



# Administrative Approval Action

SR-106-16 /Duraleigh Road Storage  
Transaction# 498892 AA#3879

City of Raleigh  
Development Services Department  
One Exchange Plaza  
Raleigh, NC 27602  
(919) 996-2495  
DS.help@raleighnc.gov  
www.raleighnc.gov

**LOCATION:** This site is located on the west side of Duraleigh Road, south of Glenwood Avenue at 6101 Duraleigh Road.

**REQUEST:** Development of a 2.76-acre tract zoned CX-3-PL into a 124,740 square foot 3-story self storage building.

**DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC:** N/A

**FINDINGS:** City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 10/10/2018 by *Piedmont Land Design, LLP*.

## **CONDITIONS OF APPROVAL and NEXT STEPS:**

*This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:*

**CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME** – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

**CONCURRENT SITE REVIEW** - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.

***The following items are required prior to approval of Concurrent Site Review plans:***

### **Engineering**

1. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering prior to concurrent review approval.
2. A right-of-way obstruction permit must be obtained from Right-of-way Services prior to the commencement of any construction activities within the right-of-way.

### **Stormwater**

3. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
4. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).
5. That a nitrogen offset payment must be made to a qualifying mitigation bank;



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**Urban Forestry**

6. Show all existing tree conservation areas with reference to Book of Maps and page number where recorded and show tree protection fencing.
7. Tree protection fence must be inspected by Urban Forestry staff prior to the issuance of a grading permit.

**LEGAL DOCUMENTS** - Email to [legaldocumentreview@raleighnc.gov](mailto:legaldocumentreview@raleighnc.gov). Legal documents must be approved, executed, and recorded prior to or in conjunction with the recorded plat on which the associated easements are shown. Copies of recorded documents must be returned to the City within one business day of recording to avoid withholding of further permit issuance.

<input type="checkbox"/>	City Code Covenant	<input type="checkbox"/>	Slope Easement
<input type="checkbox"/>	Stormwater Maintenance Covenant	<input type="checkbox"/>	Transit Easement
<input checked="" type="checkbox"/>	Utility Placement Easement	<input checked="" type="checkbox"/>	Cross Access Easement
<input type="checkbox"/>	Sidewalk Easement	<input type="checkbox"/>	Public Access Easement
		<input type="checkbox"/>	Other:

**RECORDED MAP(S)** - Submit plat to record new property lines, easements, tree conservation areas, etc.). Plats may be submitted for review when the Concurrent Site Review plans, if required, have been deemed ready for mylar signature.

***The following items must be approved prior to recording the plat:***

**General**

1. A Type C2 Street Protective Yard is required for this project and a note shall be placed on the final plat stating this requirement (only use for subdivisions).

**Engineering**

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and shown on the map approved for recordation.
3. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of these documents must be provided to the Development Services Department within one day from authorization of lot recordation. If recorded copies of the documents are not provided, further recordings and building permit issuance will be withheld.



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4. A cross access agreement shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.

## Stormwater

5. All stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats for recording as private drainage easements (UDO 9.2).

## Urban Forestry

6. Show all existing tree conservation areas with reference to Book of Maps and page number where previously recorded.

**BUILDING PERMITS** – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

### *The following items must be approved prior to the issuance of building permits:*

1. A Type C2 Street Protective Yard is required for this project and a note shall be placed on the final plat stating this requirement.

## Engineering

2. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh and is shown on a plat approved for recordation.
3. A 5' general utility easement and associated deed of easement shall be approved by the City and the location of the easement shall be shown on the map approved for recordation. The deed of easement shall be recorded at Wake County Register of Deeds within one day of recordation of the recorded plat. A recorded copy of this document must be provided to the Development Services Department within one day from authorization of lot recordation. If a recorded copy of the document is not provided within this time, further recordings and building permit issuance will be withheld.
4. A fee-in-lieu for pavement and 6' sidewalk on Barrowood Dr shall be paid to the City of Raleigh (UDO 8.1.10).
5. A public infrastructure surety shall be provided to the City of Raleigh Development Services – Development Engineering (UDO 8.1.3).



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6. Required NCDOT encroachment and/or driveway permits must be approved and copies provided to Development Services – Development Engineering.
7. A cross access agreement shall be approved by the Development Services Department for recording in the Wake County Registry, and a copy of the recorded cross access easement shall be returned to the Development Services Department within one day of plat recordation. If a recorded copy of the document is not provided, further recordings and building permit issuance will be withheld.
8. A right-of-way obstruction permit shall be obtained from Right-of-way Services for any construction activity within the right-of-way.

## Public Utilities

9. An Easement Plat must be recorded at the Wake County Register of Deeds office

## Stormwater

10. A payment equal to twenty-four percent (24%) of the estimated cost of constructing all stormwater control facilities shown on the development plans shall be paid by the developer to the City stormwater facility replacement fund (UDO 9.2.2.G.3).

## Urban Forestry

11. Show on the recorded plat all existing tree conservation areas with reference to Book of Maps and page number where previously recorded (UDO 9.1).

### ***The following are required prior to issuance of building occupancy permit:***

1. All Water & Sanitary Sewer facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. Required public right-of-way infrastructure improvements shall be, at a minimum, sufficiently completed to provide the necessary, safe emergency and vehicular access.
3. Copies of certified inspection reports for alleys and internal access ways are submitted to the City of Raleigh Development Services – Development Engineering program.
4. As-built drawings and associated forms for all Stormwater devices are accepted by the Engineering Services Department (UDO 9.2.2.D.3).
5. Final inspection of all tree conservation areas by Urban Forestry Staff.



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**EXPIRATION DATES:** The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

**3-Year Expiration Date:** 10-17-2021

Obtain a valid building permit for the total area of the project, or a phase of the project.

