

AMBER SPRING SR-80-2016



0 300 600 1,200 Feet

Zoning: **CX-3-PK**
CAC: **Northeast**
Drainage Basin: **Beaverdam Creek**
Acreage: **2.29**
Sq. Ft.: **52,264**

Planner: **Michael Walters**
Phone: **(919) 996-2636**
Applicant: **Amber Spring
Housing Associates**
Phone: **(919) 848-2041**





Administrative Approval Action

SR-80-16 / Amber Spring
Transaction# 488675, AA# 3674

City of Raleigh
Development Services
One Exchange Plaza
Raleigh, NC 27601
(919) 996-2626
DS.help@raleighnc.gov
www.raleighnc.gov

REQUEST: Development of a 2.29 acre site (consisting of one parcel) zoned CX-3-PK into a 3 story, 52,268 square foot apartment building containing 42 dwelling units.

LOCATION: 5000 Spring Forest Road - This site consists of one parcel on the south side of Spring Forest Road, west of the intersection of Spring Forest Road and Louisburg Road and is inside of the city limits.

**DESIGN
ADJUSTMENTS/
ALTERNATES,
ETC:**

A Hardship Variance (A-54-17) was approved by the Board of Adjustment for this site granting a 10' variance to the required 2' finish floor elevation of CX.

An Administrative Alternate was approved by the Planning Director for this project extending the 10'-55 Build To area allowing the façade of the building 85' from the right of way, also, allowing building façade in addition with amenity area to make up the required 70% build to percentage of the lot width.

A Design Adjustment was approved waiving the block perimeter requirement and allowing a variation on the street frontage cross section.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 8/18/2017 submitted by Timmons Group Inc.

CONDITIONS OF APPROVAL AND NEXT STEPS:

Prior to issuance of a land disturbing permit for the site:

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to the issuance of any site permits or approval of concurrent review process, whichever is applicable;

2. That a 10' public access easement is to be shown on the plan in conjunction with the 5' pedestrian path;
3. That a final tree conservation plan with permit be approved by the Forestry Specialist. The plan must show metes and bounds descriptions of all tree conservation areas, and tree protection fence around all tree conservation areas.
4. That a stormwater control plan with a stormwater operations and maintenance manual and budget must be approved by the Stormwater Engineer in compliance with Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes, and the total costs of the stormwater control measures and those amounts equal to 24% and 125% respectively, prior to grading or the approval of construction drawings whichever event comes first;



Administrative Approval Action

SR-80-16 / Amber Spring
Transaction# 488675, AA# 3674

City of Raleigh
Development Services
One Exchange Plaza
Raleigh, NC 27601
(919) 996-2626
DS.help@raleighnc.gov
www.raleighnc.gov

5. That a nitrogen offset payment must be made to a qualifying mitigation bank;

Prior to issuance of building permits:

6. That ½ of the required 104' of right-of-way for Spring Forest Road must be dedicated to the City of Raleigh and a copy of the recorded map be provided to the City;
7. That all stormwater control measures and means of transporting stormwater runoff to and from any nitrogen and stormwater runoff control measures shall be shown on all plats and recorded as private drainage easements;
8. That a tree conservation map be recorded with metes and bounds showing the designated Tree Conservation Areas in compliance with Chapter 9 of the Unified Development Ordinance;
9. That a driveway permit and encroachment agreement from the North Carolina Department of Transportation is to be provided;
10. That a 5' public pedestrian cross access easement running from north to south and a 10' public pedestrian cross access easement running from east to west is shown on all maps for recording to accommodate a 5' ADA-accessible pedestrian path within them as shown on the preliminary plan, and a copy of the recorded map be provided to the City;
11. That a cross access agreement among the proposed lot owned by AMBER SPRING HOUSING ASSOCIATES, LLC, NORWOOD, HUBERT L NORWOOD, SHIRLEY D, and SPRINGHILL SHOPPING LLC lot is approved by the Development Services Department for recording in the Wake County Registry, and that a copy of the recorded cross access easement be returned to the City within 1 day of recording;
12. That in accordance with UDO Section 8.1.3, a surety equal to incomplete public improvements as 125% of construction costs for City improvements and 100% of construction costs for NCDOT improvements is paid to the Development Services Department, Development Engineering Division;
13. That in accordance with UDO Section 9.2.2, a surety equal to 125% of the cost of construction of a stormwater device must be paid to the City;
14. That the developer must pay the City a stormwater facility replacement fund payment equal to 24% of the estimated cost of constructing all stormwater control facilities;
15. That right-of-way obstruction permits must be obtained for any construction activity within the right-of-way;

Prior to issuance of building occupancy permit:

16. That all street lights and street signs that are required as part of the development approval, and for public safety, shall be coordinated with the proper authority and installed;
17. That in accordance with UDO Section 9.2.2, an as-built plan and certification for any stormwater control device shall be reviewed and accepted by the City.



