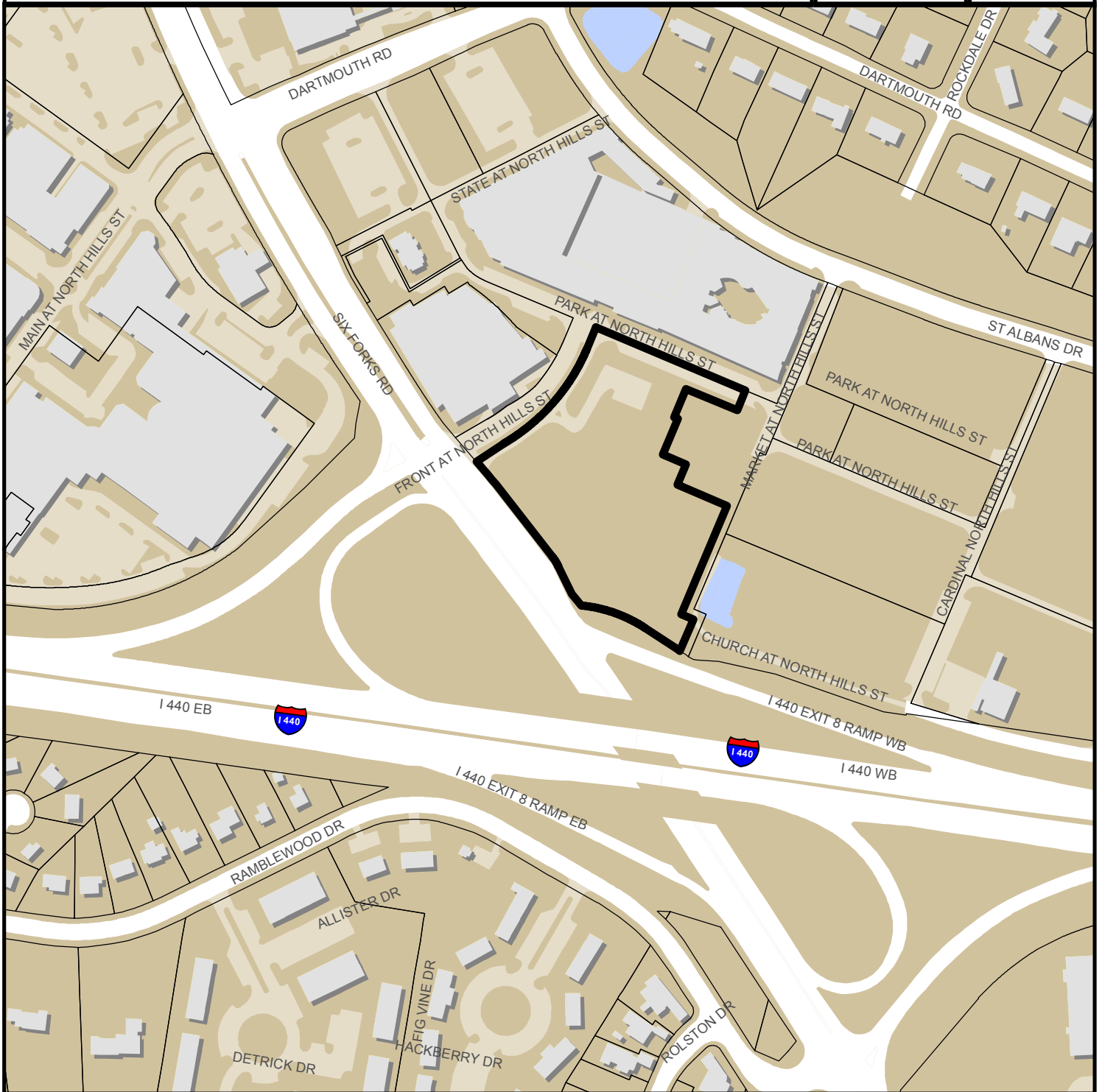


NORTH HILLS EAST TRACT D

SR-101-2016



Zoning: **PD**
CAC: **Midtown**
Drainage Basin: **Crabtree Creek**
Acreage: **4.18**
Units/ Square
feet: **500 / 735,665**

Planner: **Justin Rametta**
Phone: **(919) 996-2665**
Applicant: **Kane Realty Corp.**
Phone: **919-369-4096**





Administrative Approval Action

Case File / Name: SR-101-16 North Hills East Tower IV
Transaction# 497379 AA#3697

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located at 4200 Six Forks Road, between Front at North Hills Street and Market at North Hills Street.

REQUEST: Development of a proposed 2.6 acre tract (proposed lot 9 to be created in accordance with S-61-16) zoned PD (North Hills East / MP-3-16) into two buildings totaling 735,665 square feet including the following:

1. A 20 story office (341,108 sq. ft.) and retail (11,210 sq. ft.) building.
2. A 31 story building containing 176 hotel units and 286 dwelling units.
3. Associated parking structure containing 1,162 spaces.

DESIGN ADJUSTMENT(S)/ ALTERNATES, ETC: N/A

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by the John R. McAdams Company.

CONDITIONS OF APPROVAL and NEXT STEPS:

Note: *This document must be applied to the second sheet of all future submittals with the exception of final plats.*

PRIOR TO THE ISSUANCE OF ANY SITE PERMITS OR APPROVAL OF CONCURRENT REVIEW PROCESS, WHICHEVER IS APPLICABLE:

GENERAL

1. The lots associated with subdivision case S-61-16 must be recorded in the Wake County Register of Deeds and a copy of the recorded plat provided to the city.
2. A revised parking table and parking layout must be provided showing compliance with MP-3-16, UDO Section 7.1.2, and the Raleigh Street Design Manual Section 6.16.

STORMWATER

3. Stormwater calculations shall be provided showing compliance with MP-3-16 and S-61-16.
4. Next Step: In accordance with Part 10A Section 9.4.4 of the Unified Development Ordinance, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City.

PRIOR TO ISSUANCE OF BUILDING PERMITS:

GENERAL

1. Comply with all conditions of Z-28-16 / MP-3-16.
2. A fee-in-lieu for a 1' sidewalk width along Six Forks Road shall be paid to the City of Raleigh to supplement the existing 5' sidewalk along the project frontage.



Administrative Approval Action

Case File / Name: SR-101-16 North Hills East Tower IV
Transaction# 497379 AA#3697

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

3. Next Step: Concurrent review drawings for site permits and/or infrastructure must be approved prior to submitting applications for building permits.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 11-8-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 11/8/2017

Staff Coordinator: Justin Rametta

NORTH HILLS EAST - TOWER IV

TRACT E - MP-3-16 (OPTION 1)
ADMINISTRATIVE SITE REVIEW FOR:
NORTH HILLS EAST - TOWER IV
RALEIGH, NORTH CAROLINA
KAN-16050

TRACT E - MP-3-16 (OPTION 1) ADMINISTRATIVE SITE REVIEW

TRANSACTION NUMBER: 497379
CASE NUMBER: SR-101-16
RALEIGH, NORTH CAROLINA
PROJECT NUMBER: KAN-16050

SHEET INDEX

C-1	PROJECT NOTES
C-2	EXISTING CONDITIONS
C-3	DEMOLITION PLAN
C-4	OVERALL SITE PLAN
C-5	SITE PLAN
C-6	GRADING AND STORM DRAINAGE PLAN
C-7	UTILITY PLAN
C-8	EASEMENT PLAN
LS-1	LANDSCAPE PLAN
D-1	SITE DETAILS
D-2	STORM DRAINAGE DETAILS
D-3	WATER DETAILS
D-4	SANITARY SEWER DETAILS
A1-01	ARCHITECTURAL ELEVATIONS
A1-02	ARCHITECTURAL ELEVATIONS
A1-03	ARCHITECTURAL ELEVATIONS
A1-04	ARCHITECTURAL ELEVATIONS
A1-05	ARCHITECTURAL ELEVATIONS
A1-08	ARCHITECTURAL ELEVATIONS
A2-01	ARCHITECTURAL ELEVATIONS
A2-02	ARCHITECTURAL ELEVATIONS
A - 101	ARCHITECTURAL ELEVATIONS
A - 102	ARCHITECTURAL ELEVATIONS
A - 103	ARCHITECTURAL ELEVATIONS
A - 104	ARCHITECTURAL ELEVATIONS
A - 105	ARCHITECTURAL ELEVATIONS
A - 106	ARCHITECTURAL ELEVATIONS
A - 107	ARCHITECTURAL ELEVATIONS

DATE: DECEMBER 8, 2016
REVISED: JULY 27, 2017
REVISED: AUGUST 30, 2017
REVISED: OCTOBER 6, 2017

DEVELOPER:
KANE REALTY CORPORATION
4321 LASSITER
AT NORTH HILL AVE.
SUITE 250
RALEIGH, NC 27609

CONTACT: PATRICK KAYSER
PHONE: 919-719-5473
EMAIL: pkays@kanrealtycorp.com

Administrative Site Review Application
(for UDO Districts only)

Development Services Customer Service Center | 1 Dockway Place, Suite 800 | Raleigh, NC 27601 | 919-996-2400 | Fax: 919-996-1431
Lackford Sandline Office | 1329 - 1331 Laidlaw Street | Raleigh, NC 27601 | 919-996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE

Detached
 Attached
 Apartment
 Townhouse

FOR OFFICE USE ONLY

General
 Mixed Use
 Open Lot

Development Name: NORTH HILLS EAST - TOWER IV, LLC
Zoning District: North Hills East PC | Overlay District (if applicable): N/A | Inside City Limits? Yes No
Proposed Use: Residential, hotel, retail and office
Property Address: 4200 Six Forks | Major Street Location: Six Forks Road
F.I.N. 1705790436 | P.I.N. | P.I.N. | P.I.N.
What is your project type?
 Mixed Residential
 Single-Family Residential
 Duplex
 Other: if other, please describe: _____
Per City Code Section 12.2.2.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate requests on parking requirements.
The proposed development includes the construction of a residential/hotel tower, an office/retail tower and the parking deck associated with the two towers.
Per City Code Chapter 6, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act.
N/A
Client/Developer/Owner: Kane Realty Corporation | Name (s): David Parker
Address: 4321 Lassiter at North Hills Avenue, Suite 250, Raleigh, NC
Phone: 919-833-7755 | Email: dparker@kanrealtycorp.com | Fax: 919-833-2473
Consultant (Contact Person for Plans): McAdams | Name (s): Rick Slater
Address: 2905 Meridian Parkway, Durham, NC 27713
Phone: 919-361-5000 | Email: slater@mcadamsco.com | Fax: _____
WWW.RALEIGHNC.GOV | REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning District: North Hills East PC	Proposed building use(s): Residential, Hotel, Retail and Office
Overlay District: N/A	Existing Building(s) sq. ft. gross: N/A
Total Site Acres: Inside City Limits: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 2.6 AC	Proposed Building(s) sq. ft. gross: 735,665
Off street parking: Required: 1001 Provided: 1162	Total sq. ft. gross including proposed: 735,665
COA (Certificate of Appropriateness) case #: N/A	# of stories (office): 31 (res):
BOA (Board of Adjustment) case #: N/A	Ceiling height of 1 st floor: 17'
CUD (Conditional Use District) case #: N/A	

FOR RESIDENTIAL DEVELOPMENTS

1. Total # of Apartment, Condominium or Residential Units: 286	5. Bedrooms Units: 1br 104 2br 110 3br 22 4br or more: N/A
2. Total # of Congregate Care or Life Care Dwelling Units: N/A	6. Infill Development: 3.2.7 N/A
3. Total Number of Hotel Units: 176	7. Open Space (lot) or Amenity: 35,199 SF Open Space
4. Overall Total # of Dwelling Units (3-6 Above): 462	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

SIGNATURE BLOCK (Applicable to all developments)

In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.

I hereby designate: Rick Slater to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.

I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.

Signed: David P. Parker Date: 12-5-16
Printed Name: _____ Date: _____
Printed Name: _____ Date: _____

PAGE 2 OF 2 | WWW.RALEIGHNC.GOV | REVISION 05.13.16

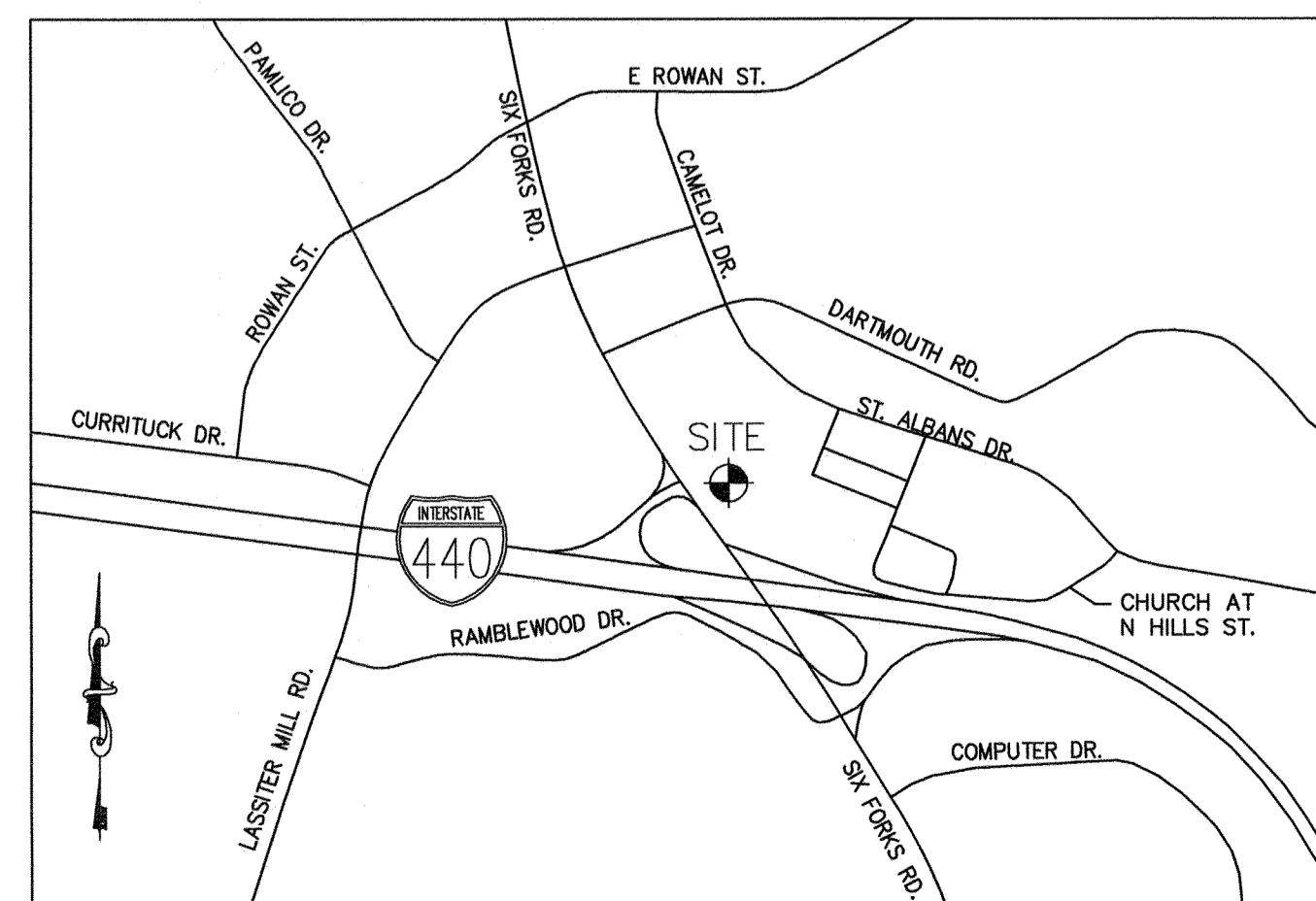
NOTES

- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OR EDGE OF PAVEMENT INTERSECTING STREETS SHALL BE AT LEAST TWENTY (20) FEET FROM THE POINT OF TANGENCY OF THE RADIUS CURVATURE OR 20' FROM THE INTERSECTION OF THE RIGHT-OF-WAY LINES, WHICHEVER IS GREATER. NO DRIVEWAYS OR PARKING SPACES SHALL ENCR OACH ON THIS MINIMUM CORNER CLEARANCE.
- WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.
- TRACT E MAY BE DEVELOPED FOR UP TO 100,000 SQUARE FEET OF RETAIL AND 325 LODGING UNITS AND EITHER (i) 350 RESIDENTIAL DWELLING UNITS AND 500,000 SQUARE FEET OF OFFICE; (ii) 1,800 RESIDENTIAL DWELLING UNITS; OR (iii) 800 RESIDENTIAL DWELLING UNITS AND 300,000 SQUARE FEET OF OFFICE. OPEN SPACE AND/OR RECREATIONAL USES SHALL BE PERMITTED.



Know what's below.
Call before you dig.

CONTRACTOR SHALL NOTIFY "NC811" (811) OR (1-800-632-4949) AT LEAST 3 FULL BUSINESS DAYS PRIOR TO BEGINNING CONSTRUCTION OR EXCAVATION TO HAVE EXISTING UTILITIES LOCATED. CONTRACTOR SHALL CONTACT ANY LOCAL UTILITIES THAT PROVIDE THEIR OWN LOCATOR SERVICES INDEPENDENT OF "NC811". REPORT ANY DISCREPANCIES TO THE ENGINEER IMMEDIATELY.



VICINITY MAP
NTS

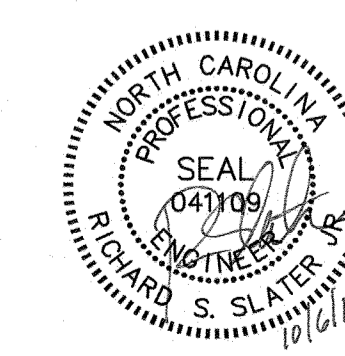
ATTENTION CONTRACTORS

The Construction Contractor responsible for the extension of water, sewer, and/or reuse, as approved in these plans, is responsible for contacting the Public Works Department at (919) 996-2409, and the Public Utilities Department at (919) 996-4540, at least twenty four hours prior to beginning any of their construction. Failure to notify both City Departments in advance of beginning construction, will result in the issuance of monetary fines, and require reinstallation of any water or sewer facilities not inspected as a result of this notification failure. Failure to call for inspection, install a Downstream Plug, have Permitted Plans on the Jobsite, or any other Violation of City of Raleigh Standards will result in a Fine and Possible Exclusion from future work in the City of Raleigh.