**4-Year Completion Date:**

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

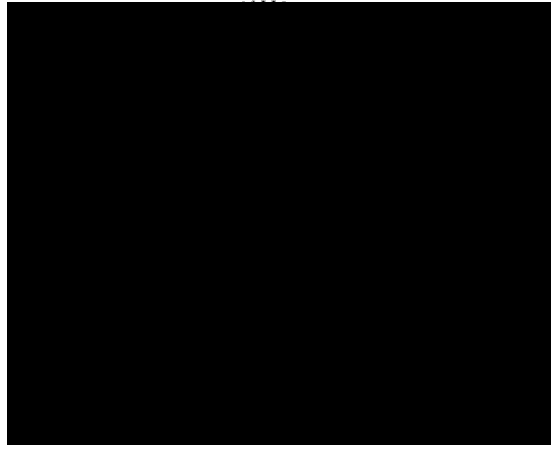
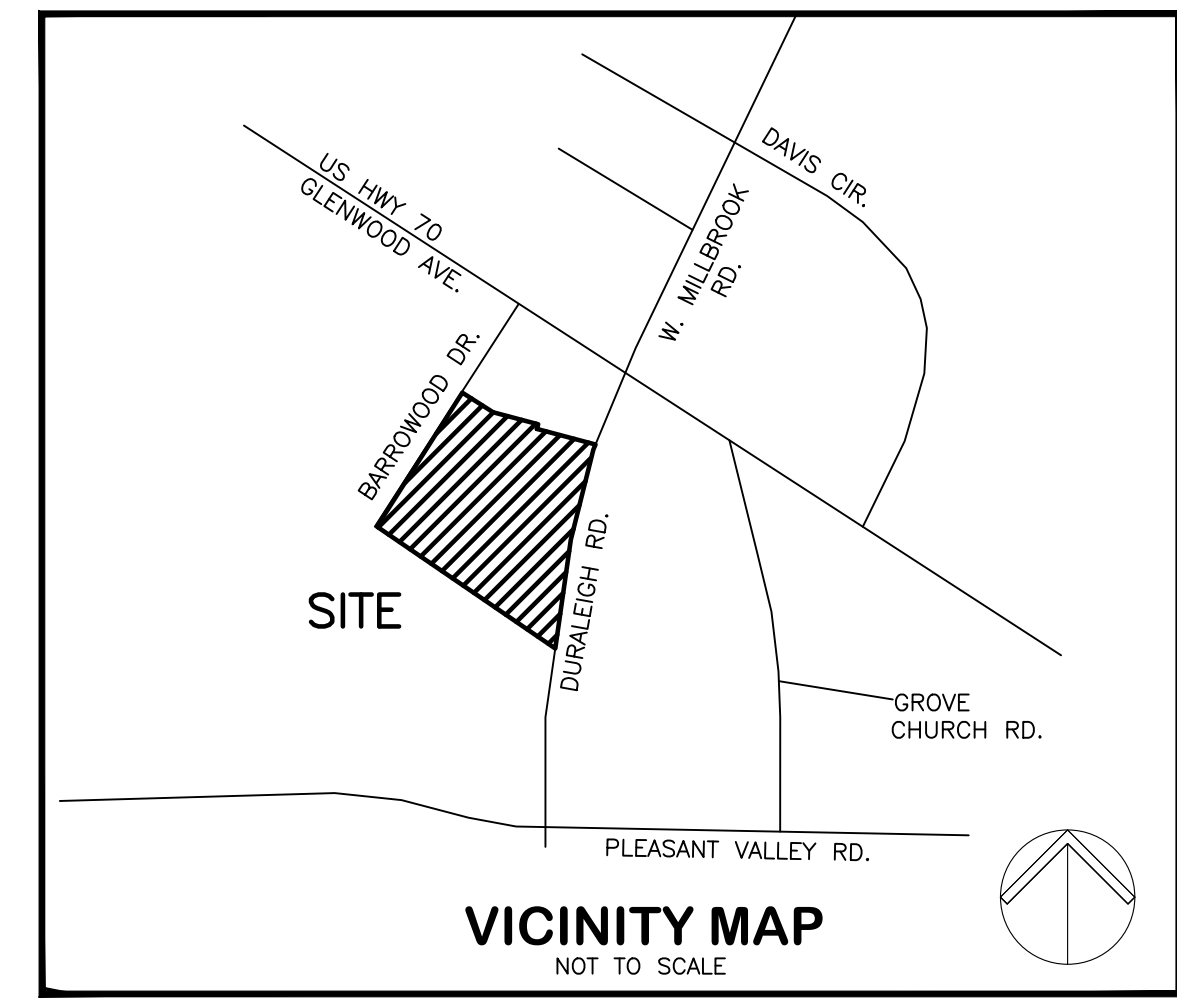
Date: 10/17/18

Staff Coordinator: Jermont Purifoy

# ADMINISTRATIVE SITE REVIEW SUBMITTAL FOR: DURALEIGH ROAD STORAGE

SR-106-16

6101 DURALEIGH ROAD  
RALEIGH, NORTH CAROLINA  
WAKE COUNTY



PRELIMINARY  
NOT FOR CONSTRUCTION

DURALEIGH ROAD STORAGE  
6101 DURALEIGH ROAD  
RALEIGH, NORTH CAROLINA

ISSUED: 22 DEC. 2016

REVISIONS:  
 3 JULY 2018  
 REVISED PER CITY COMMENTS  
 24 AUG 2018  
 REVISED PER CITY COMMENTS  
 24 SEPT 2018  
 REVISED PER CITY COMMENTS  
 10 OCT 2018  
 REVISED PER CITY COMMENTS

DRAWN BY: CRP  
 CHECKED BY: RPH  
 PROJECT: DRS

COVER SHEET  
 DWG. NO. PA. 1

COR TRANSACTION # 498892

## Administrative Site Review Application (for UDO Districts only)



Development Services Customer Service Center | Exchange Plaza, Suite 400 | Raleigh, NC 27601 | 919-996-2495 | fax 919-996-1831  
 Litchford Satellite Office | 8320 - 130 Litchford Road | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached <input type="checkbox"/> Attached <input type="checkbox"/> Apartment <input type="checkbox"/> Townhouse	Transaction Number: Assigned Project Coordinator: Assigned Transaction:
<input checked="" type="checkbox"/> General <input type="checkbox"/> Mixed Use <input type="checkbox"/> Open Lot	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

**GENERAL INFORMATION**

Development Name: Duraleigh Road Storage  
 Zoning District: CX-3-PL Overlay District (if applicable): N/A Inside City Limits?  Yes  No  
 Proposed Use: SELF STORAGE  
 Property Address(es): 6101 DURALEIGH ROAD Major Street Locator: GLENWOOD AVENUE  
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:

P.I.N.	P.I.N.	P.I.N.	P.I.N.
0786.06-48-9672			

What is your project type?  
 Apartment  Elderly Facilities  Hospitals  Hotels/Motels  Office  
 Mixed Residential  Non-Residential Condo  School  Shopping Center  Banks  Industrial Building  
 Duplex  Telecommunication Tower  Religious Institutions  Residential Condo  Retail  Cottage Court  
 Other: if other, please describe: SELF STORAGE

**WORK SCOPE**  
 Per City Code Section 10.2.8.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.  
 CONSTRUCT SELF STORAGE BUILDING AND ASSOCIATED PARKING, DRIVES AND LOADING AREAS

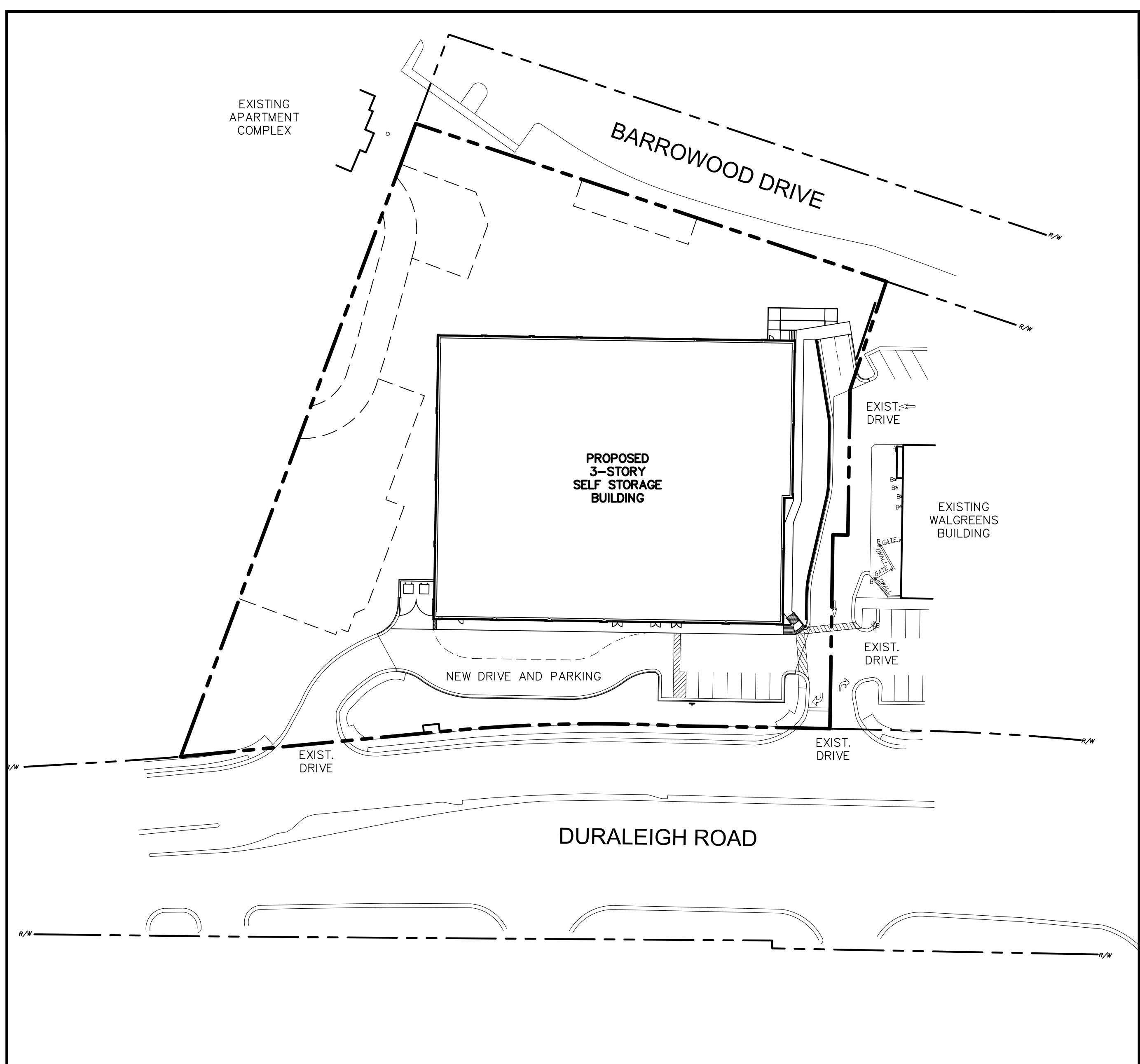
**DESIGN ADJUSTMENT OR ADMIN ALTERNATE**  
 Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AE

