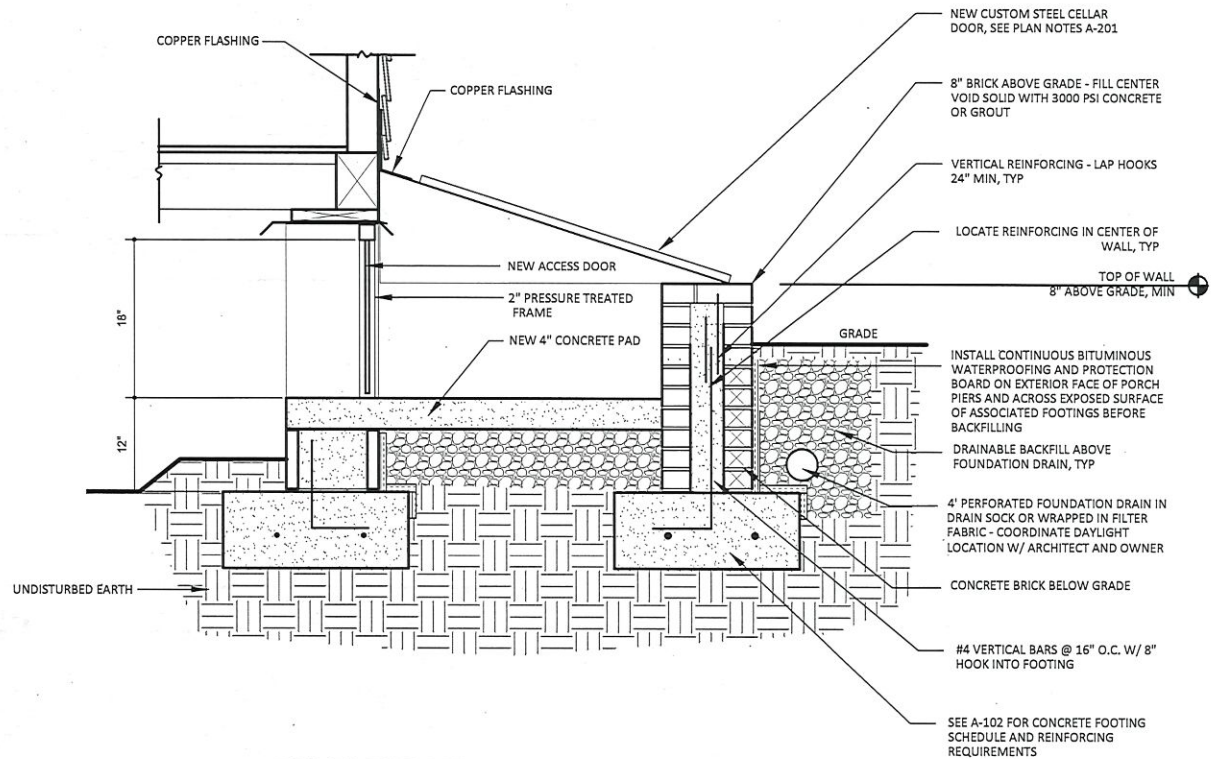


PORCH PIER TYP.

NEW FOUNDATION DETAILS
SCALE : 1/2" = 1'-0"



**PLUMMER HALL HOUSE
NEW FOUNDATION**



PORCH PIER TYP.