SOLID WASTE COMPLIANCE STATEMENT:

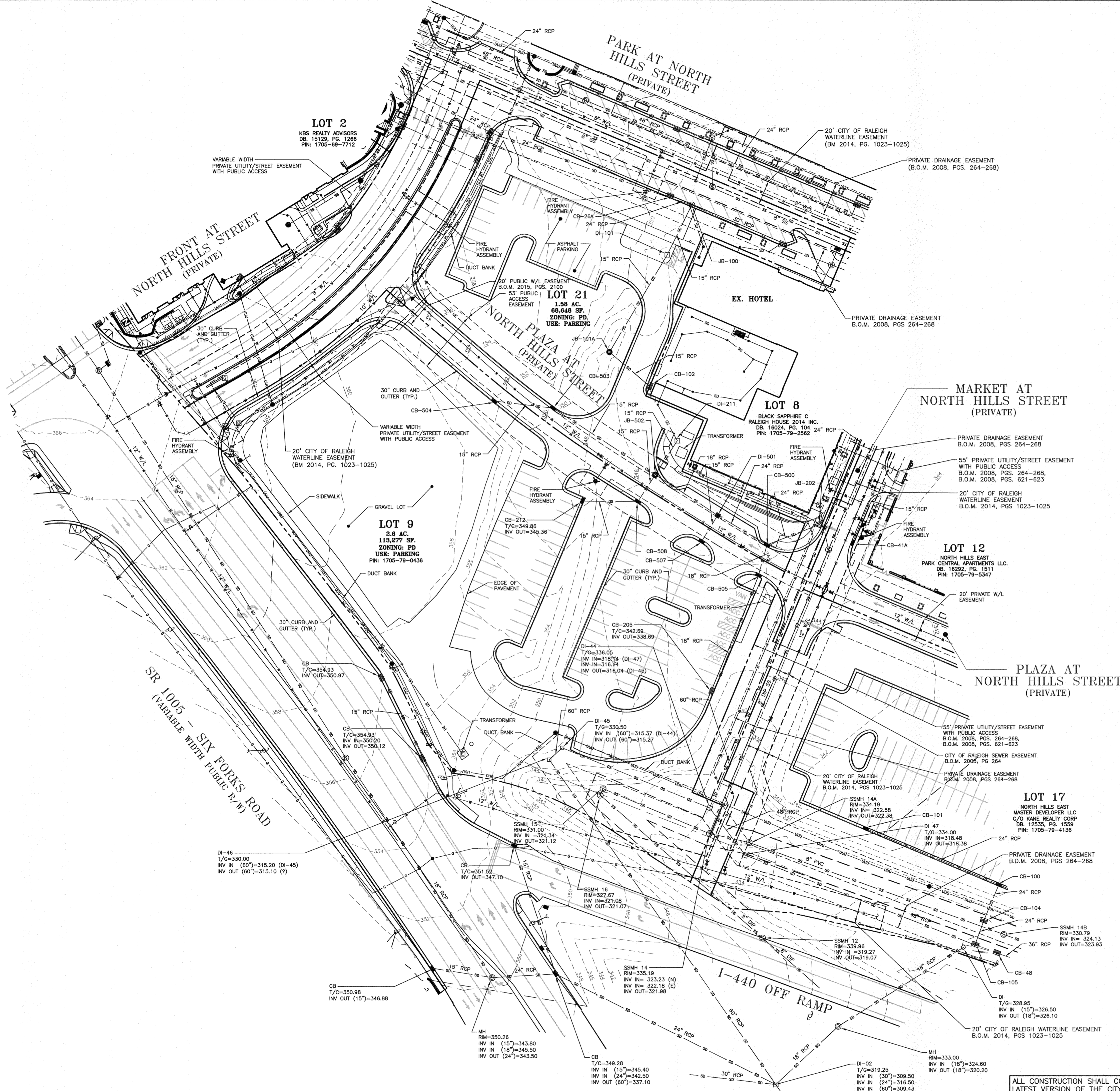
- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE.
- REFUSE WILL BE COLLECTED IN DUMPSTERS LOCATED ON SITE.

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.



THE JOHN R. McADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No.: C-0293
(800) 733-5646 • McAdamsCo.com
Contact: Andy Padiak
padiak@mcadamsco.com

X:\Projects\KAN\16050\Land\Construction Drawings\Current Drawings\KAN16050-Site-XCI.dwg, 8/29/2017 4:23:42 PM, Harrell, Gray



STORM DRAINAGE STRUCTURE TABLE:

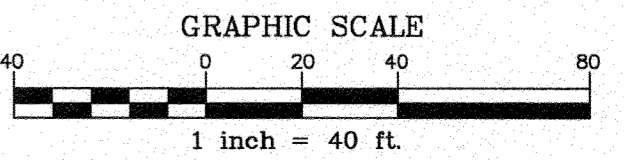
CB-41 T/C=344.90 INV IN=335.12 (CB-42) INV IN=335.30 (CB-41A) INV OUT=335.02
CB-41A T/C=344.42 INV OUT=339.00
CB-500 T/C=344.30 INV IN=337.40 (DI-501) INV IN=337.64 (CB-505) INV OUT=337.50
CB-503 T/C=350.26 INV IN=345.50 (CB-504) INV OUT=345.40
CB-504 T/C=352.29 INV OUT=347.50
CB-505 T/C=344.23 INV IN=337.91 (CB-205) INV OUT=337.91
CB-507 T/C=344.92 INV OUT=340.15
CB-508 T/C=345.99 INV IN=340.50 (CB-212) INV OUT=340.40
DI-501 T/C=344.49 INV IN=339.20 (JB-502) INV IN=339.85 (CB-507) INV OUT=338.70
JB-202 RIM=343.72 INV IN=336.82 (CB-500) INV OUT=336.72
JB-502 RIM=345.97 INV IN=340.70 (CB-503) INV IN=340.10 (CB-508) INV IN=340.70 (DI-211) INV OUT=339.85
JB-01 RIM=342.94 INV IN=313.66 (JB-02) INV OUT=313.46
JB-02 RIM=341.34 INV IN=313.98 (JB-03) INV OUT=313.78
JB-03 RIM=337.79 INV IN=314.85 (DI-44) INV OUT=314.85

LEGEND

- EXISTING IRON PIPE
- IRON PIPE SET
- ▲ CALCULATED POINT
- ⊙ BORE HOLE
- ⊕ SANITARY SEWER MANHOLE
- ⊖ SANITARY SEWER CLEANOUT
- ⊗ WATER VALVE
- ⊘ WATER METER
- ⊙ FIRE HYDRANT
- ⊕ TELEPHONE PEDESTAL
- ⊖ TELEPHONE MANHOLE
- ⊗ ELECTRIC BOX
- ⊘ LIGHT POLE
- ⊙ POWER POLE
- ⊕ GUY WIRE
- ⊖ CURB INLET
- ⊗ STORM DRAINAGE MANHOLE
- ⊘ YARD INLET
- ⊙ FIBER OPTIC MARKER
- ⊕ FIBER OPTIC VAULT
- ⊖ SIGN
- BOLLARD
- SD — STORM DRAIN PIPE
- OU — OVERHEAD UTILITY LINES
- W — WATER LINE
- SS — SANITARY SEWER LINE
- T — TELEPHONE LINE
- G — GAS LINE
- UE — UNDERGROUND ELECTRIC
- UT — UNDERGROUND TELEPHONE
- X — FENCE LINE
- T — TREE LINE
- G — GUARDRAIL
- UUU — DUCT BANK

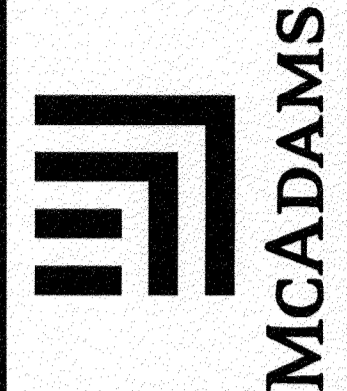
NOTE:

EXISTING CONDITIONS WAS COMPILED WITH VARIOUS GIS, AS-BUILTS AND FIELD SURVEYS BY JOHN R. McADAMS CO., INC.



ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS. PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. McADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
License No: C-0283
(800) 755-5646 • mcadamsco.com



REVISIONS:

2017-07-24	REVISED PER 1ST CITY COMMENTS
2017-08-30	REVISED PER 2ND CITY COMMENTS

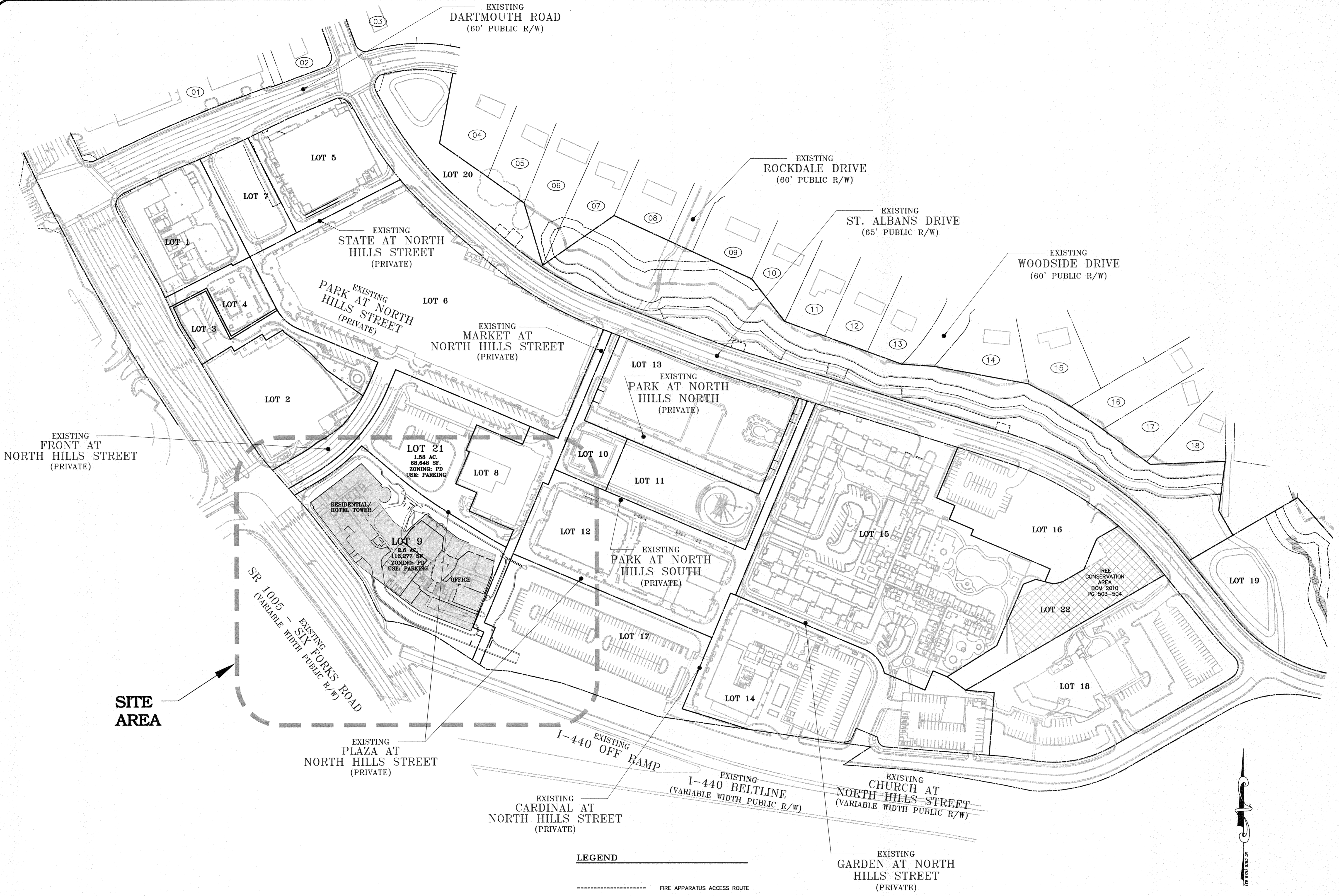
DEVELOPER:
KANE REALTY CORPORATION
4321 LASSITER
AT NORTH HILL AVE.
SUITE 250
RALEIGH, NC 27609