Administrative Approval Action

SR-80-16 / Amber Spring
Transaction# 488675, AA# 3674

City of Raleigh
Development Services
One Exchange Plaza
Raleigh, NC 27601
(919) 996-2626
DS.help@raleighnc.gov
www.raleighnc.gov

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. To avoid allowing this plan approval to expire, the following must take place by the following dates:

3-Year Expiration Date: 9-13-2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Planning Dir.) Kenneth Bonness Date: 9/13/2017
(RB)

Staff Coordinator: Michael Walters

PRELIMINARY SITE PLAN REVIEW AMBER SPRING - A SENIOR LIVING COMMUNITY

SR-80-16 TRANSACTION # 488675

5000 SPRING FOREST ROAD (SR 2041)
RALEIGH, NORTH CAROLINA 27616
WAKE COUNTY

ARCHITECT:
MAURER ARCHITECTURE
119 E HARGETT STREET
RALEIGH, NC 27601
PH. (919) 829-4969
FAX (919) 829-0860
BECKY@MAURERARCHITECTURE.COM

OWNER/DEVELOPER:
AMBER SPRING
HOUSING ASSOCIATES, LLC
7706 SIX FORKS ROAD
RALEIGH, NC 27615
PH. (919) 848-2041
FAX (919) 848-0455
TIM@SPECTRUM-EVERGREEN.COM

CIVIL ENGINEER:
TIMMONS GROUP
RICK BAKER, P.E.
5410 TRINITY ROAD; SUITE 102
RALEIGH, NC 27607
PH: (919) 866-4939
RICK.BAKER@TIMMONS.COM

SITE PLAN SUMMARY

PROJECT: AMBER SPRING - A SENIOR LIVING COMMUNITY
OWNER: AMBER SPRING HOUSING ASSOCIATES, LLC
PROJECT ADDRESS: 5000 SPRING FOREST RD. RALEIGH, NC 27616
PIN #: 1736 06 8507
DEED: DB 4325 PG 3
ZONING: CX-3-PK
EXISTING USE: VACANT
PROPOSED USE: SENIOR HOUSING
FLOOD ZONE: NOT LOCATED IN FLOOD HAZARDS AREA PER FEMA MAP #3720173600J (05-02-2006)

TOTAL EXISTING TRACT AREA: 2.29 ACRES
TRANSACTION NUMBER: 488675 (SR-80-16)