**CLIENT/DEVELOPER/OWNER**

Company: COLONIAL DURALEIGH OUTPARCEL LLC	Name (s): JAMES T. STREET	MANAGER
Address: 5306 SIX FORKS ROAD, SUITE 101, RALEIGH, NC 27609		
Phone: 919-782-8499	Email: JSTREETBIZ@GMAIL.COM	Fax:

**CONSULTANT**  
 (Contact Person for Plans)

Company: PIEDMONT LAND DESIGN, LLP	Name (s): RON HENDRICKS
Address: 8522-204 SIX FORKS ROAD, RALEIGH, NC 27615	
Phone: 919-845-7600	Email: RONH@PIEDMONTLANDDESIGN.COM Fax: 919-845-7703

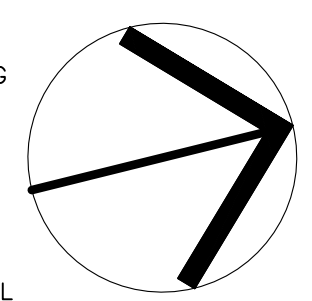


### CITY OF RALEIGH SITE PLAN INFORMATION

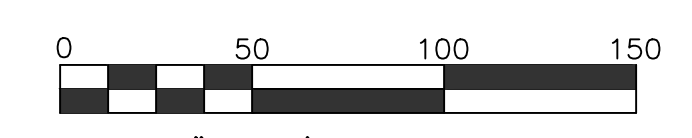
1. DEVELOPMENT NAME:	DURALEIGH ROAD STORAGE
2. STREET ADDRESS:	6101 DURALEIGH ROAD RALEIGH, NORTH CAROLINA
3. WAKE COUNTY P.I.N.:	0786.06-48-9672
4. TOTAL NUMBER OF LOTS:	1
5. TOTAL LOT AREA:	2.76 AC.± (120,069 SF.)
6. ZONING:	CX-3-PL
7. BUILDING SQUARE FOOTAGE & USE:	124,740 GSF - SELF STORAGE
8. PARKING SUMMARY: BASIS OF DETERMINATION: TOTAL REQUIRED: TOTAL PROVIDED: VEHICULAR SURFACE AREA: TOTAL ACCESSIBLE SPACES:	1 SPACE/100 STORAGE UNITS (849 UNITS) 8 SPACES 17,071 SF (NEW) + 11,993 SF (EXIST.) = 29,064 SF 1 VAN SPACE
9. IMPERVIOUS SURFACE AREA: EXISTING IMPERVIOUS SURFACE AREA: NEW IMPERVIOUS SURFACE AREA: TOTAL:	0.81 ACRES BASED ON PREVIOUSLY APPROVED CALCS 0.64 ACRES 1.45 ACRES
10. INSIDE CITY LIMITS:	YES
11. INSIDE FLOOD HAZARD BOUNDARY:	NO
12. FLOOR AREA RATIO: BUILDING LOT COVERAGE:	1.04 0.26
13. INSIDE FALLS LAKE OR SWIFT CREEK DRAINAGE AREA:	NO
14. DEDICATED STREET RIGHT OF WAY:	NO
15. BUILD-TO REQUIREMENTS:	50% WITHIN 0/100'
	PRIMARY STREET FRONTAGE LENGTH (DURALEIGH RD.): 411.27' BUILDING WIDTH WITHIN 100' OF PRIMARY STREET: 211.48' (MEASURED ALONG ARC) BUILDING WIDTH IN PRIMARY BUILD-TO RATIO: 51.42%
	PRIMARY STREET FRONTAGE LENGTH (BARROWOOD DR.): 313.70' BUILDING WIDTH WITHIN 100' OF PRIMARY STREET: 158.77' BUILDING WIDTH IN PRIMARY BUILD-TO RATIO: 50.61%
16. OUTDOOR AMENITY AREA:	0.28 ACRES REQUIRED (10%) 0.28 ACRES PROVIDED
17. OWNER/DEVELOPER:	JAMES T. STREET - MANAGER COLONIAL DURALEIGH OUTPARCEL LLC 5306 SIX FORKS ROAD, SUITE 101 RALEIGH, NC 27609 (919) 782-8499 (PHONE) jstreetbiz@gmail.com (E-MAIL)
18. CONTACT PERSON:	RON HENDRICKS PIEDMONT LAND DESIGN, LLP 8522-204 SIX FORKS ROAD RALEIGH, NORTH CAROLINA 27615 (919) 845-7600 (PHONE) (919) 845-7703 (FAX) ronh@piedmontlanddesign.com (E-MAIL)

### GENERAL NOTES

- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4949) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION.
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION IS TAKEN FROM A SURVEY BY ROBINSON & PLANTE, PC. VERTICAL ESTABLISHED OFF BMP AND SANITARY SEWER AS-BUILTS PROVIDED BY PIEDMONT LAND DESIGN, LLP.
- ALL CONSTRUCTION SHALL CONFORM TO A.D.A. STANDARDS.
- NO OBSTRUCTIONS BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR IN PART WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN.
- THIS PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEMA MAP# 3720078600I EFFECTIVE DATE: MAY 2, 2008
- SIGN PERMITTING IS A SEPARATE APPROVAL PROCESS AND HAS NOT BEEN REVIEWED OR APPROVED AS A PART OF THIS SITE PLAN. A SIGN PERMIT SHALL BE OBTAINED PRIOR TO THE INSTALLATION OF SIGNAGE.
- A FEE-IN-LIEU OF CONSTRUCTION PAYMENT SHALL BE MADE FOR DURALEIGH ROAD 1' SIDEWALK PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- A FEE-IN-LIEU OF CONSTRUCTION PAYMENT SHALL BE MADE FOR THE BARROWOOD DRIVE OF A 31' B/B STREET WITH 6' SIDEWALK PRIOR TO THE ISSUANCE OF BUILDING PERMITS.
- HVAC AND MECHANICAL UNITS SHALL BE MOUNTED ON THE ROOF OF THE BUILDING.
- LIGHTING PLAN SHALL BE SUBMITTED FOR REVIEW DURING CONCURRENT REVIEW PROCESS.
- SCREEN WALLS AND SERVICE AREA (DUMPSTER) WALLS SHALL MATCH BUILDING MATERIAL AND COLORS. SEGMENTAL RETAINING WALLS SHALL BE GRAY OR TAN BLOCK.