**NORTH HILLS EAST - TOWER IV
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA
EXISTING CONDITIONS**

PROJECT NO:	KAN-16050
FILENAME:	KAN16050-Site-XCI
CHECKED BY:	ARP
DRAWN BY:	RAD
SCALE:	1"=40'
DATE:	12-08-2016
SHEET NO.	C-2



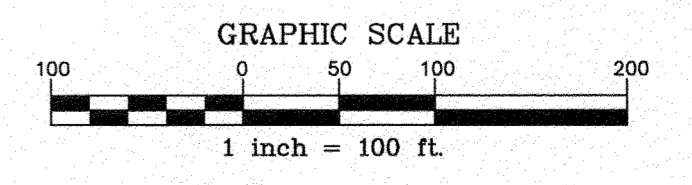
X:\Projects\KAN\KAN-16050\Land\Construction Drawings\KAN16050-FSR-Site-OASI.dwg, 10/15/2017 9:05:33 AM, Horrell, Roy



LEGEND
 ----- FIRE APPARATUS ACCESS ROUTE

THE CONSTRUCTION INSPECTION OF PRIVATE STREETS WITHIN CLUSTER UNITS, CONDOMINIUMS, GROUP HOUSING, TOWNHOUSE DEVELOPMENTS AND MOBILE HOME PARKS SUBMITTED FOR CITY APPROVAL IS THE RESPONSIBILITY OF THE OWNER/DEVELOPER. COPIES OF CERTIFIED INSPECTION REPORTS INVOLVING SUB GRADE/AGGREGATE BASE PROOF ROLLS, AGGREGATE BASE AND ASPHALT DENSITIES AND THICKNESS, AND OTHER PERTINENT INFORMATION MUST BE SUBMITTED TO THE CITY'S ENGINEERING INSPECTION MANAGER AT P.O. BOX 590, RALEIGH, NC 27602. CONTACT KENNETH RITCHIE AT 919-996-2409 TO OBTAIN DETAILS OF THE ABOVE REQUIREMENTS.

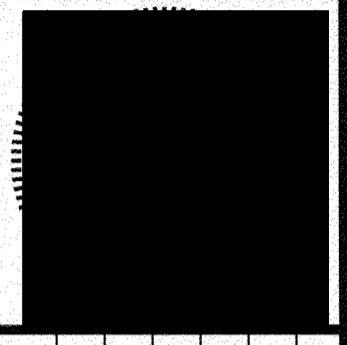
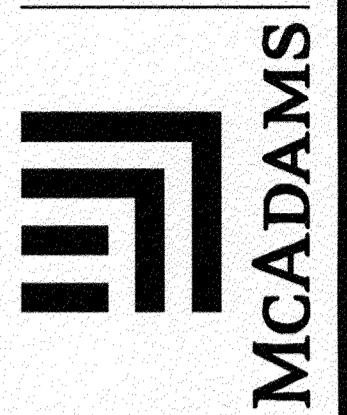
NOTE:
 TRACT E IS BEING DEVELOPED IN ACCORDANCE WITH OPTION 1 OF MP-3-16



SEE SHEET C-1 FOR ALL PROJECT NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

THE JOHN R. MCADAMS COMPANY, INC.
 2908 Meridian Parkway
 Durham, North Carolina 27713
 License No.: C-0283
 (800) 733-5646 • McAdamsCo.com



REVISIONS:
 ▲ 2017-07-24 REVISED PER 1ST CITY COMMENTS
 ▲ 2017-08-30 REVISED PER 2ND CITY COMMENTS
 ▲ 2017-10-08 REVISED PER 3RD CITY COMMENTS

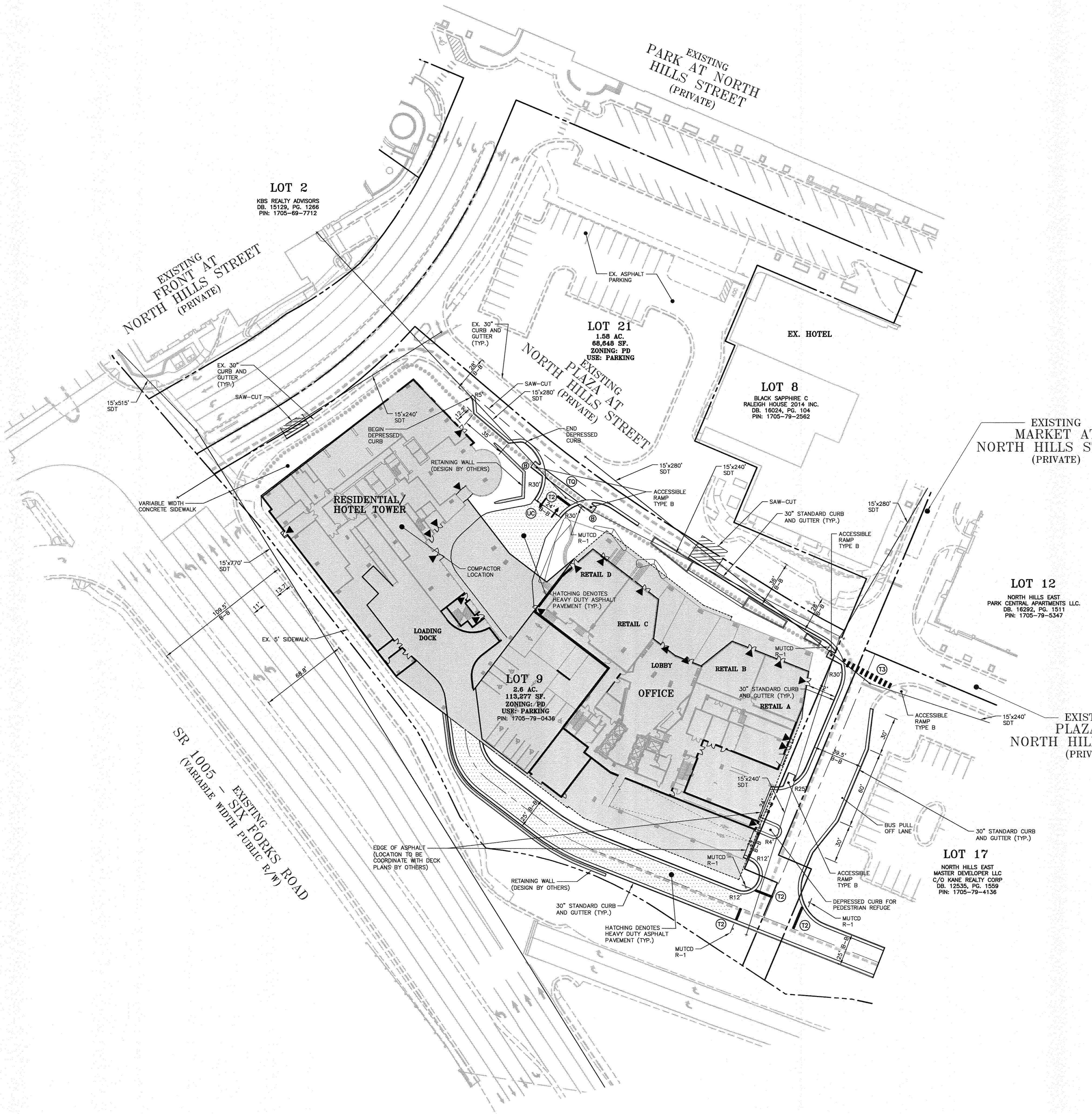
DEVELOPER:
 KANE REALTY CORPORATION
 4321 LASSITER
 AT NORTH HILL AVE.
 SUITE 250
 RALEIGH, NC 27609

**NORTH HILLS EAST - TOWER IV
 ADMINISTRATIVE SITE REVIEW
 RALEIGH, NORTH CAROLINA
 OVERALL SITE PLAN**

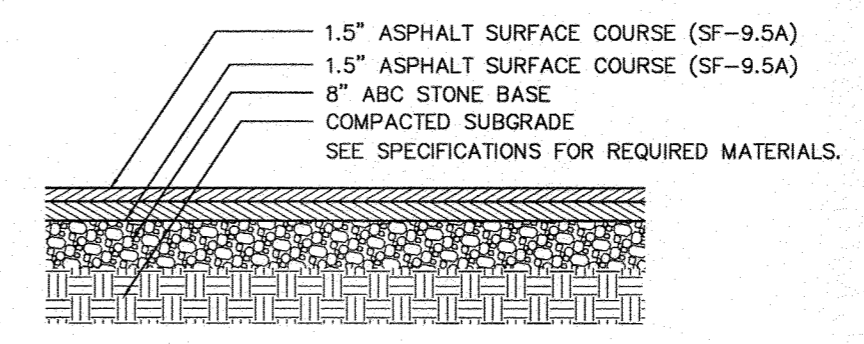
PROJECT NO: KAN-16050
 FILENAME: KAN16050-OASI
 CHECKED BY: RSS
 DRAWN BY: RAD
 SCALE: 1"=100'
 DATE: 12-08-2016
 SHEET NO: **C-4**



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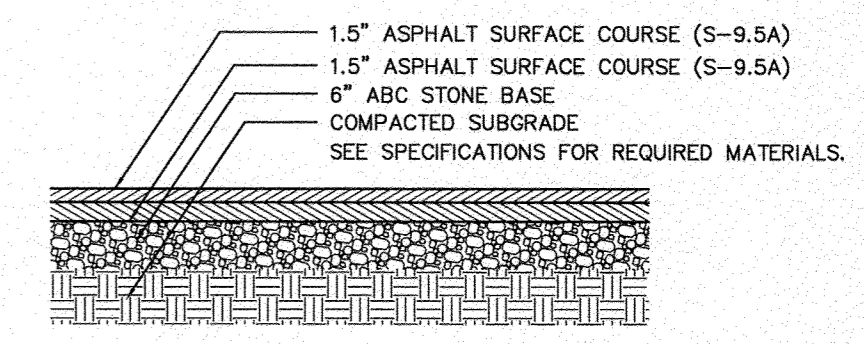


- NOTES:
- CONTRACTOR SHALL PLACE SURFACE COURSE IN TWO LIFTS: FIRST LIFT DURING CONSTRUCTION, THEN PLACE SECOND SURFACE COURSE AFTER BUILDING AND SITE CONSTRUCTION.
 - THE PAVEMENT SECTIONS SHOWN ARE PRELIMINARY. THE CONTRACTOR SHALL VERIFY PAVEMENT DESIGN WITH THE GEOTECHNICAL ENGINEER PRIOR TO PROCEEDING WITH CONSTRUCTION.