UNITS:
21 ONE BEDROOM APARTMENTS
21 TWO BEDROOM APARTMENTS

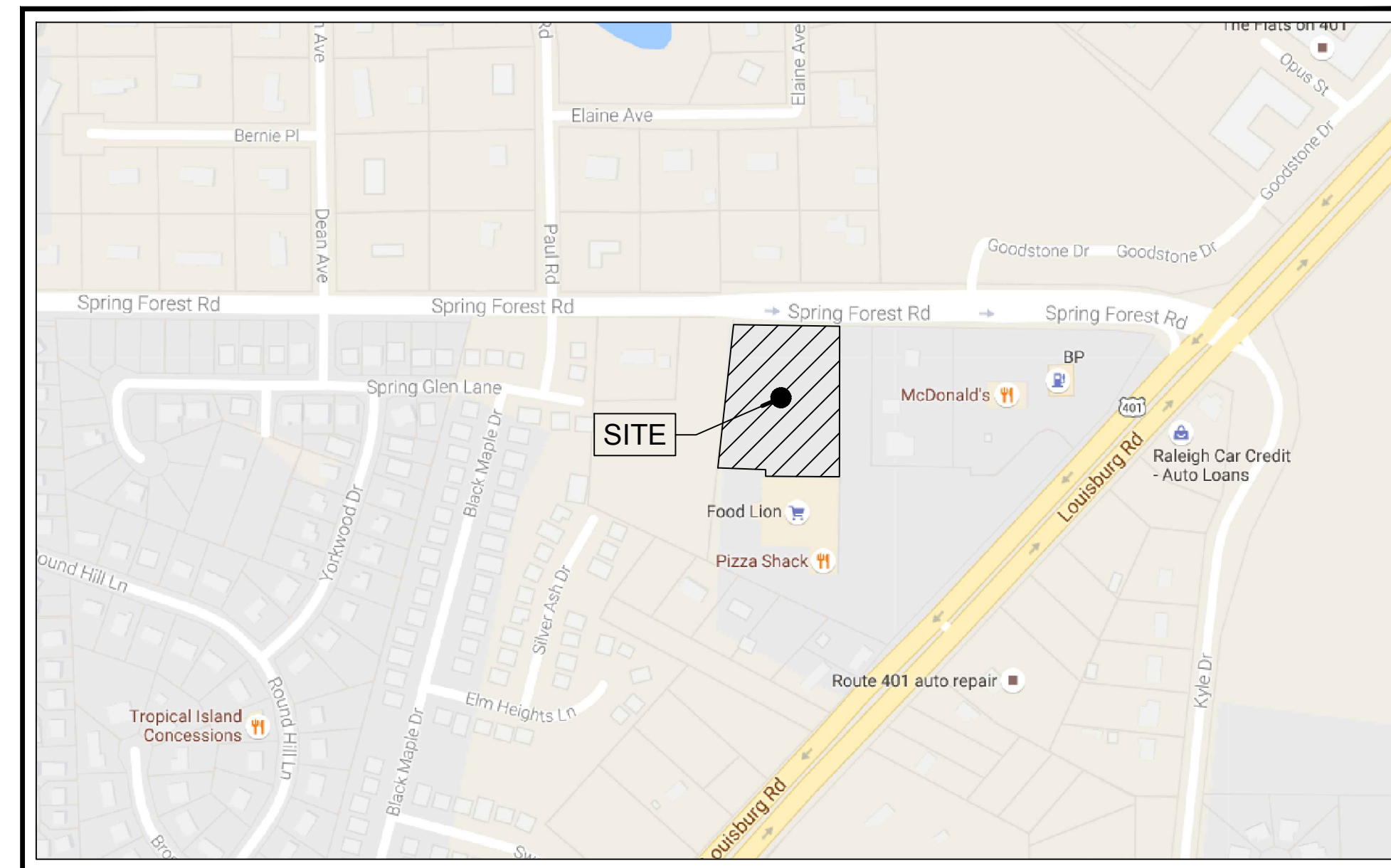
VEHICLE PARKING SUMMARY:
REQ'D (46 SPACES) : 42 SPACES + 4 SPACES = 46 SPACES REQ'D
PER U.D.O. SEC. 7.1.4.C

40 SPACES ON SITE + 13 OFF SITE AGREEMENT
OFFSITE AGREEMENT (BK 5097; PG 815) WITH
SPRINGHILL SHOPPING CENTER PIN #1736-16-0212
ADA: 3 REQ'D; 8 PROV'D W/ 2 VAN ACCESSIBLE

PROV'D (53 SPACES):
1 SPACE/20 UNITS WITH (4) MIN. (SEC 7.1.2C)
42 UNITS/20 = 2 SPACES (USE 4 SPACE MIN)
4 SPACES
9,975 SF REQ'D AND 10,130 SF PROV'D

AMENITY AREA:

APPROVED HARDSHIP VARIANCE (CASE NUMBER A-54-17)



VICINITY MAP
NTS

Sheet Number	Sheet Title
C0.0	COVER SHEET
C1.0	EXISTING CONDITIONS
C2.0	SITE LAYOUT PLAN
C2.1	FIRE TRUCK ACCESS PLAN
C2.2	WASTE SERVICES ACCESS PLAN
C3.0	GRADING AND DRAINAGE PLAN
C3.1	SPRING FOREST ROAD STORMWATER PLAN
C5.0	UTILITY PLAN
C6.0	LANDSCAPE PLAN
TCA1.0	TREE CONSERVATION AREA PLAN
C7.0	DETAILS
C7.1	DETAILS
C7.2	DETAILS
C7.3	DETAILS
A1.1	ARCHITECTURAL FLOOR PLAN
A2.1	ARCHITECTURAL ELEVATIONS

Administrative Site Review Application (for UDO Districts only)

Development Services Center 11500 Peachtree Dunwoody Rd., Suite 100, Atlanta, GA 30328
 Planning and Zoning Department 100 North Salisbury Street, Raleigh, NC 27601

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE: Residential - Single-Family Detached

FOR OFFICE USE ONLY: Transaction Number, Assigned Project Coordinator, Assigned Team Leader