NEW FOUNDATION DETAILS
 SCALE : 1/2" = 1'-0"



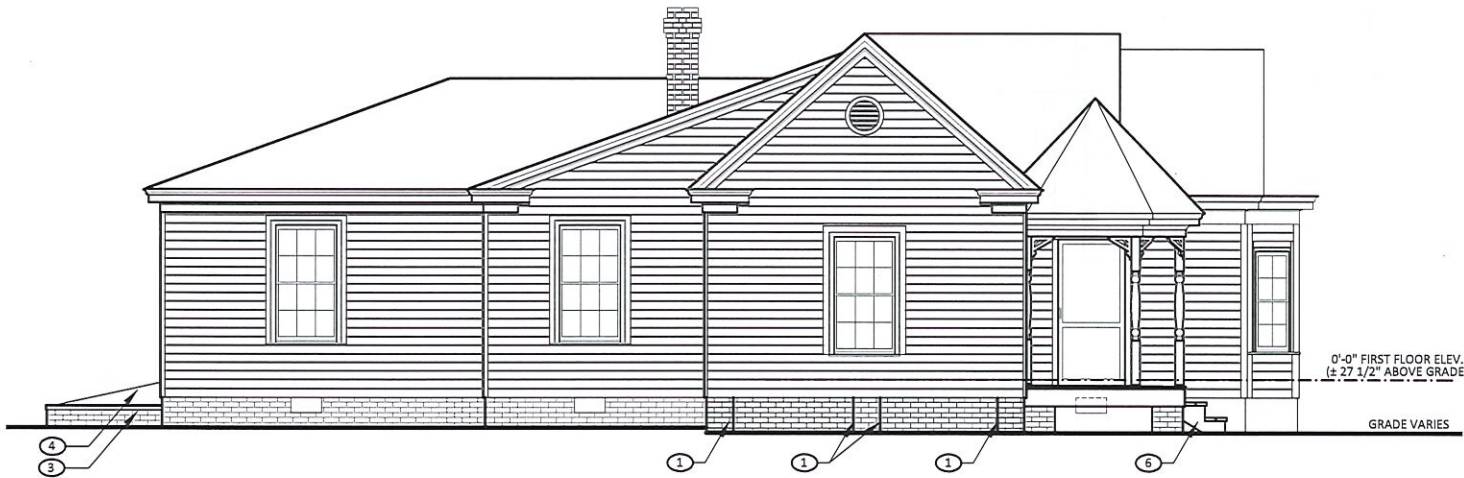
**PLUMMER HALL HOUSE
 NEW FOUNDATION**



WEST ELEVATION

ELEVATION NOTES:

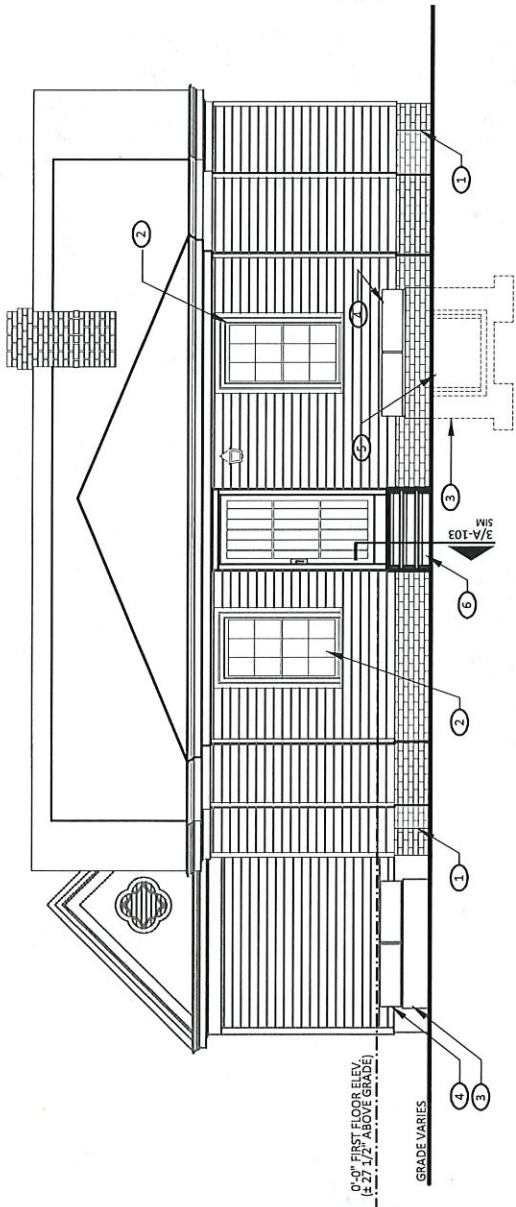
- ① CREATE A VERTICAL JOINT IN MASONRY VENEER.
- ② APPROXIMATE SIZE AND LOCATION OF WINDOWS WITH PROTECTIVE PLYWOOD COVERING.
- ③ NEW RETAINING WALLS FOR CRAWLSPACE ACCESS. SEE 4/A-103 FOR DETAILS.
- ④ NEW CUSTOM CELLAR DOOR TO FIT MASONRY FRAME PROVIDED BY NEW RETAINING WALLS. DOOR TO BE BY STEELWAY, BILCO OR GORDON.
- ⑤ NEW PRESSURE TREATED ACCESS DOOR IN 2" FRAME, FACTORY PRIMED AND SITE PAINTED. PROVIDE HASP LOCK. SEE 4/A-103.
- ⑥ NEW PRESSURE TREATED STEPS AND OPEN STRINGER AND RISERS.