NORTH  
NC GRID NORTH NAD 83(1986)



SCALE: 1" = 50'

### SOLID WASTE COMPLIANCE STATEMENT:

TWO NEW DUMPSTERS WITH HEAVY DUTY CONCRETE PAD AND A 6' HIGH ENCLOSURE WITH LOCKABLE GATES WILL BE PROVIDED BESIDE THE BUILDING AS SHOWN ON THE SITE PLAN. THE OWNER WILL USE A PRIVATE HAULER.

### BUILDING HEIGHT CALCULATIONS:

FIN. FLOOR ELEVATION = 411.00  
 AVG EXISTING GROUND ELEVATION-DURALEIGH = (410.5+408.5)/2 = 409.5  
 AVG PROPOSED GROUND ELEVATION-DURALEIGH = (411+408.5)/2 = 409.75  
 AVG EXISTING GROUND ELEVATION-BARROWOOD = (408.5+404.0)/2 = 406.25  
 AVG PROPOSED GROUND ELEVATION-BARROWOOD = (411+408.7)/2 = 409.85  
 AVERAGE EXISTING GROUND ON BARROWOOD CONTROLS HEIGHT ABOVE FINISHED FLOOR = 40.0'  
 BUILDING HEIGHT = 411.0 + 40.0' - 406.25 = 44.75'

### REFERENCES:

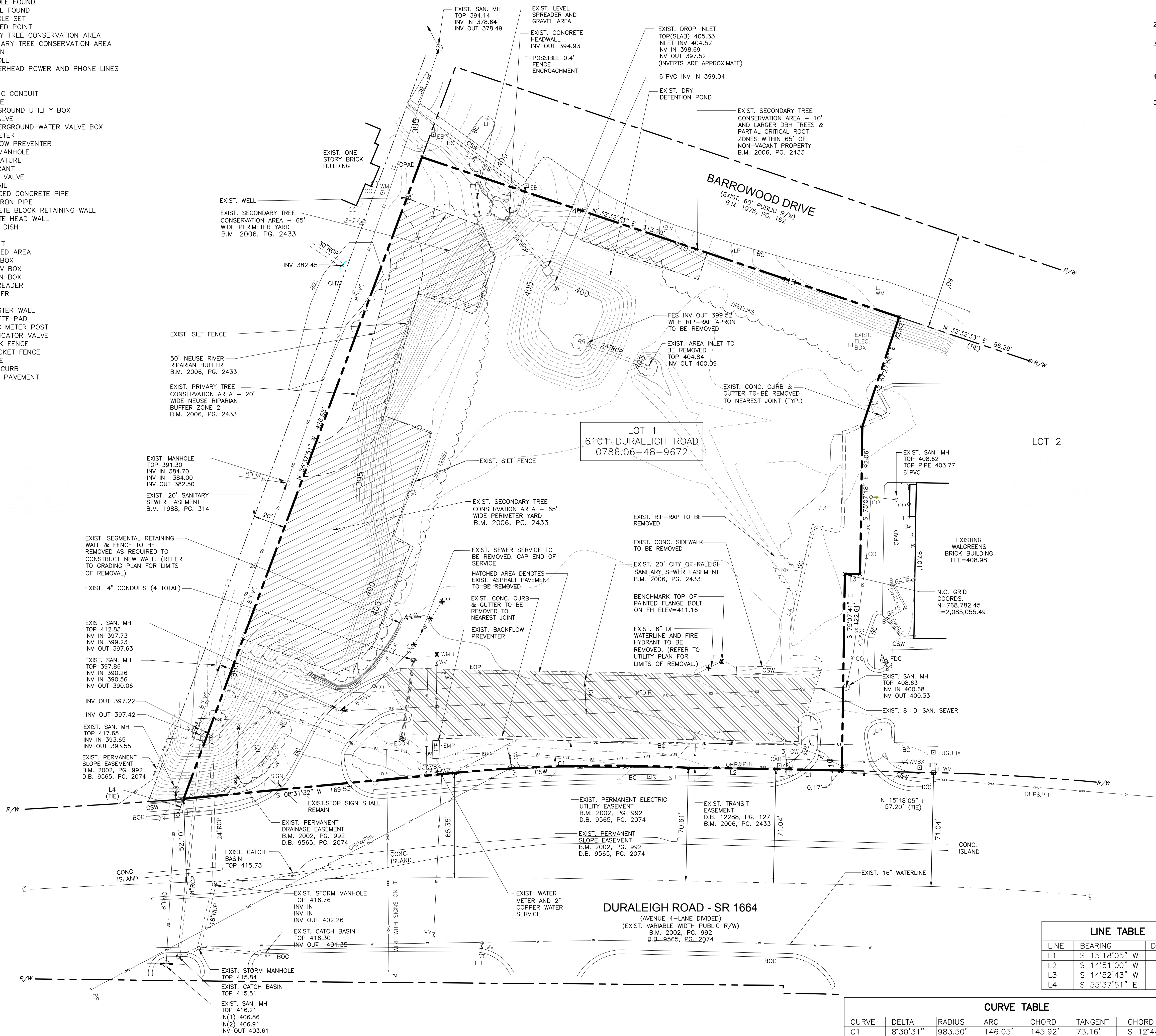
- B.M. 2006, PG. 2433
- D.B. 9565, PG. 2074
- D.B. 12847, PG. 2737
- DECLARATION OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS ACCESS AND UTILITY BLANKET EASEMENT D.B. 12847, PG. 2737
- PROGRESS ENERGY CONSTRUCTION AND EASEMENT CORRIDOR D.B. 12953, PG. 1298 (ALONG NORTHERN PROPERTY LINE PER DEED AND CENTERED ON UNDERGROUND LINES)

### SHEET INDEX:

- |       |                                         |
|-------|-----------------------------------------|
| PA.1  | COVER SHEET                             |
| PA.2  | EXISTING CONDITIONS AND DEMOLITION PLAN |
| PA.3  | PROPOSED STAKING PLAN                   |
| PA.4  | PROPOSED GRADING PLAN                   |
| PA.5  | PROPOSED UTILITY PLAN                   |
| PA.6  | PROPOSED LANDSCAPE PLAN                 |
| A1.01 | PROPOSED BUILDING ELEVATIONS            |
| A1.02 | PROPOSED BUILDING ELEVATIONS            |

