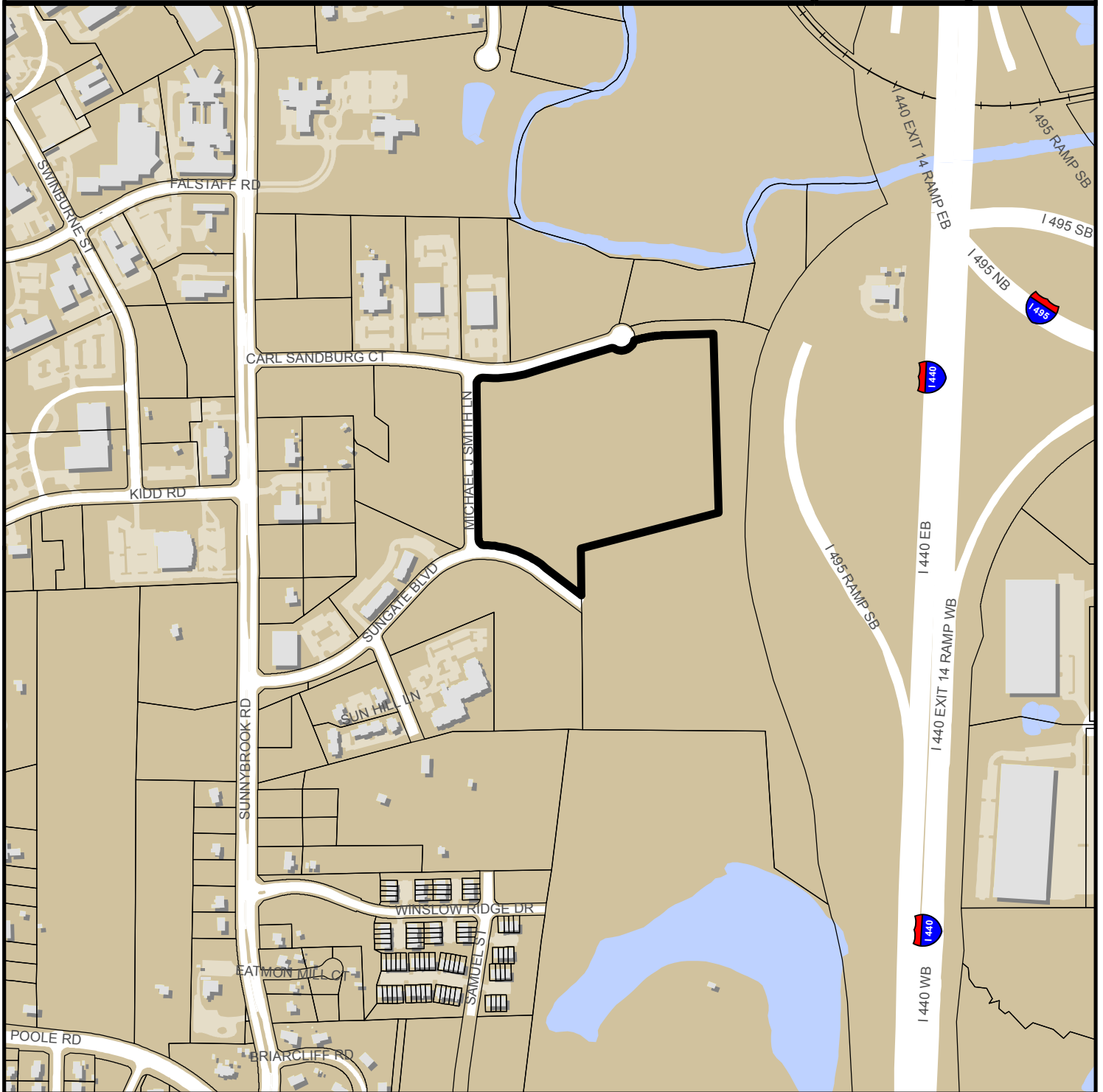


HOLLY HILL HOSPITAL SR-98-2016



0 300 600 1,200 Feet

Zoning: **OX-3-PL**
CAC: **Southeast**

Drainage Basin: **Crabtree Basin**
Acreage: **18.3**
Square footage: **94,807**

Planner: **Martha Lobo**
Phone: **(919) 996-2664**

Applicant: **Holly Hill Hospital**