GENERAL INFORMATION: Development Name: AMBER SPRING, Building Details: CX-3-PK, Proposed Use: APARTMENTS, Project Address: 5000 SPRING FOREST ROAD, Water Control Property Identification Number: [blank]

FOR RESIDENTIAL DEVELOPMENTS: 1. Total of Apartment, Condominium or Residential Units: 42, 2. Total of Single-Family Detached Units: N/A, 3. Total Number of Rental Units: N/A, 4. Overall Total of Building Units: 42

SIGNATURE BLOCK (Applicable to all developments): Signature: Rick Baker, Title: P.E., Date: 9/14/16

FOR REVIEW ONLY

THIS DRAWING PREPARED AT THE RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.4951 FAX 919.833.8324 www.timmons.com

REVISION DESCRIPTION	DATE
CITY OF RALEIGH 1ST REVIEW COMMENTS	12/17/2015
CITY OF RALEIGH 2ND REVIEW COMMENTS	05/17/2017
CITY OF RALEIGH 3RD REVIEW COMMENTS	06/18/2017
CITY OF RALEIGH 3RD REVIEW COMMENTS	08/18/2017

YOUR VISION ACHIEVED THROUGH OURS.
DATE: 09/14/16
DRAWN BY: P. BARBEAU

DESIGNED BY: P. BARBEAU
CHECKED BY: R. BAKER
SCALE: PER PLAN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

AMBER SPRING - A SENIOR LIVING COMMUNITY
RALEIGH, NORTH CAROLINA
COVER SHEET

JOB NO. 36311
SHEET NO. C0.0

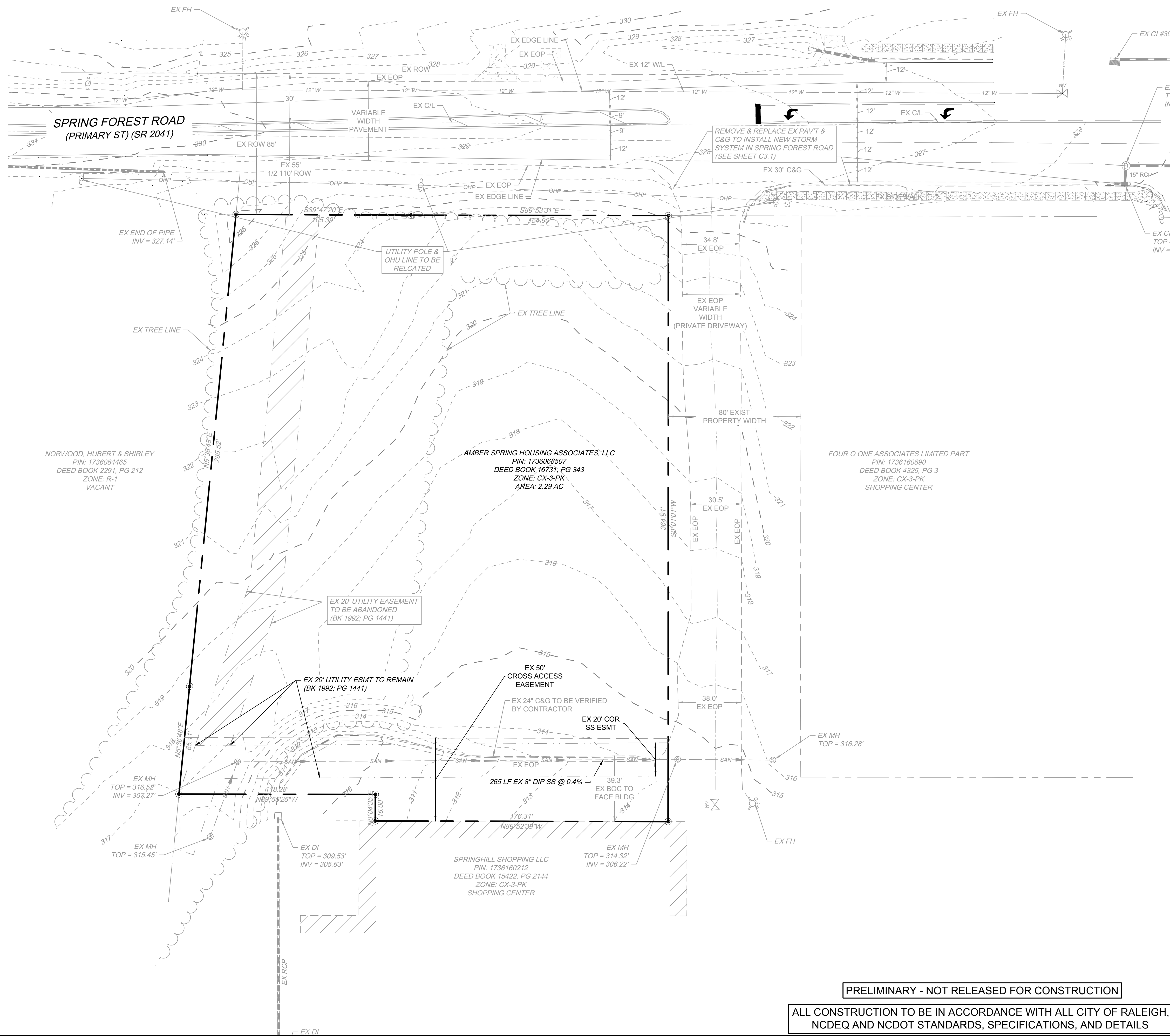
R:\102A_36311-Amber_Spring_DWG\Sheet\SITE PLAN\36311-C0-CO-COVR.dwg | Plotted on 8/18/2017 2:49 PM | by Robert Wingate