**LEGEND**

- (IPF)—IRON PIPE FOUND
- (RWMF)—RIGHT OF WAY MONUMENT FOUND
- (DHF)—DRILL HOLE FOUND
- (MNF)—MAG NAIL FOUND
- (DHS)—DRILL HOLE SET
- (CP)—CALCULATED POINT
- (PTCA)—PRIMARY TREE CONSERVATION AREA
- (STCA)—SECONDARY TREE CONSERVATION AREA
- (S)—STREET SIGN
- (PP)—POWER POLE
- (OHP&PHL)—OVERHEAD POWER AND PHONE LINES
- (GW)—GUY WIRE
- (P)—POLE
- (ECON)—ELECTRIC CONDUIT
- (LP)—LIGHT POLE
- (UGUBX)—UNDERGROUND UTILITY BOX
- (WV)—WATER VALVE
- (UGWBX)—UNDERGROUND WATER VALVE BOX
- (WM)—WATER METER
- (BFP)—BACK FLOW PREVENTER
- (WMH)—WATER MANHOLE
- (WF)—WATER FEATURE
- (FH)—FIRE HYDRANT
- (IV)—IRRIGATION VALVE
- (GR)—GUARD RAIL
- (RCP)—REINFORCED CONCRETE PIPE
- (DIP)—DUCTILE IRON PIPE
- (CBRW)—CONCRETE BLOCK RETAINING WALL
- (CHW)—CONCRETE HEAD WALL
- (SD)—SATELLITE DISH
- (RR)—RIP RAP
- (CO)—CLEAN OUT
- (LA)—LANDSCAPED AREA
- (EB)—ELECTRIC BOX
- (CAB)—CABLE TV BOX
- (IBX)—IRRIGATION BOX
- (LS)—LEVEL SPREADER
- (T)—TRANSFORMER
- (B)—BOLLARD
- (DWALL)—DUMPSTER WALL
- (CPAD)—CONCRETE PAD
- (EMP)—ELECTRIC METER POST
- (PIV)—POST INDICATOR VALVE
- (CLF)—CHAINLINK FENCE
- (VPF)—VINYL PICKET FENCE
- (SF)—SILT FENCE
- (BC)—BACK OF CURB
- (EOP)—EDGE OF PAVEMENT



**LINE TABLE**

LINE	BEARING	DISTANCE
L1	S 15°18'05" W	41.10'
L2	S 14°51'00" W	54.59'
L3	S 14°52'43" W	9.51'
L4	S 55°37'51" E	10.32'

**CURVE TABLE**

CURVE	DELTA	RADIUS	ARC	CHORD	TANGENT	CHORD BRG
C1	8°30'31"	983.50'	146.05'	145.92'	73.16'	S 12°44'45" W

**EXIST. CONDITIONS/DEMOLITION NOTES**

1. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
2. CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (1-800-632-4294) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
3. CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL EXISTING UTILITIES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES OR CONFLICTS PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR IS RESPONSIBLE FOR REMOVING OR RELOCATING ALL UTILITIES IN
4. CONFLICT WITH NEW CONSTRUCTION. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES. ALL TREE PROTECTION FENCE AND SILT FENCE WITH TREE PROTECTION SIGNAGE
5. SHALL BE INSTALLED PRIOR TO BEGINNING DEMOLITION.



PRELIMINARY  
NOT FOR CONSTRUCTION

**DURALEIGH ROAD STORAGE**  
**6101 DURALEIGH ROAD**  
**RALEIGH, NORTH CAROLINA**

ISSUED: 22 DEC. 2016

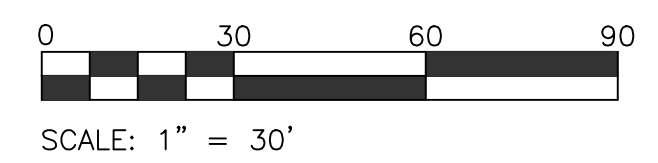
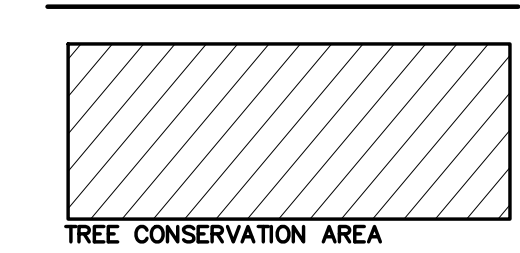
**REVISIONS:**

- △ 3 JULY 2018  
REVISED PER CITY COMMENTS
- △ 24 AUG 2018  
REVISED PER CITY COMMENTS
- △ 10 OCT 2018  
REVISED PER CITY COMMENTS

**REFERENCES:**

1. B.M. 2006, PG. 2433
2. D.B. 9565, PG. 2074
3. D.B. 12847, PG. 2737
4. DECLARATION OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS, ACCESS AND UTILITY BLANKET EASEMENT D.B. 12847, PG. 2737
5. PROGRESS ENERGY CONSTRUCTION AND EASEMENT CORRIDOR D.B. 12953, PG. 1298  
(ALONG NORTHERN PROPERTY LINE PER DEED AND CENTERED ON UNDERGROUND LINES)

**LEGEND**



REFER TO DWG. NO. PA 1 FOR GENERAL NOTES

DRAWN BY: JNB  
CHECKED BY: RPH

PROJECT: DRS

**EXISTING  
CONDITIONS AND  
DEMOLITION PLAN**







# LANDSCAPE REQUIREMENTS

## STREET PROTECTIVE YARDS

- DURALEIGH ROAD:**  
411 LF OF ROAD FRONTAGE - EXIST. DRIVEWAYS, SIDEWALKS, AND EASEMENTS = 261 LF  
1 UNDERSTORY TREE @ 40' O.C. = 8 TREES (NO PLANTINGS REQUIRED AT THIS TIME SINCE BARROWOOD DRIVE IS NOT IMPROVED)  
261 LF/100' x 4 = 11 TREES REQUIRED/19 EXISTING TREES TO REMAIN OR BE REPLACED IF DISTURBED  
261 LF/100' x 15 = 40 SHRUBS REQUIRED/77 EXISTING SHRUBS TO REMAIN OR BE REPLACED IF DISTURBED
- BARROWOOD DRIVE:**  
314 LF OF ROAD FRONTAGE TYPE C2 STREET PROTECTIVE YARD REQUIRED - 4 TREES AND 15 SHRUBS/100 LF.  
1 STREET TREE @ 40' O.C. = 8 TREES (NO PLANTINGS REQUIRED AT THIS TIME SINCE BARROWOOD DRIVE IS NOT IMPROVED).  
77 LF EXISTING TCA - NO PLANTINGS REQUIRED  
237 LF OF REMAINING FRONTAGE - 237 LF/100' x 4 = 10 TREES REQUIRED/EXISTING PINE TREES  
237 LF/100' x 15 = 36 SHRUBS REQUIRED/41 PROVIDED

## TRANSITIONAL PROTECTIVE YARDS

- NORTHERN PROPERTY LINE:** 221 LF.  
6' AVG WIDTH TYPE A1 TPY WITH 6.5' WALL. 4 UNDERSTORY TREES/100' = 9 TREES
- SOUTHERN PROPERTY LINE:** 389 LF.  
20' WIDE TYPE B1 TPY. MAJORITY (293') OF PROPERTY BOUNDARY IS RECORDED AS PRIMARY AND SECONDARY TREE CONSERVATION AREA AS SHOWN. 54' OF REMAINDER OF PROPERTY BOUNDARY IS IMPACTED BY EXISTING EASEMENTS. REMAINING AREA (40') IS PLANTED WITH 60 SHRUBS, 6 UNDERSTORY AND 8 SHADE TREES/100 LF. = 24 SHRUBS, 3 UNDERSTORY AND 3 SHADE TREES.

## VEHICULAR PARKING LOT LANDSCAPING:

- 1 SHADE TREE REQUIRED/PROVIDED FOR SURFACE PARKING AREA WITH LESS THAN 10 SPACES.  
1 TREE PER PARKING TERMINAL ISLAND.
- TWO NEW SHADE TREES PROVIDED IN LANDSCAPE ISLANDS ADJACENT TO NEW PARKING AREA.