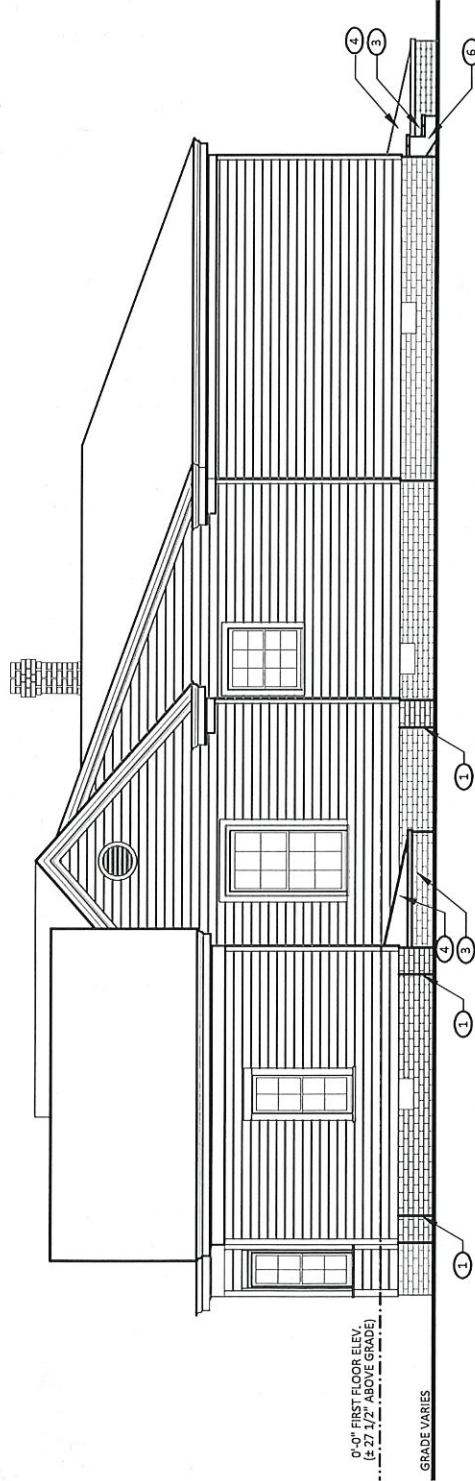
NORTH ELEVATION

NEW FOUNDATION ELEVATIONS
SCALE : 1/8" = 1'-0"

**PLUMMER HALL HOUSE
NEW FOUNDATION**



EAST ELEVATION



SOUTH ELEVATION

NEW FOUNDATION ELEVATIONS
SCALE : 1/8" = 1'-0"

**PLUMMER HALL HOUSE
NEW FOUNDATION**

Basement Doors

Basement doors are ideal for access to basement storage areas and for moving large items into finished basement areas. The wide opening allows storage items such as deck and patio furniture, and large items such as pool tables and furniture, to be easily moved in and out of a basement. Doors meet IRC 2012 building code requirements for emergency egress in finished basement living areas and feature weather resistant construction.