Phone: **(919) 250-7186**





Administrative Action Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

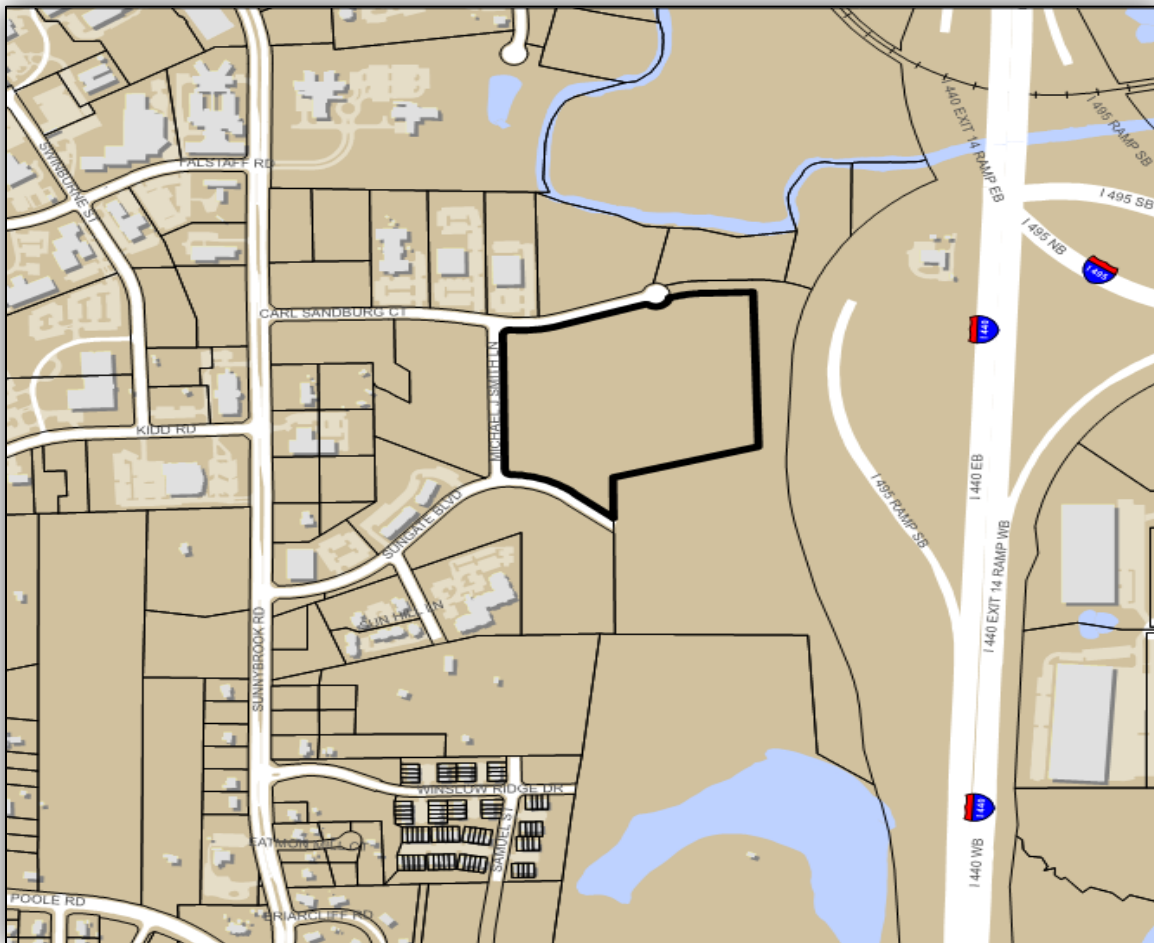
Case File / Name: SR-98-16/Holly Hill Hospital

General Location: This site is located on the east side of Michael J Smith Lane, between Carl Sandburg Court and Sungate Boulevard