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION
ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

R:\102\36311-Amber_Spring\DWG\Sheet\Site_Plan\36311-C10-EXIS.dwg | Plotted on 8/18/2017 2:49 PM | by Robert Wingate



SURVEY NOTES

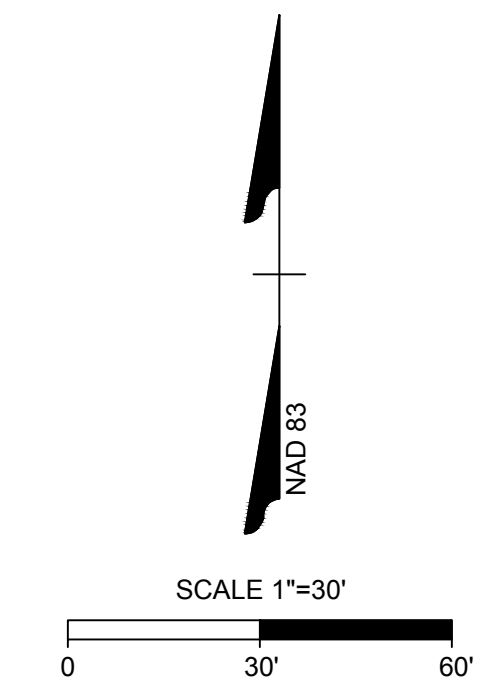
- ON SITE BOUNDARY, TOPOGRAPHY AND PLANIMETRIC INFORMATION IS TAKEN FROM A SURVEY BY ATKINSON LAND SURVEYING DATED JULY 25, 2016. OFFSITE TOPOGRAPHY AND PLANIMETRIC INFORMATION FROM OTHER SOURCES AND HAS NOT BEEN FIELD VERIFIED BY TIMMONS GROUP.
- ALL DISTANCES SHOWN ON SURVEY ARE HORIZONTAL GROUND DISTANCES UNLESS OTHERWISE NOTED.
- THIS SURVEY DOES NOT REPRESENT A TITLE SEARCH.
- BASIS OF BEARING SHOWN HEREON IS NC GRID NAD 83 (NSRS 2007).
- VERTICAL DATUM SHOWN HEREON IS NAVD88.
- OTHER SOURCES OF INFORMATION INCLUDE WAKE COUNTY GIS AND AERIAL IMAGERY.
- NOT LOCATED IN FLOOD HAZARD AREA PER FEMA MAP #3720173600J (05-02-2006)
- RECORDED PROPERTY DATA:
8.1. BOOK OF MAPS 1992, PAGE 1441
8.2. DEED BOOK 4325, PAGE(S) 0003
- EXISTING IMPERVIOUS AREA = 0.00 ACRES