SUBGRADE COMPACTED TO A MINIMUM 98% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) REFER TO SOILS REPORT IF AVAILABLE.

ON-SITE ASPHALT HEAVY DUTY TRAFFIC PAVEMENT DETAIL



SUBGRADE COMPACTED TO A MINIMUM 98% STANDARD PROCTOR MAXIMUM DRY DENSITY (ASTM D 698) REFER TO SOILS REPORT IF AVAILABLE.

ON-SITE ASPHALT LIGHT DUTY PAVEMENT DETAIL

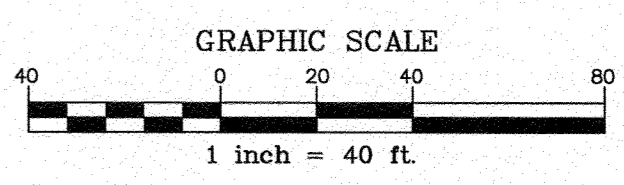
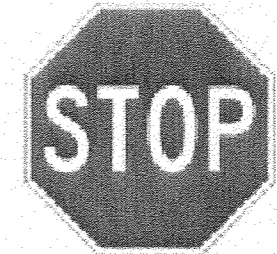
SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- HEAVY DUTY ASPHALT PAVEMENT
- FIRE APPARATUS ACCESS ROUTE
- DOOR / ENTRY

PAVEMENT MARKING LEGEND

- LANE LINES/MARKINGS**
- T2 24" WHITE STOPBAR
 - T3 24" WHITE CROSSWALK LINE (HIGH VISIBILITY)
 - TQ 8" WHITE CROSSWALK LINE

- ARROWS/CHARACTERS**
- UC STRAIGHT ARROW



SEE SHEET C-8 FOR ALL EASEMENT LOCATIONS AND INFORMATION.

SEE SHEET C-1 FOR ALL PROJECT NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

NOTE:
TRACT E IS BEING DEVELOPED IN ACCORDANCE WITH OPTION 1 OF MP-3-16

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

THE JOHN R. MCADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, North Carolina 27713
(800) 733-5646 • McAdamsCo.com



REVISIONS:

2017-07-24	REVISED PER 1ST CITY COMMENTS
2017-08-30	REVISED PER 2ND CITY COMMENTS
2017-10-08	REVISED PER 3RD CITY COMMENTS

DEVELOPER:
KANE REALTY CORPORATION
4321 LASSITER
AT NORTH HILL AVE.
SUITE 250
RALEIGH, NC 27609

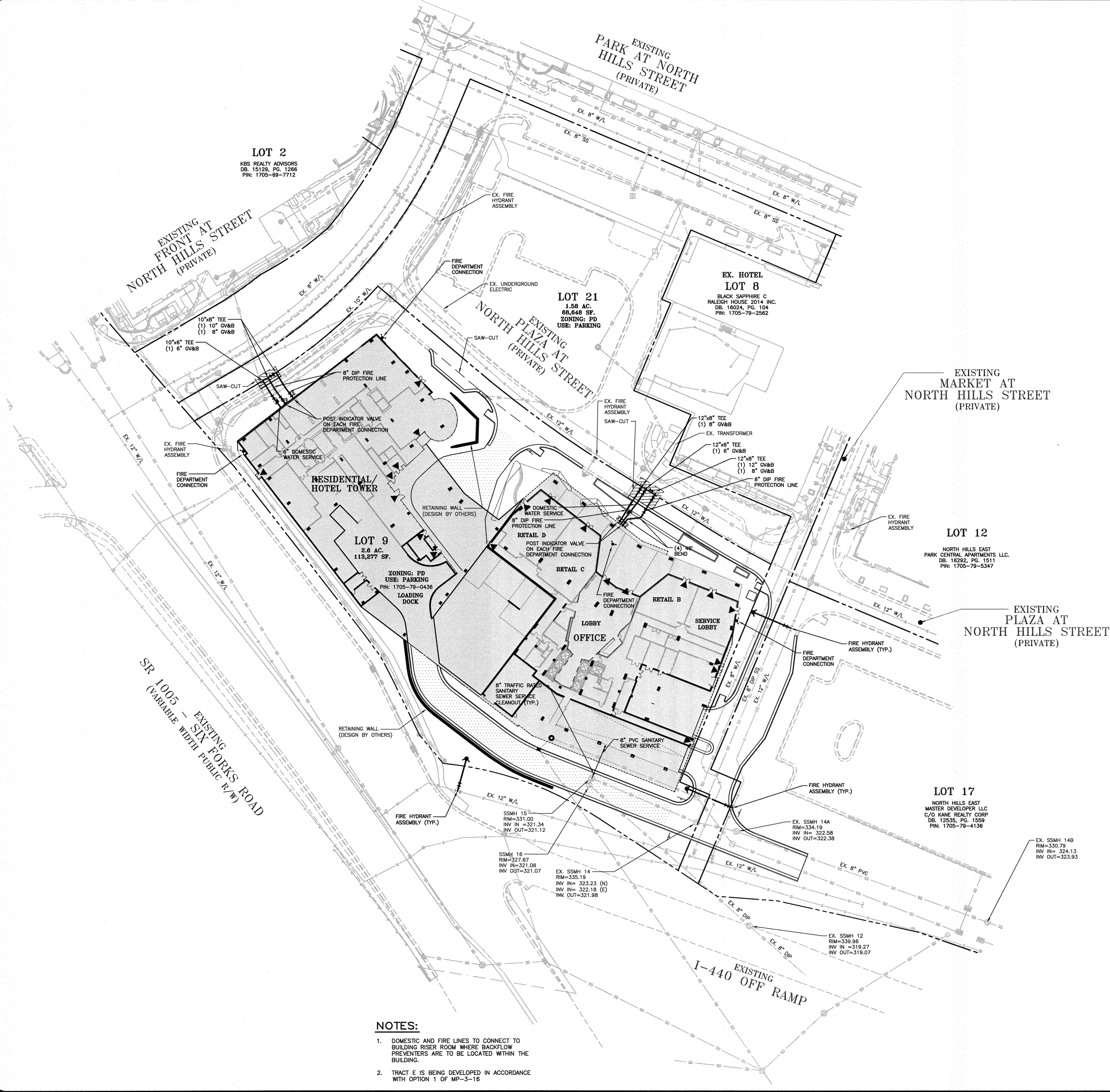
**NORTH HILLS EAST - TOWER IV
ADMINISTRATIVE SITE REVIEW**
RALEIGH, NORTH CAROLINA

SITE PLAN

PROJECT NO.	KAN-16050
FILENAME	KAN16050-S1
CHECKED BY:	RSS
DRAWN BY:	RAD
SCALE:	1"=40'
DATE:	12-08-2016
SHEET NO.	C-5



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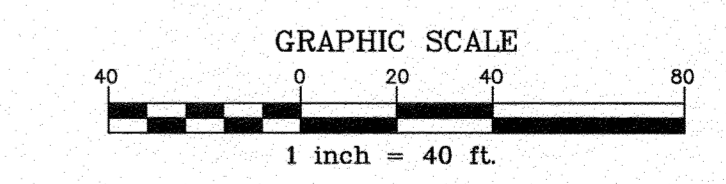


UTILITY LEGEND

- FIRE HYDRANT ASSEMBLY
- FIRE DEPARTMENT CONNECTION (FDC)
- WATER VALVE
- POST INDICATOR VALVE
- METER & VAULT
- SANITARY SEWER MANHOLE
- SEWER CLEAN-OUT
- GREASE TRAP
- SEWER FLOW DIRECTION ARROW
- WATERLINE
- WATER SERVICE LINE
- UTILITY SLEEVE
- SANITARY SEWER
- SEWER SERVICE LINE
- SEWER FORCE MAIN
- GAS LINE
- OVERHEAD UTILITY
- UNDERGROUND ELECTRIC
- TELEPHONE
- EASEMENT LINE

NOTES:

1. DOMESTIC AND FIRE LINES TO CONNECT TO BUILDING RISER ROOM WHERE BACKFLOW PREVENTERS ARE TO BE LOCATED WITHIN THE BUILDING.
2. TRACT E IS BEING DEVELOPED IN ACCORDANCE WITH OPTION 1 OF MP-3-16

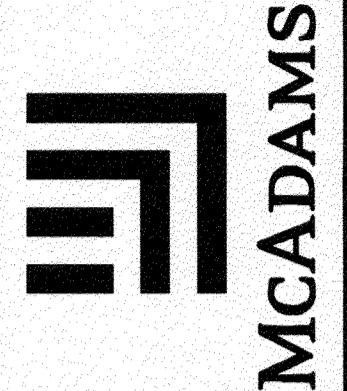


SEE SHEET C-8 FOR ALL EASEMENT LOCATIONS AND INFORMATION.