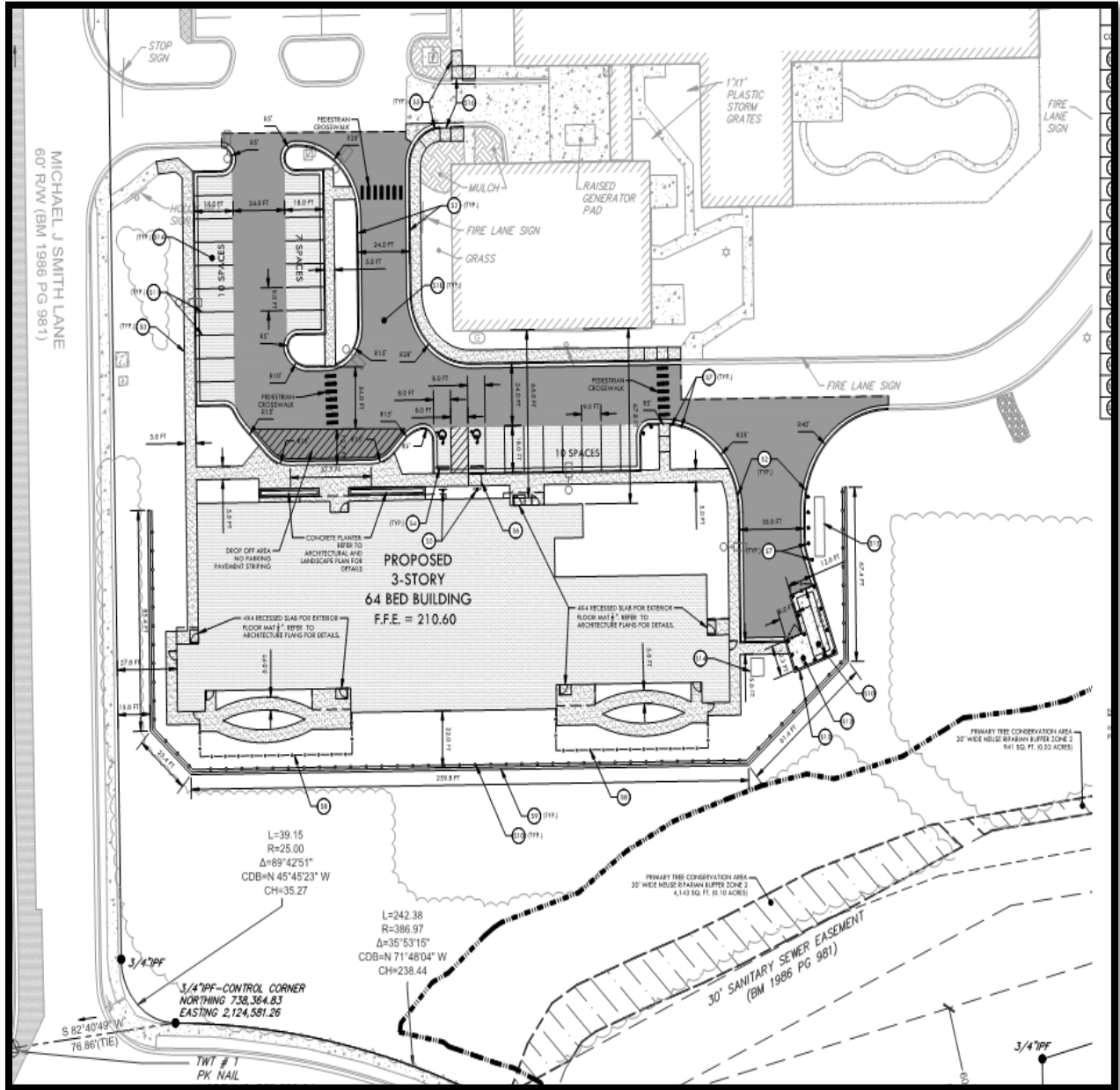
CAC: Southeast

Request: Development of 1.65 acres of an 18.30 acre tract, zoned Office Mixed Use-3-Parking Limited (OX-3-PL) to construct a 45,623 square foot General building type Behavioral Health Hospital. The building is 3 stories and measures, from average existing grade, 49.95 feet tall