**WOODED AREA ALONG BARROWOOD DRIVE**

## PERMANENT LAWN SEEDING:

### SEEDED LAWN AREAS:

- SEEDING SHALL BE AT THE FOLLOWING RATE:  
PER 1000 S.F. OF LAWN AREA:  
3 LBS. TURF TYPE FESCUE "TYPE A"  
3 LBS. TURF TYPE FESCUE "TYPE B"  
(TWO DIFFERENT FESCUES TO BE SELECTED FROM VARIETIES RECOMMENDED FOR PROJECT AREA)  
1 LB. KENTUCKY BLUE GRASS
- NOTE: CONTRACTOR SHALL PERFORM A SOIL TEST IN LAWN AREAS (3 MINIMUM) AND SUPPLEMENT SOIL WITH FERTILIZER, LIME, PEAT, COMPOST, ETC. AS RECOMMENDED BY THE SOIL ANALYSIS PRIOR TO SEEDING.

- CONTRACTOR SHALL REMOVE ALL WEEDS, ROCKS, CONSTRUCTION ITEMS, ETC., IN LANDSCAPE AREAS DISTURBED BY CONSTRUCTION. LANDSCAPE BEDS SHALL BE SCARIFIED TO A DEPTH OF 6" AND GRADED SMOOTH TO ALLOW FOR POSITIVE DRAINAGE.
- ALL NEW TREES AND SHRUBS ARE TO BE COMPLETELY COVERED WITH HARDWOOD SHREDDED MULCH TO A MINIMUM DEPTH OF FOUR (4) INCHES BY (5) FIVE FOOT DIAMETER.
- FINISHED GRADE IN LANDSCAPE ISLANDS SHALL BE INSTALLED SO THAT THEY ARE 1" LOWER THAN THE TOP OF THE SURROUNDING CURBS.
- ALL PLANTS MUST BE HEALTHY, VIGOROUS MATERIAL, FREE OF PESTS AND DISEASE.
- ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE, DURING, AND AFTER INSTALLATION.
- ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.
- PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE APPURTENANCES, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.
- THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE PRICING THE WORK.
- THE CONTRACTOR IS RESPONSIBLE FOR FULLY MAINTAINING ALL PLANTING (INCLUDING BUT NOT LIMITED TO: WATERING, SPRAYING, MULCHING, FERTILIZING, ETC.) OF THE PLANTING AREAS AND LAWN UNTIL THE WORK IS ACCEPTED IN TOTAL BY THE OWNER.
- THE CONTRACTOR SHALL COMPLETELY GUARANTEE PLANT MATERIAL INSTALLED ON FOR PRIVATE PROPERTY FOR A PERIOD OF ONE YEAR (OR AS INDICATED IN THE LANDSCAPE SPECIFICATIONS) BEGINNING ON THE DATE OF TOTAL ACCEPTANCE. THE CONTRACTOR SHALL PROMPTLY MAKE ALL REPLACEMENTS BEFORE OR AT THE END OF THE GUARANTEE PERIOD.
- STANDARDS SET FORTH IN "AMERICAN STANDARD FOR NURSERY STOCK" REPRESENT GUIDELINE SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL.
- SCREEN WALLS AND SERVICE AREA (DUMPSTER) WALLS SHALL MATCH BUILDING MATERIAL & COLOR. SEGMENTAL RETAINING WALLS SHALL BE GRAY OR TAN BLOCK.
- EXISTING PLANT MATERIAL SHALL BE PRESERVED TO THE MAXIMUM EXTENT POSSIBLE. IF EXISTING TREES AND/OR SHRUBS MUST BE REMOVED ALONG DURALEIGH ROAD TO CONSTRUCT NEW PARKING AREA, THE CONTRACTOR SHALL REPLACE THE TREES OR SHRUBS WITH IDENTICAL SPECIES. MINIMUM ALLOWABLE SIZES FOR REPLACEMENT PLANT MATERIAL ARE AS FOLLOWS:  
LARGE SHADE TREE: 3 1/2" CAL. / 14' TALL / B&B  
SMALL UNDERSTORY TREE: 6" TALL / B&B  
SHRUB: 24" TALL

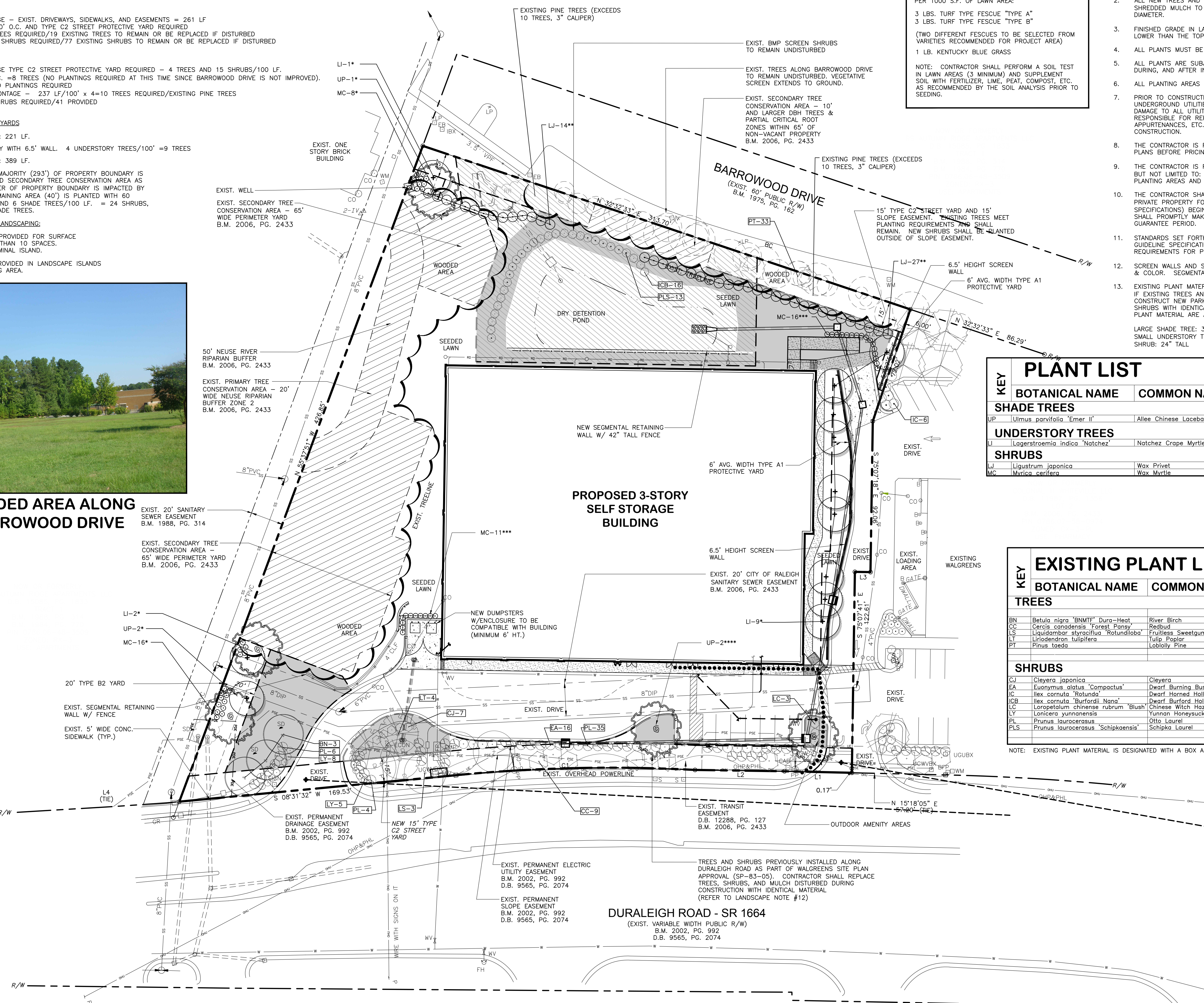
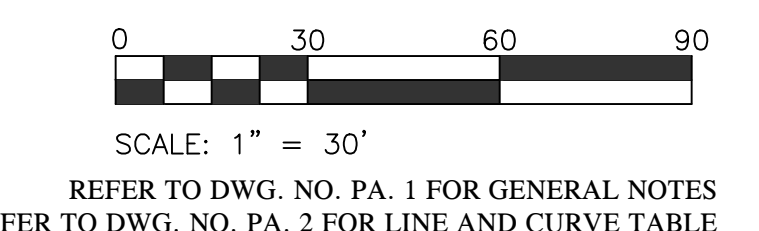
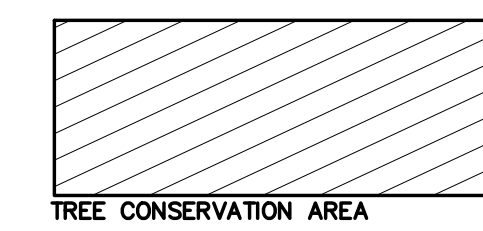
KEY	BOTANICAL NAME	COMMON NAME	QUAN.	CAL.	HT.	ROOT	MATURE HEIGHT	MATURE SPREAD
<b>SHADE TREES</b>								
UP	Ulmus parvifolia 'Emer II'	Alle Chinese Lacebark Elm	5	3	1/2-14'	B&B	40-50'	25-40'
<b>UNDERSTORY TREES</b>								
LI	Lagerstroemia indica 'Natchez'	Natchez Crape Myrtle	12	1	1/2-16'	B&B	25'	20'
<b>SHRUBS</b>								
LJ	Ligustrum japonica	Wax Privet	41	18"	#3			
MC	Myrica cerifera	Wax Myrtle	64	18"	#3			