SEE SHEET C-1 FOR ALL PROJECT NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

THE JOHN R. MCADAMS COMPANY, INC.
 2905 Meridian Parkway
 Durham, North Carolina 27713
 Tel: 919-487-0283
 Fax: 919-487-0283
 (800) 733-5646 • McAdamsCo.com



REVISIONS:

2017-07-24	REVISED PER 1ST CITY COMMENTS
2017-08-30	REVISED PER 2ND CITY COMMENTS
2017-10-08	REVISED PER 3RD CITY COMMENTS

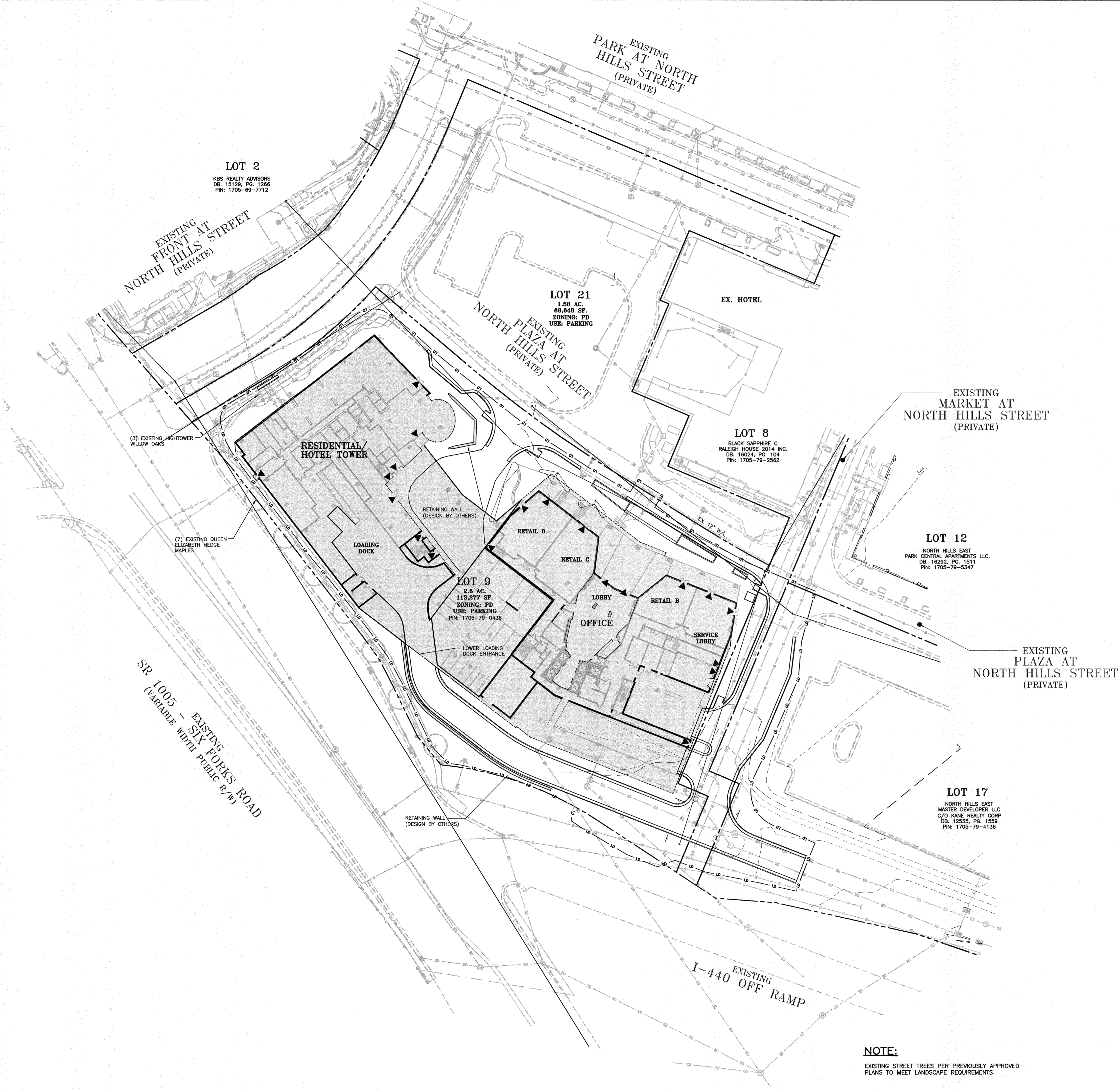
DEVELOPER:
KANE REALTY CORPORATION
 4321 LASSITER
 AT NORTH HILL AVE.
 SUITE 250
 RALEIGH, NC 27609

NORTH HILLS EAST - TOWER IV
ADMINISTRATIVE SITE REVIEW
 RALEIGH, NORTH CAROLINA
 UTILITY PLAN

PROJECT NO.	KAN-16050
FILENAME:	KAN16050-U1
CHECKED BY:	RSS
DRAWN BY:	RAD
SCALE:	1"=40'
DATE:	12-08-2016
SHEET NO.	C-7



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LOT 2
KBS REALTY ADVISORS
DB: 15129, PG. 1266
PIN: 1705-69-7712

LOT 21
1.58 AC.
68,848 SF.
ZONING: PD
USE: PARKING

LOT 8
BLACK SAPPHIRE C
RALEIGH HOUSE 2014 INC.
DB: 16024, PG. 104
PIN: 1705-79-2682

LOT 12
NORTH HILLS EAST
PARK CENTRAL APARTMENTS LLC.
DB: 16292, PG. 1511
PIN: 1705-79-5347

LOT 9
2.6 AC.
113,277 SF.
ZONING: PD
USE: PARKING
PIN: 1705-79-0438

LOT 17
NORTH HILLS EAST
MASTER DEVELOPER LLC
C/O KANE REALTY CORP.
DB: 12235, PG. 1959
PIN: 1705-79-4136

EXISTING FRONT AT NORTH HILLS STREET (PRIVATE)

EXISTING PARK AT NORTH HILLS STREET (PRIVATE)

EXISTING PLAZA AT NORTH HILLS STREET (PRIVATE)

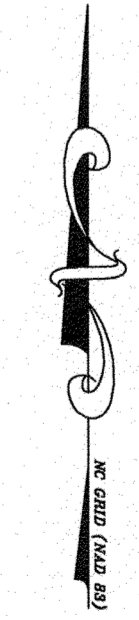
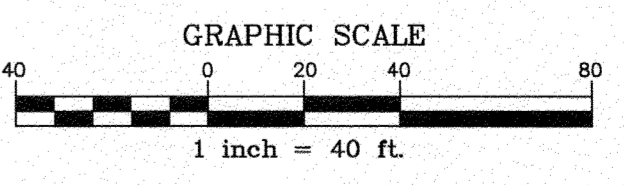
EXISTING MARKET AT NORTH HILLS STREET (PRIVATE)

EXISTING PLAZA AT NORTH HILLS STREET (PRIVATE)

SR 1005 - EXISTING SIX FORKS ROAD (VARIABLE WIDTH PUBLIC R/W)

I-440 EXISTING OFF RAMP

NOTE:
EXISTING STREET TREES PER PREVIOUSLY APPROVED PLANS TO MEET LANDSCAPE REQUIREMENTS.



SEE SHEET C-8 FOR ALL EASEMENT LOCATIONS AND INFORMATION.

SEE SHEET C-1 FOR ALL PROJECT NOTES

ALL CONSTRUCTION SHALL CONFORM WITH THE LATEST VERSION OF THE CITY OF RALEIGH AND NCDOT STANDARDS, SPECIFICATIONS AND DETAILS.

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

NORTH HILLS EAST - TOWER IV
ADMINISTRATIVE SITE REVIEW
RALEIGH, NORTH CAROLINA

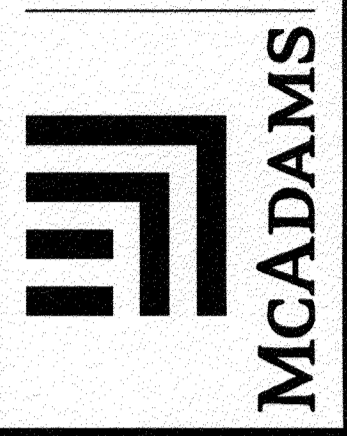
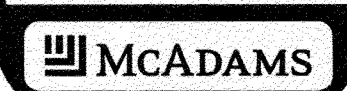
LANDSCAPE PLAN