Cross-Reference: Administrative Alternate/AAD-4-17, SP-33-13



SR-98-16 Location Map



SR-98-16 Preliminary Site Plan

Code Conformance:		Code Section(s)
Zoning District:	Office Mixed Use-3-Parking Limited (OX-3-PL)	2.1 , 3.1
Overlay District:	N/A	5.1
Parking:	Thirty-two (32) parking spaces required for the sixty-four (64) proposed beds, based on one (1) space per two (2) beds. The site currently has eighty-five (85) existing parking spaces and twenty-seven (27) new proposed parking spaces. Total parking proposed is one hundred and twelve (112) parking spaces. A minimum of four (4) short-term bicycle parking spaces required.	7.1.2
Street Type(s):	Michael J. Smith Lane: Avenue 2-Lane Undivided Carl Sandburg Court: Avenue 2-Lane Undivided Sungate Boulevard: Avenue 2-Lane Undivided	8.4
Streetscape:	Design Adjustment for the street tree requirement(s): A combination of existing and planted trees on private property will be used to meet the street tree requirement along Michael J Smith Lane. Trees are to be retained on private property along Carl Sandburg Court; Street trees will be planted between the back of curb and sidewalk within the right-of-way along Sungate Boulevard and has been approved by the Development Review Manager.	8.5
Setbacks/Frontage:	Parking Limited requires a minimum build-to range of 0' minimum/100' maximum be met for 50% of the lot width and a minimum side street build-to of 0' minimum/100' maximum be met for a minimum 25% building width in side build-to. Building setbacks: primary street building setback 5' minimum, side street building setback 5', side lot line building setback minimum 0' or 6', rear lot line building minimum 0' or 6'	3.4 , 3.2 ,
Neighborhood Transitions:	N/A	3.5
Transitional Protective Yards:	N/A	7.2.4

Stormwater:	This site is subject to UDO Article 9.2 Stormwater Management requirements. A 20.2% impervious area proposed. Nitrogen reduction requirements are being met with a mitigation payment (buydown option). No structural stormwater control devices proposed or required at this time. That the stormwater runoff control is exempt under UDO Sec 9.2.2.E.2.; compliance with the detention requirements would provide no benefit to current and future downstream development.	9.2
Tree Conservation:	The required tree conservation area, totaling 1.857 acres, was recorded with a previously approved plan on this site (SP-33-13), under Book of Maps 2014, Pages 149-151. Primary: 0.477 acres Secondary: 1.38 acres	9.1
Variances, Design Adjustments, Administrative Alternates:	<ul style="list-style-type: none"> • Design Adjustment has been approved for the street tree requirements (see attached) • Administrative Alternate of the Transparency Requirement has been approved (see attached) 	<ul style="list-style-type: none"> • 8.5.1 • 1.5.9.
Other:	Construction drawings are required for the creation of a private sewer main.	

OFFICIAL ACTION: Approval with conditions

CONDITIONS OF APPROVAL:

Prior to issuance of a mass land disturbing permit for the site:

1. That in accordance with Part 10A Section 9.4.4., a surety equal to the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable:

2. That a nitrogen offset payment must be made to a qualifying mitigation bank;

Prior to issuance of building permits:

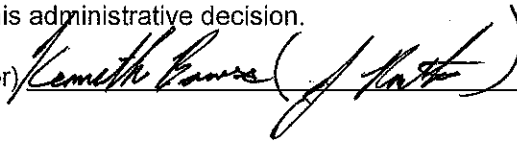
3. That a Tree Impact Permit is obtained;
4. That Infrastructure Construction Plans for the private sewer main are approved by the City of Raleigh;

5. That any required waterline easements for meters being placed outside of the right of way are recorded and a copy of the plat returned to the City of Raleigh;
6. That a fee-in-lieu for 1' of sidewalk be paid for the property's frontage on Carl Sandburg Court, Michael J. Smith Lane and Sungate Boulevard;
7. That in accordance with Part 10A Section 8.1.3, a surety equal to 125% of the cost of development related improvements, including streetscape trees, is paid to the Development Services Department;
8. That building elevations submitted for permitting match the approved administrative alternate drawings.