Classic Series

Steel Sided

Features:

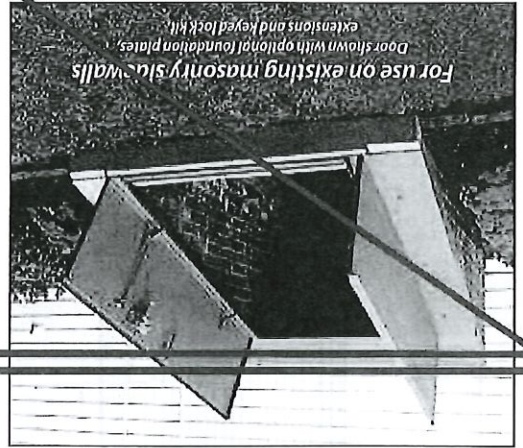
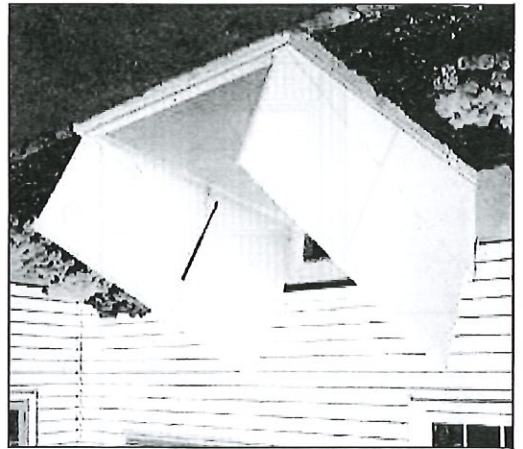
- Patented gas spring lift assistance for improved operation
- Baked-on Sherwin Williams primer provides durable base for finish paint
- Slide bolt locking mechanism (optional keyed lock kit available)
- Flanged construction and J-channel header shed water and prevent binding due to ice and snow, permitting all-season use

Classic Series

Sloped Wall

Features:

- Heavy-duty steel construction
- Baked-on Sherwin Williams primer provides durable base for finish paint
- Corrosion-resistant zinc-plated, chromate-sealed hardware
- Lift assistance provides easy, one-hand operation
- Slide bolt locking mechanism (optional keyed lock available)
- Versatile frame design and optional foundation plates and extension panels allow the door to accommodate virtually any areaway

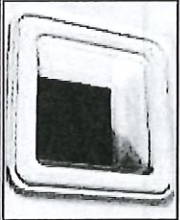


Ultra Series

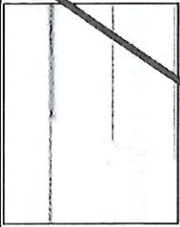
Pre-assembled for faster installation!

Features:

- Corrosion-resistant high-density, polyethylene construction
- Simulated wood design
- Pleasing driftwood color
- Will not rust and never needs painting
- Interchangeable side panel inserts allow homeowners to add light and/or ventilation to their basement areaway
- Motion dampers provided for safe and controlled door operation
- Slide bolt locking mechanism



Louver and screen side panel window inserts



Wood grain texture

Available with a Powder Coat Paint Finish

Eliminates the time and expense of painting the door yourself.

Color Choices



White



Light Gray

Brick

Only available on Classic Series doors, sizes B and C and extension panels.