DEVELOPER:
KANE REALTY CORPORATION
4321 LASSITER
AT NORTH HILL AVE.
SUITE 250
RALEIGH, NC 27609

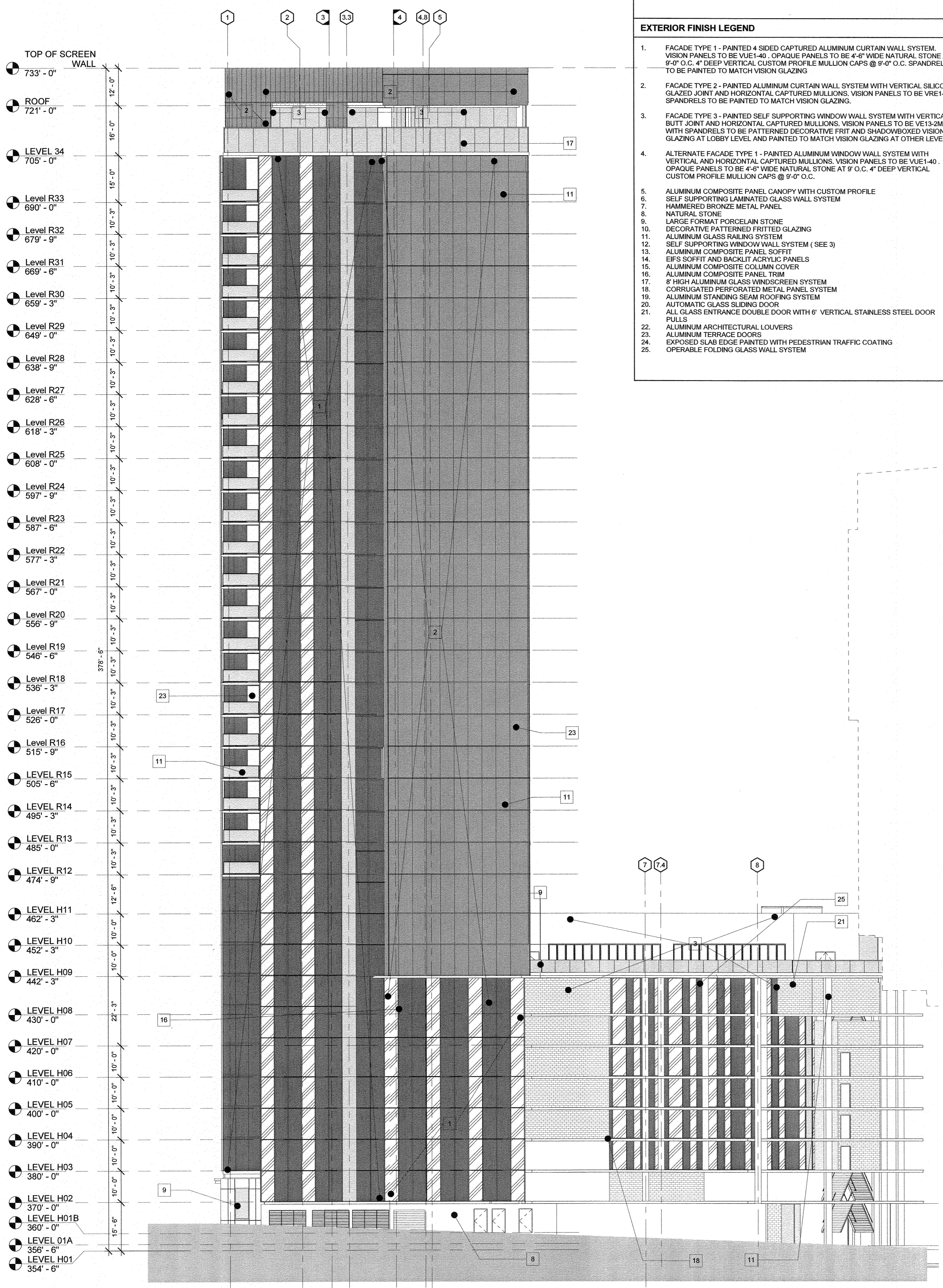
REVISIONS:

▲	2017-07-24	REVISED PER 1ST CITY COMMENTS
▲	2017-08-30	REVISED PER 2ND CITY COMMENTS
▲	2017-10-08	REVISED PER 3RD CITY COMMENTS

PROJECT NO.	KAN-16050
FILENAME	KAN16050-LS1
CHECKED BY:	ARP
DRAWN BY:	RAD
SCALE:	1"=40'
DATE:	12-08-2016
SHEET NO.	LS-1



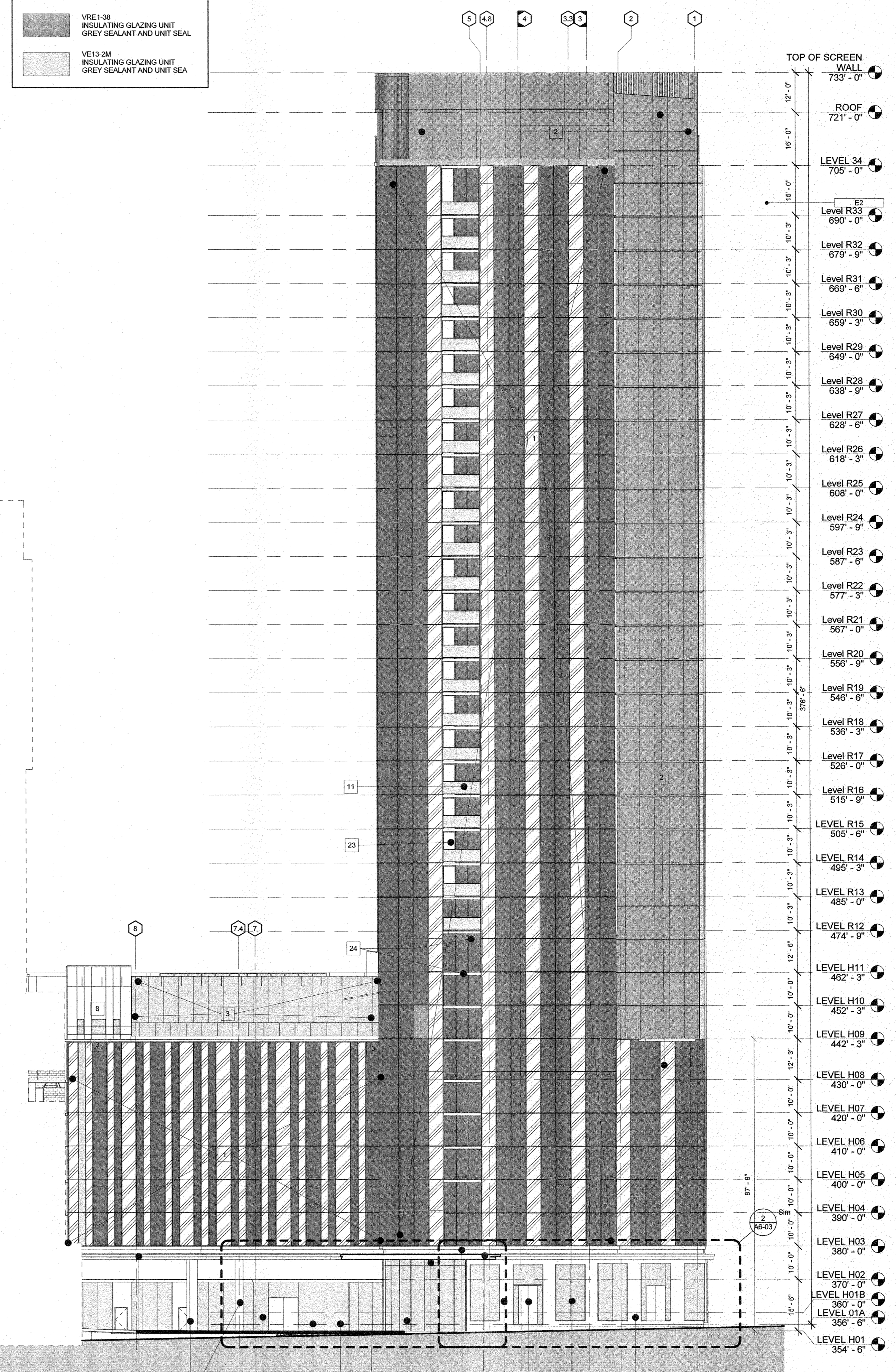
THE JOHN R. McADAMS COMPANY, INC.
2905 Meridian Parkway
Durham, NC 27713
License No. C-0283
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2 ELEVATION - SOUTH
1/16" = 1'-0"

- GENERAL FACADE NOTES**
- ALL METAL PANEL TO BE CUSTOM COLOR 3 COAT FLUOROPOLYMER FINISH
 - ALL CURTAIN WALL AND WINDOW WALL MULLION COLORS TO BE CUSTOM COLOR METAL; THREE COAT FLUOROPOLYMER FINISH. ASSUME 2 COLORS
 - SCOPE OF WORK INCLUDES ALL NECESSARY STRUCTURAL SUPPORT AND BACK-UP WHETHER OR NOT GRAPHICALLY INDICATED
 - ALL CORNERS WITHIN THE CURTAIN WALL SYSTEM ARE TO BE VERTICALLY BUTT JOINTED UNLESS NOTED OTHERWISE
- EXTERIOR FINISH LEGEND**
- FACADE TYPE 1 - PAINTED 4 SIDED CAPTURED ALUMINUM CURTAIN WALL SYSTEM. VISION PANELS TO BE VUE1-40. OPAQUE PANELS TO BE 4'-6" WIDE NATURAL STONE AT 9'-0" O.C. 4" DEEP VERTICAL CUSTOM PROFILE MULLION CAPS @ 9'-0" O.C. SPANDRELS TO BE PAINTED TO MATCH VISION GLAZING
 - FACADE TYPE 2 - PAINTED ALUMINUM CURTAIN WALL SYSTEM WITH VERTICAL SILICONE GLAZED JOINT AND HORIZONTAL CAPTURED MULLIONS. VISION PANELS TO BE VRE1-38. SPANDRELS TO BE PAINTED TO MATCH VISION GLAZING
 - FACADE TYPE 3 - PAINTED SELF SUPPORTING WINDOW WALL SYSTEM WITH VERTICAL BUTT JOINT AND HORIZONTAL CAPTURED MULLIONS. VISION PANELS TO BE VE13-2M WITH SPANDRELS TO BE PATTERNED DECORATIVE FRIT AND SHADOWBOXED VISION GLAZING AT LOBBY LEVEL AND PAINTED TO MATCH VISION GLAZING AT OTHER LEVELS.
 - ALTERNATE FACADE TYPE 1 - PAINTED ALUMINUM WINDOW WALL SYSTEM WITH VERTICAL AND HORIZONTAL CAPTURED MULLIONS. VISION PANELS TO BE VUE1-40. OPAQUE PANELS TO BE 4'-6" WIDE NATURAL STONE AT 9'-0" O.C. 4" DEEP VERTICAL CUSTOM PROFILE MULLION CAPS @ 9'-0" O.C.
 - ALUMINUM COMPOSITE PANEL CANOPY WITH CUSTOM PROFILE
 - SELF SUPPORTING LAMINATED GLASS WALL SYSTEM
 - HAMMERED BRONZE METAL PANEL
 - NATURAL STONE
 - LARGE FORMAT PORCELAIN STONE
 - DECORATIVE PATTERNED FRITTED GLAZING
 - ALUMINUM GLASS RAILING SYSTEM
 - SELF SUPPORTING WINDOW WALL SYSTEM (SEE 3)
 - ALUMINUM COMPOSITE PANEL SOFFIT
 - EFS SOFFIT AND BACKLIT ACRYLIC PANELS
 - ALUMINUM COMPOSITE COLUMN COVER
 - ALUMINUM COMPOSITE PANEL TRIM
 - 8" HIGH ALUMINUM GLASS WINDSCREEN SYSTEM
 - CORRUGATED PERFORATED METAL PANEL SYSTEM
 - ALUMINUM STANDING SEAM ROOFING SYSTEM
 - AUTOMATIC GLASS SLIDING DOOR
 - ALL GLASS ENTRANCE DOUBLE DOOR WITH 6" VERTICAL STAINLESS STEEL DOOR PULLS
 - ALUMINUM ARCHITECTURAL LOUVERS
 - ALUMINUM TERRACE DOORS
 - EXPOSED SLAB EDGE PAINTED WITH PEDESTRIAN TRAFFIC COATING
 - OPERABLE FOLDING GLASS WALL SYSTEM