EXISTING CONDITIONS NOTES

- ALL UTILITIES OR STRUCTURES NOT INDICATED FOR REMOVAL OR MODIFICATION ARE TO REMAIN AND BE PROTECTED FROM DAMAGE.
- ALL WASTE MATERIAL GENERATED FROM CLEARING AND DEMOLITION ACTIVITIES SHALL BE DISPOSED OF OFF-SITE IN ACCORDANCE WITH ALL APPLICABLE RULES AND REGULATIONS.
- REMOVE TOPSOIL AND STOCKPILE APPROPRIATELY ON-SITE. ON-SITE TEMPORARY STOCKPILES SHALL BE LOCATED WITHIN CONSTRUCTION LIMITS.
- ALL PAVEMENT OR CONCRETE TO BE REMOVED SHALL BE SAW CUT TO PROVIDE A STRAIGHT AND UNIFORM JOINT WITH NEW CONSTRUCTION. ANY EXISTING PAVEMENT, SIDEWALK, CURB & GUTTER, ETC. THAT MUST BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED TO ALLOW NEW CONSTRUCTION SHALL BE REMOVED AND REPAIRED PER THE SPECIFICATIONS AND DETAILS OR TO MATCH EXISTING CONDITIONS (WETHER OR NOT SHOWN ON THE DRAWINGS TO BE REMOVED). UTILITY INSTALLATIONS MAY UTILIZE OPEN CUT OF PAVEMENTS UNLESS INDICATED OTHERWISE. TRENCH IN EXISTING ASPHALT SHALL BE PATCHED PER PAVEMENT REPAIR DETAIL.
- PROTECT ALL ADJACENT PROPERTIES, THE GENERAL PUBLIC AND ALL OF THE OWNER'S FACILITIES. SHOULD DAMAGE OCCUR, NOTIFY ARCHITECT IMMEDIATELY.
- THE CONTRACTOR SHALL USE NC ONE CALL (811) TO LOCATE ALL UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR REMOVING OR ABANDONING ALL EXISTING UTILITIES AND STRUCTURES REQUIRED TO COMPLETE SITE CONSTRUCTION, EITHER ONSITE OR IN PUBLIC ROW, IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS.
- ANY EXISTING UNIDENTIFIED SEPTIC SYSTEMS AND WELLS FOUND ON SITE SHALL BE REMOVED OR ABANDONED IN ACCORDANCE WITH LOCAL, STATE AND FEDERAL REGULATIONS AT NO CHARGE TO THE OWNER
- VERIFY ALL ILLUSTRATED KNOWN UNDERGROUND ELEMENTS. EXERCISE REASONABLE EFFORTS TO PROTECT ANY UNKNOWN UNDERGROUND ELEMENTS. NOTIFY THE ARCHITECT IMMEDIATELY IF UNKNOWN ELEMENTS ARE DISCOVERED THAT WOULD NECESSITATE MODIFICATION TO THE PROPOSED DESIGN.
- CONTRACTOR SHALL COORDINATE ALL CONNECTIONS, RELOCATION AND DEMOLITION WORK WITH THE APPROPRIATE COMPANY OR JURISDICTION HAVING AUTHORITY AND SHALL OBTAIN ANY PERMITS AS REQUIRED.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH APPLICABLE LOCAL, STATE AND OSHA REGULATIONS.
- EXISTING MANHOLES, VALVE BOXES, VAULTS, CLEANOUTS, UTILITY POLES ETC. TO REMAIN WITHIN THE GRADING LIMITS SHALL BE ADJUSTED AS NEEDED TO FUNCTION PROPERLY WITH THE PROPOSED FINISHED GRADES (WETHER OR NOT INDICATED TO BE MODIFIED).
- GENERAL CONTRACTOR TO COORDINATE ALL PEDESTRIAN ACCESS PATHS, LOCATIONS, LIGHTING ETC. WITH THE OWNER.

EXISTING CONDITIONS LEGEND

PROPERTY BOUNDARY	---
ADJACENT PROPERTY	- - -
EXISTING TREE LINE	~ ~ ~
EXISTING SANITARY SEWER	SAN
EXISTING SANITARY MH	⊙
EXISTING STORM SEWER	---
EXISTING EASEMENT	---
EXISTING CENTERLINE	---
EXISTING O/H POWER	OHP
EXISTING POWER POLE	⊕
EXISTING FIRE HYDRANT	⊕
EXISTING WATER VALVE	⊕



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

THIS DRAWING PREPARED AT THE RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9551 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
CITY OF RALEIGH 1ST REVIEW COMMENTS	12/21/2016
CITY OF RALEIGH 2ND REVIEW COMMENTS	05/10/2017
CITY OF RALEIGH 3RD REVIEW COMMENTS	06/28/2017
CITY OF RALEIGH 3RD REVIEW COMMENTS	08/18/2017