I hereby certify this administrative decision.

Signed:

(Planning Director)



Date:

5/1/17

Staff Coordinator:

Martha Y Lobo

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS:

City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 3/1/2017, submitted by Will Crunk.

EXPIRATION DATES:

The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 5/1/2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date: 5/1/2021

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.

- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.



Development Services Design Adjustment – Staff Response

Per Section 10.2.18.C of the Unified Development Ordinance, the Development Services Director may consult with the heads of other City departments regarding the review of the request. The Development Services Director may approve, approve with conditions or deny the request, but must do so within 60 days of the receipt of a completed application. Additional time may be necessary if a municipal or state entity is incorporated in the review process or if a detailed engineering study is submitted in conjunction with the request.


PROJECT	Project Name Holly Hill Hospital	Date Completed Application Received: 2/2/2017
	Case Number: SR-98-2016	Transaction Number: 496127

DEPARTMENT RESPONSE/RECOMMENDATION	DEPARTMENT	REPRESENTATIVE SIGNATURE	DEPARTMENT	REPRESENTATIVE SIGNATURE
	<input type="checkbox"/>	Dev. Services Planner:		<input type="checkbox"/>
<input checked="" type="checkbox"/>	Dev. Services Eng.:	<i>Kathryn Beard</i>	<input type="checkbox"/>	Transportation:
<input type="checkbox"/>	Engineering Services:		<input checked="" type="checkbox"/>	Public Works:

This site has three street frontages: Michael J. Smith Lane, Carl Sandburg Court and Sungate Boulevard. Two of the streets, Michael J. Smith Lane and Carl Sandburg Court were NCDOT-maintained at the beginning of the construction of the Holly Hill Hospital. The roadways were improved by NCDOT and are now City-maintained. This site plan for the addition is now to be reviewed under the UDO as follows:
 Michael J. Smith Lane – The prior plan constructed sidewalk along Michael J. Smith Lane. This site plan will require street trees on private property where trees are lacking and the remainder is a C2 streetyard.
 Carl Sandburg Court – trees are to be retained on private property as a C2 streetyard;
 Sungate Boulevard – street trees will be planted between the back of curb and sidewalk within the right-of-way.

Development Services Director or Designee Action:

Approve Approval with Conditions Deny


 Authorized Signature KENNETH W. RITCHIE, PE Date 2/22/2017
 DEVELOPMENT REVIEW MANAGER

*The Development Services Director may authorize a designee to sign in his/her stead. Please print name and title next to signature.

CONDITIONS FOR APPROVAL	
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Appeal of the decision from the Development Services Director shall be made in writing within 30 days to the Board of Adjustment (see Section 10.2.18.C3b).



Planning and Development Director Action


Administrative Alternate Findings:

UDO Section 1.5.9 Transparency

The Planning and Development Officer may in accordance with Sec. 10.2.17. reduce the required transparency, subject to all of the following findings:

1. The approved alternate meets the intent of the transparency requirements
Staff Response: Per the condition recommended by the Appearance Commission and attached elevation, Exhibit A7.1, and attached rendering, Exhibit A0.1, the approved alternate would lend visual interest to the building façade and minimize blank wall area for the building wall facing Sungate Boulevard.
 2. The approved alternate conforms with the Comprehensive Plan and adopted City plans
Staff Response: Per the condition recommended by the Appearance Commission and attached exhibits, the approved alternate will conform to Comprehensive Plan policies that relate to transparency, including LU 5.1, UD 1.2, UD 1.3 and UD 5.1. The building wall materials and design will be similar to those of the existing building on the site.
 3. The street-facing building facade utilizes other architectural treatments to create visual interest to offset the reduction in transparency.
Staff Response: Per the condition recommended by the Appearance Commission and attached exhibits, the proposed building will provide other architectural treatments to create visual interest and offset the reduction in transparency.
-

Decision: The Planning and Development Director finds that the requested alternate generally meets the findings enumerated in the Unified Development Ordinance:



Signature

3-21-17

Date