- DIAGRAM FINISH LEGEND**
- NATURAL STONE
 - VUE1-40 INSULATING GLAZING UNIT GREY SEALANT AND UNIT SEAL
 - VRE1-38 INSULATING GLAZING UNIT GREY SEALANT AND UNIT SEAL
 - VE13-2M INSULATING GLAZING UNIT GREY SEALANT AND UNIT SEAL



1 ELEVATION - NORTH
1/16" = 1'-0"

Smallwood, Reynolds, Stewart & Associates, Inc. Architects

One Piedmont Center, Suite 303 3565 Piedmont Road Atlanta, Georgia 30305

ELEVATIONS
NORTH HILLS TOWER IV (RESIDENTIAL TOWER)
NORTH HILLS RALEIGH, NC

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REV. NO.	DATE	REMARKS
07/20/17		SCHEMATIC DESIGN

DATE: _____

JOB NO. **216052.00**

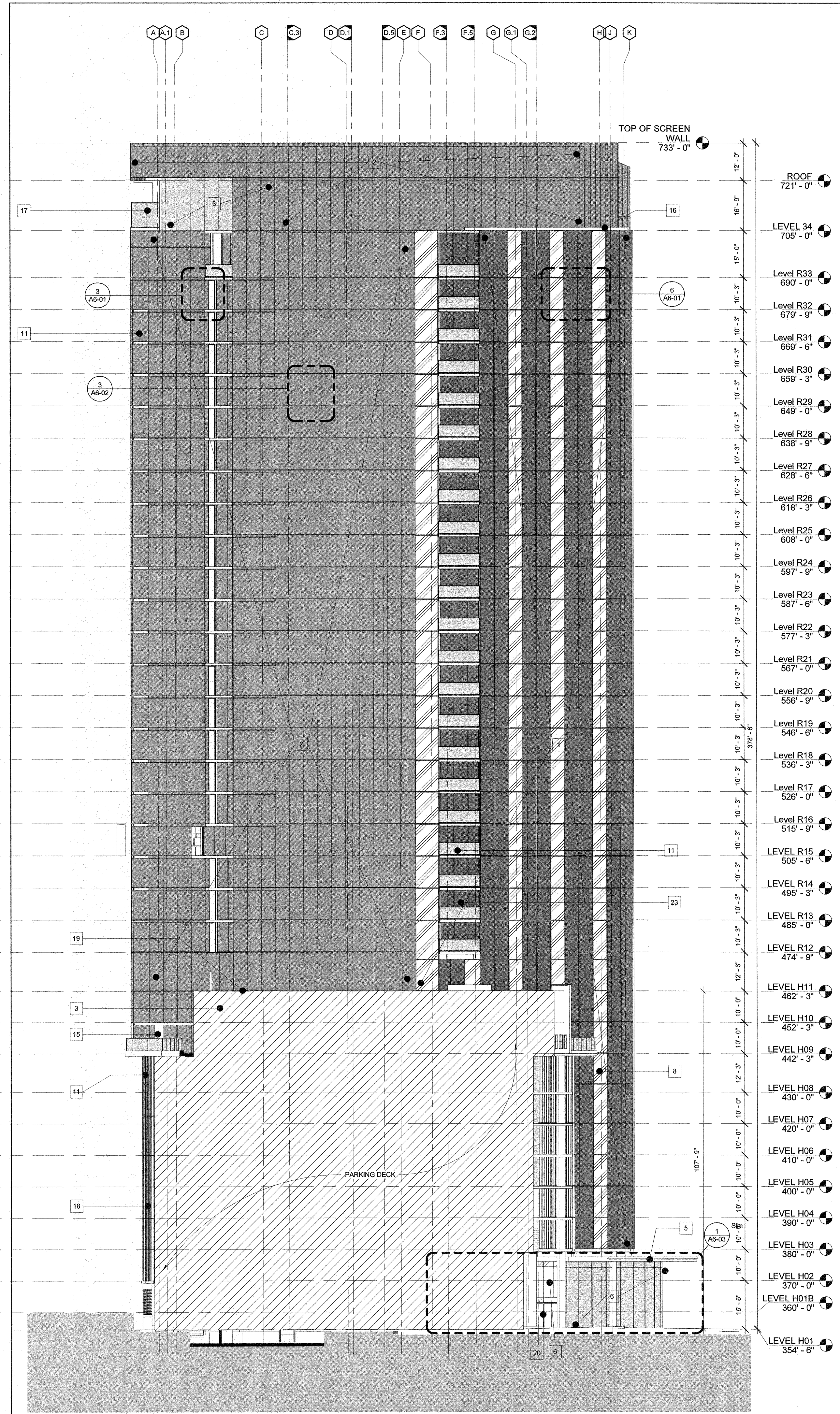
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A2-01

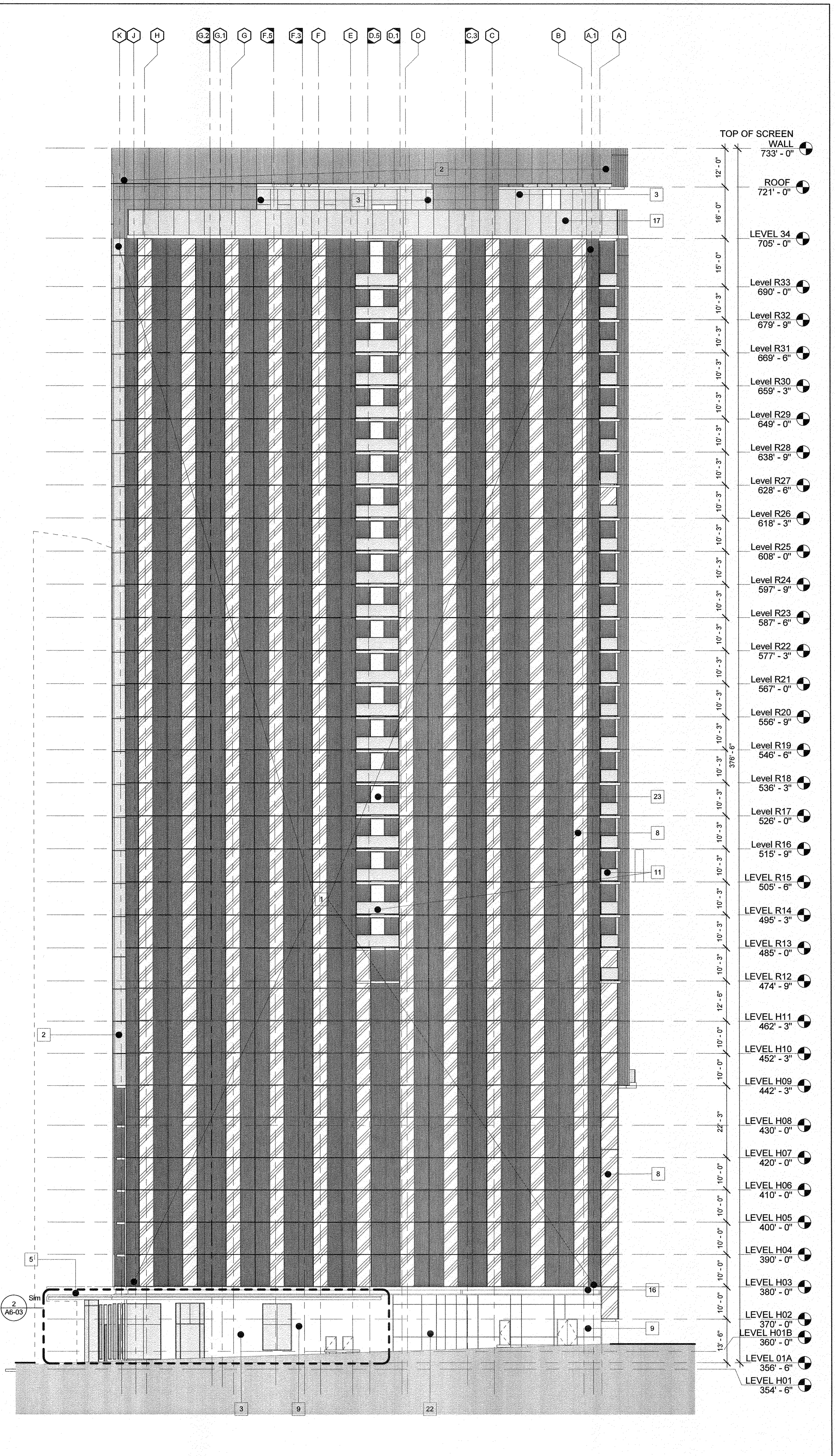
NOT ISSUED FOR CONSTRUCTION
FOR INFORMATION ONLY

DIAGRAM FINISH LEGEND

- NATURAL STONE
- VUE1-40 INSULATING GLAZING UNIT GREY SEALANT AND UNIT SEAL
- VRE1-38 INSULATING GLAZING UNIT GREY SEALANT AND UNIT SEAL
- VE13-2M INSULATING GLAZING UNIT GREY SEALANT AND UNIT SEAL



2 ELEVATION - EAST
1/16" = 1'-0"



1 ELEVATION - WEST
1/16" = 1'-0"

Smallwood, Reynolds, Stewart & Associates, Inc. Architects
One Piedmont Center, Suite 303 3565 Piedmont Road Atlanta, Georgia 30305

ELEVATIONS
NORTH HILLS TOWER IV (RESIDENTIAL TOWER)
NORTH HILLS RALEIGH, NC

KANJE REALTY CORPORATION

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