DATE 09/14/16
DRAWN BY P. BARBEAU
DESIGNED BY P. BARBEAU
CHECKED BY R. BAKER
SCALE PER PLAN

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

AMBER SPRING- A SENIOR LIVING COMMUNITY
RALEIGH, NORTH CAROLINA

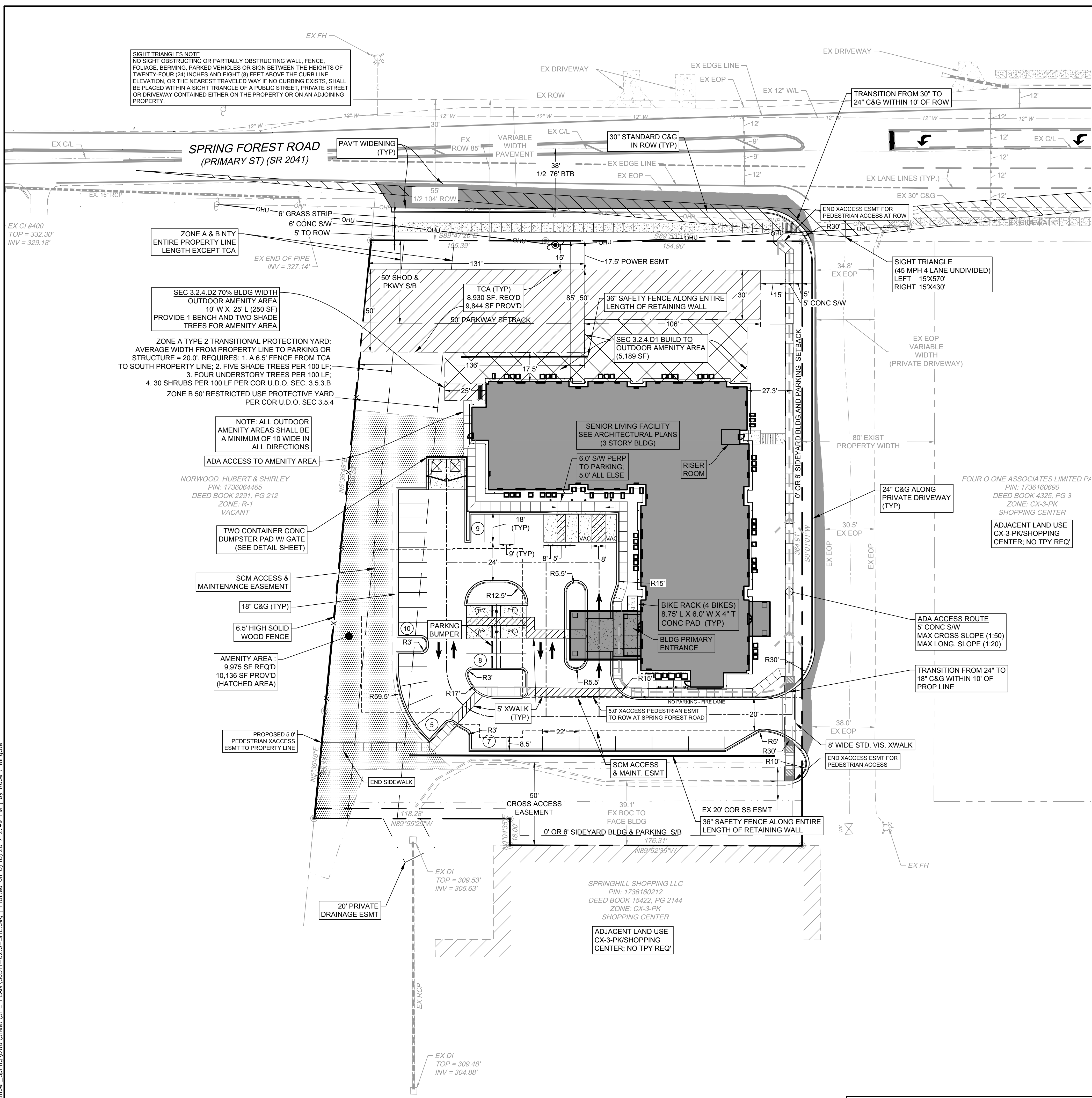
EXISTING CONDITIONS

JOB NO. 36311
SHEET NO. C1.0

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

FOR REVIEW ONLY

SIGHT TRIANGLES NOTE
NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.