- \* TRANSITIONAL PROTECTIVE YARD PLANTINGS
- \*\* C-2 STREET YARD PLANTINGS
- \*\*\* SCREENING PLANTINGS
- \*\*\*\* VEHICULAR SURFACE PLANTINGS

KEY	BOTANICAL NAME	COMMON NAME	QUAN.	CAL.	HT.	ROOT	REMARKS
<b>TREES</b>							
BN	Betula nigra 'BNMT'	Dura-Heat River Birch	3	3"	10-12'	B&B	
CC	Garcia canadensis 'Forest Pansy'	Redbud	9	4"	10-12'	B&B	ELEC EASEMENT
LS	Liquidambar styraciflua 'Rotundiloba'	Fruitless Sweetgum	3	3"	10-12'	B&B	
LT	Liriodendron tulipifera	Tulip Poplar	4	2"	10-12'	B&B	
PT	Pinus taeda	Loblolly Pine	33	3"	10-12'	B&B	
<b>SHRUBS</b>							
CJ	Cleyera japonica	Cleyera	7	18"	cont.		
EA	Euonymus alatus 'Compactus'	Dwarf Burning Bush	16	18"	cont.		
IC	Ilex cornuta 'Rotunda'	Dwarf Horned Holly	6	18"	cont.		
CB	Ilex cornuta 'Burfordii Nana'	Dwarf Burford Holly	16	18"	cont.		
LC	Loropetalum chinense rubrum 'Blush'	Chinese Witch Hazel	3	18"	cont.		
LY	Lonicera yunnanensis	Yunnan Honeysuckle	15	18"	cont.		
PL	Prunus laurocerasus	Otto Laurel	45	18"	cont.		
PLS	Prunus laurocerasus 'Schipkoensis'	Schipka Laurel	13	18"	cont.		

NOTE: EXISTING PLANT MATERIAL IS DESIGNATED WITH A BOX AROUND THE PLANT KEY [CJ-4]

## LEGEND



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PRELIMINARY NOT FOR CONSTRUCTION

**DURALEIGH ROAD STORAGE**  
**6101 DURALEIGH ROAD**  
**RALEIGH, NORTH CAROLINA**

ISSUED: 22 DEC 2016

- REVISIONS:
- 3 JULY 2018 REVISED PER CITY COMMENTS
  - 24 AUG 2018 REVISED PER CITY COMMENTS
  - 24 SEPT 2018 REVISED PER CITY COMMENTS
  - 10 OCT 2018 REVISED PER CITY COMMENTS

DRAWN BY: MGD  
CHECKED BY: RPH  
PROJECT: DRS

**PROPOSED LANDSCAPE PLAN**

PRELIMINARY  
FOR REVIEW  
ONLY

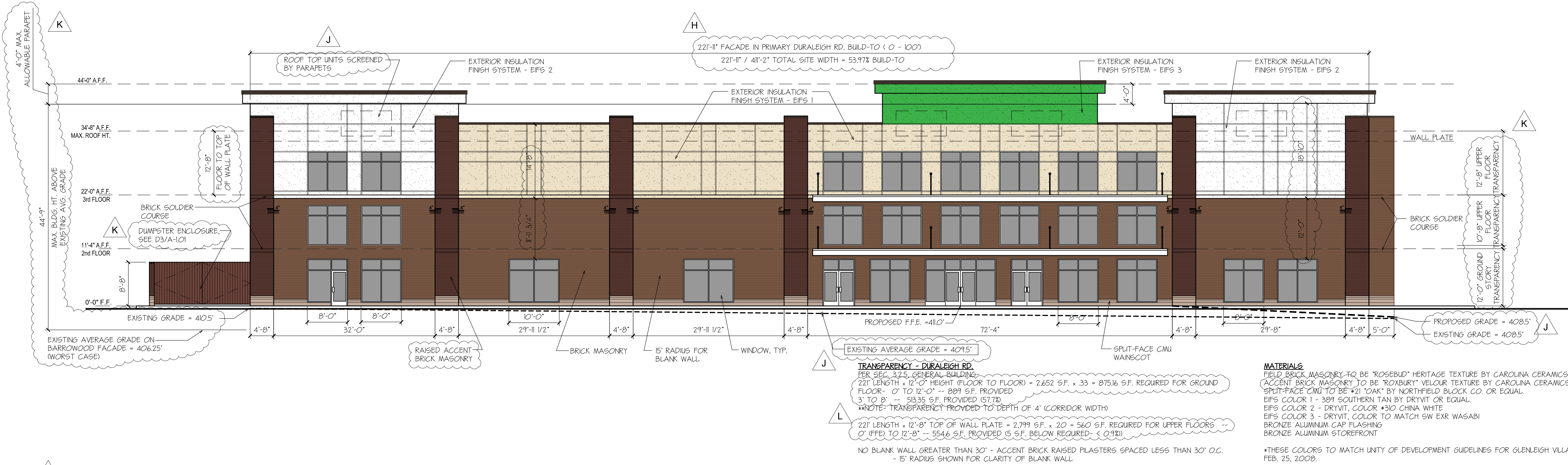
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L	Raleigh 3rd Round Comments	9/18/2018
K	Raleigh 2nd Round Comments	8/20/2018
J	Update Elevations	6/29/2018
I	Update Plan and Elevations	5/30/2018
H	Planning Review	3/28/2017
G	Update plan and elevations	2/14/2017
F	Update plan and elevations	12/22/2016
E	Call Coordination	12/20/2016
D	Duraleigh Elevation Revisions	8/10/2016
C	Moved Entry Tower	7/21/2016
B	Update for Unity of Doc.	7/20/2016
A	Preliminary Elevations	7/13/2016