CUSTOM METAL FABRICATION

CUTTING - BENDING - SHEARING - WELDING - FORGING - POWDER COATING

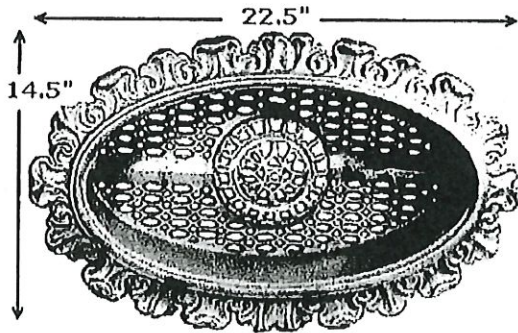
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Friday May 6th 2016

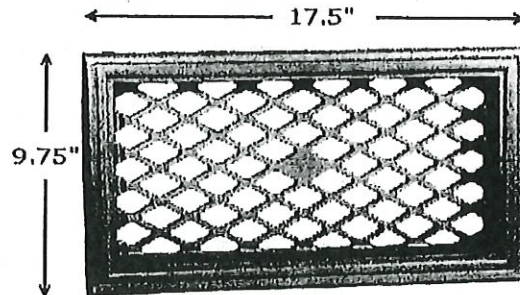
Foundation Vents - House Vents

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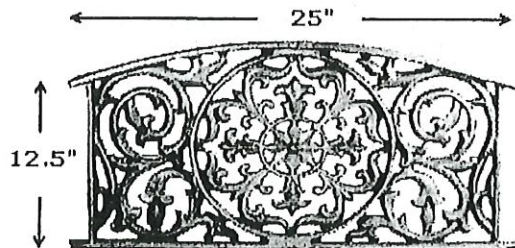
RVH100A - Aluminum House Vent
Price: \$85.99000

[Buy](#)



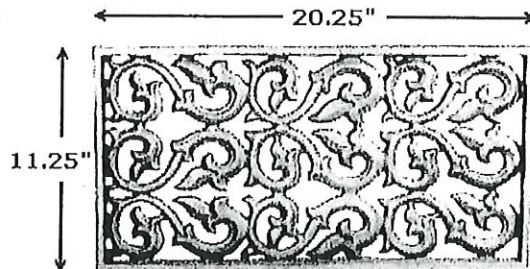
RHV101 - Cast Iron House Vent
Price: \$55.95000

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RHV103 - Cast Iron House Vent
Price: \$55.99000

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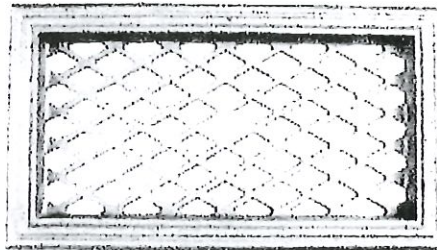
Dimensions: OD 9-1/2"Hx17-1/2"W ID
7-1/2"Hx15-1/4"W GRID 7/8"x1-1/2"

Description: C.I. RECESSED FOUNDATION
VENT

Weight: 17.00 lbs.

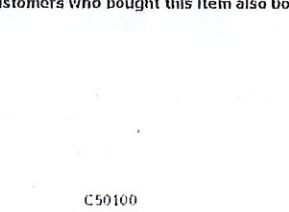
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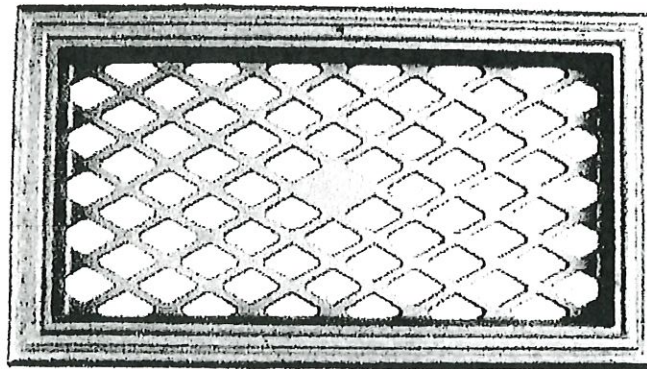


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