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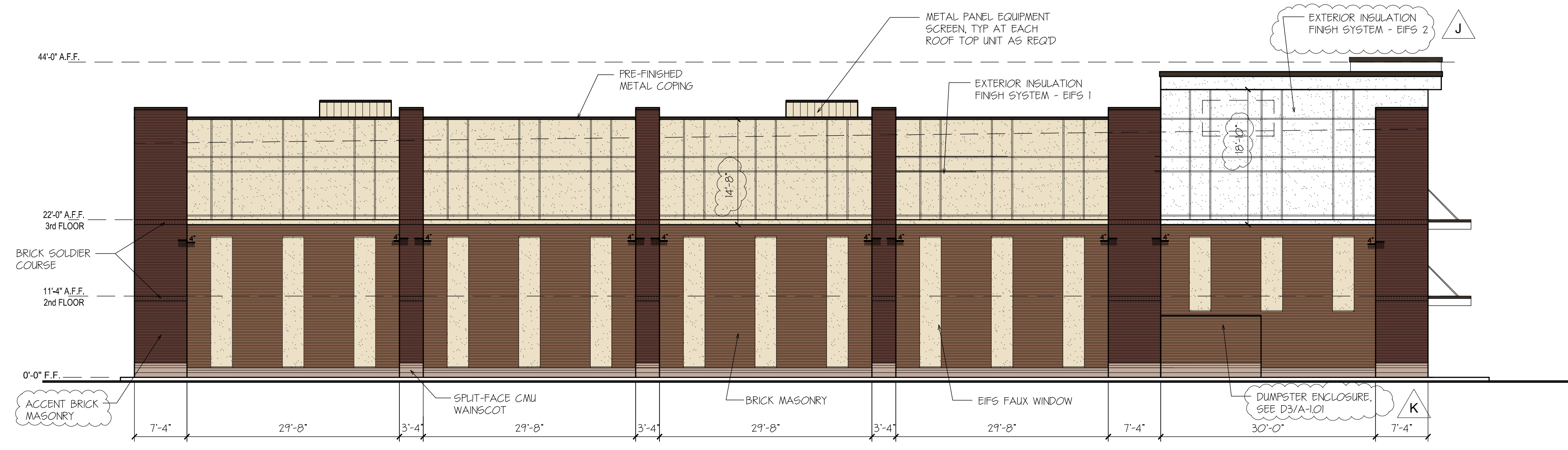
Southeastern Design and Construction/  
NEW STORAGE  
FACILITY  
DURALEIGH RD.  
Raleigh, North Carolina

Sheet Title  
PROPOSED ELEVATIONS

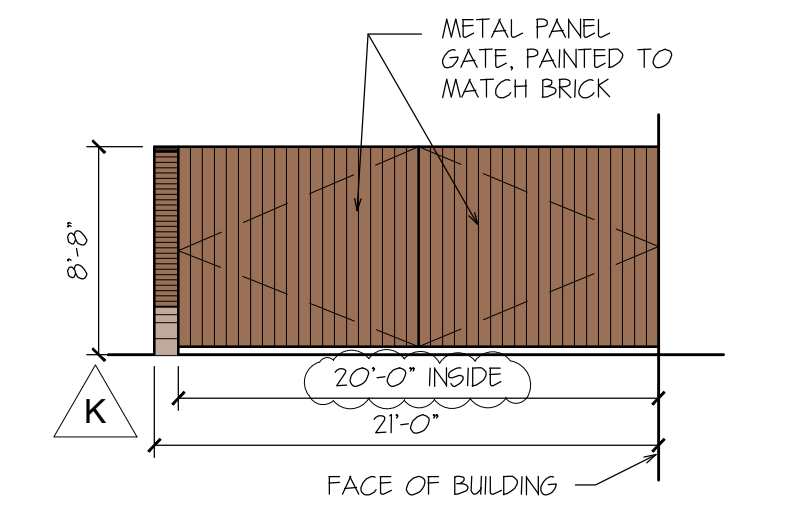
Project No.  
16022  
Revision  
L  
Drawing No.  
A-1.01



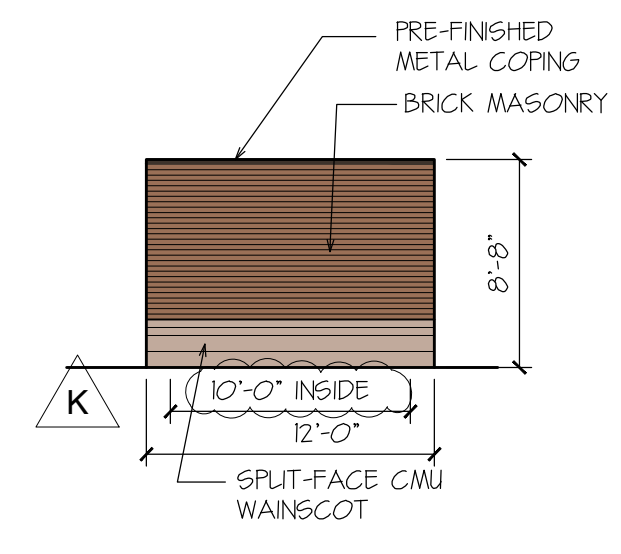
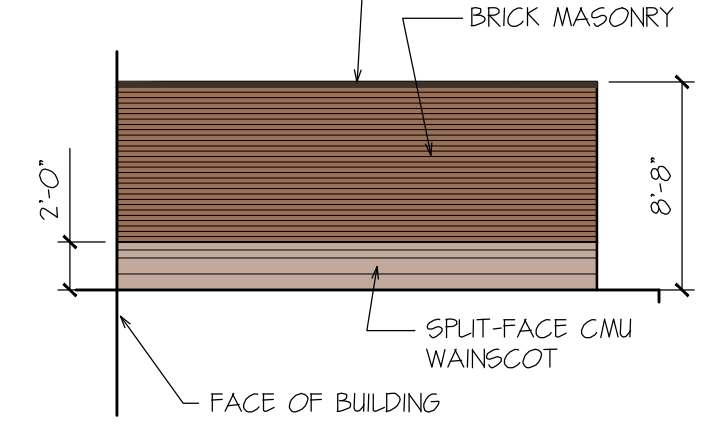
**A1** PROPOSED EAST ELEVATION  
PRIMARY STREET FACING FACADE - DURALEIGH RD.  
SCALE: 3/32" = 1'-0"



**D1** PROPOSED SOUTH ELEVATION  
SCALE: 3/32" = 1'-0"



NOTE: FOURTH WALL OF ENCLOSURE IS BUILDING WALL. 20' x 10' MIN. INSIDE DIMENSION



**D3** PROPOSED DUMPSTER ENCLOSURE ELEVATIONS  
SCALE: 1/8" = 1'-0"

PRELIMINARY  
FOR REVIEW  
ONLY

No.	Revision	Date
L	Raleigh 3rd Round Comments	9/18/2018
K	Raleigh 2nd Round Comments	8/20/2018
J	Update Elevations	6/29/2018
I	Update Plan and Elevations	5/30/2018
H	Planning Review	3/28/2017
G	Update plan and elevations	2/14/2017
F	Update plan and elevations	1/22/2016
E	Call Coordination	1/20/2016
D	Duraleigh Elevation Revisions	8/10/2016
C	Moved Entry Tower	7/21/2016
B	Update for Unity of Dec.	7/20/2016
A	Preliminary Elevations	7/13/2016

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File Name: Drawn By

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NEW STORAGE  
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DURALEIGH RD.  
Raleigh, North Carolina

Sheet Title  
PROPOSED ELEVATIONS

Project No.  
16022  
Revision  
L  
Drawing No.  
A-1.02