SITE LAYOUT NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
2. ALL DIMENSIONS ARE TO FACE OF CURB, EDGE OF PAVING, BUILDING WALL FACE OR PROPERTY LINE.
3. CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS, UTILITIES AND GRADES PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY EXISTING DISCREPANCIES PRIOR TO COMMENCING ANY RELATED CONSTRUCTION.
4. AT LEAST 72 HOURS PRIOR TO CONSTRUCTION OR EXCAVATION THE CONTRACTOR SHALL NOTIFY "NORTH CAROLINA ONE CALL" (811) OR (1-800-632-4949) TO HAVE EXISTING UTILITIES LOCATED.
5. PARKING SPACES ARE 9.0' WIDE X 18' LONG MINIMUM EXCEPT HANDICAP SPACES WHICH ARE 8.0' WIDE MINIMUM WITH 8.0' VAN ACCESS AND 5.0' STANDARD ACCESS AISLES.
6. REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS OF THE BUILDING.
7. CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY DIMENSIONAL CONFLICTS PRIOR TO THE BEGINNING OF CONSTRUCTION.
8. ALL CURB AND GUTTER ONSITE SHALL BE 18" WIDE. ALL CURB AND GUTTER IN THE PUBLIC RIGHT OF WAY SHALL BE 30" WIDE.
9. TRANSITION FROM 30" TO 18" CURB AND GUTTER IS TO OCCUR ON-SITE. THIS TRANSITION SHALL BE 10' LONG IMMEDIATELY ADJACENT TO PUBLIC RIGHT OF WAY.
10. ALL DISTURBED CURB & GUTTER AND ASPHALT SHALL BE REPLACED PER CITY OF RALEIGH OR NCDOT STANDARDS AND SPECIFICATIONS.
11. ALL DRIVEWAY DESIGN AND CONSTRUCTION MUST COMPLY WITH THE RALEIGH STREET DESIGN MANUAL. DRIVEWAYS SHALL BE PERMITTED SEPARATELY.
12. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE, FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.

TRANSPORTATION CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH AND/OR NCDOT STANDARDS.
2. THE CONTRACTOR SHALL CONDUCT THE WORK IN A SAFE MANNER AND WITH A MINIMUM AMOUNT OF INCONVENIENCE TO TRAFFIC.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL TRAFFIC CONTROL AND SHALL ADHERE TO THE PROVISIONS OF THE MUTCH (MOST CURRENT EDITION).
4. PRIOR TO START OF WORK, A PRE-CONSTRUCTION MEETING MUST BE SET UP WITH THE CONTRACTOR AND CITY OF RALEIGH TRANSPORTATION FIELD SERVICES STAFF. CONTACT ENGINEERING INSPECTIONS AT 919-996-2409 TO SET UP THE MEETING.
5. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY OBSTRUCTION PERMIT FOR ANY WORK WHICH REQUIRES THE TEMPORARY CLOSURE OF A STREET, TRAVEL LANE, PARKING SPACE OR SIDEWALK FROM RIGHT-OF-WAY SERVICES AT LEAST 48 HOURS IN ADVANCE.
6. ANY TEMPORARY STREET CLOSURE MUST BE SUBMITTED A MINIMUM OF 2 WEEKS PRIOR TO START OF WORK. SEE "RIGHT-OF-WAY CLOSURES" ON WWW.RALEIGHNC.GOV. COMPLETE AND SEND THE RIGHT-OF-WAY OBSTRUCTION PERMIT TO RIGHTOFWAYSERVICES@RALEIGHNC.GOV.
7. ANY CONTRACTOR OR PROJECT MANAGER THAT IS WORKING ON A CITY PROJECT SHALL SUBMIT A NOTIFICATION TO THE RW OBSTRUCTION APPLICATION FOR EMERGENCY/MAINTENANCE WORK PRIOR TO THE START OF WORK.
8. PRIOR TO CONSTRUCTION BEGINNING, ALL SIGNAGE AND TRAFFIC CONTROL SHALL BE IN PLACE.
9. THE CONTRACTOR SHALL REPAIR ALL DAMAGED INFRASTRUCTURE IN THE RIGHT-OF-WAY AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
10. THE CONTRACTOR SHALL REPAIR ANY DAMAGES TO ADJACENT PROPERTIES AND RESTORE IT TO PREVIOUS OR BETTER CONDITION.
11. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE VISUALLY IMPAIRED AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PROWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

THIS DRAWING PREPARED AT THE RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9551 FAX 919.833.8124 www.timmons.com

REVISION DESCRIPTION	DATE
CITY OF RALEIGH 1ST REVIEW COMMENTS	12/17/2015
CITY OF RALEIGH 2ND REVIEW COMMENTS	05/17/2017
CITY OF RALEIGH 3RD REVIEW COMMENTS	06/18/2017
CITY OF RALEIGH 3RD REVIEW COMMENTS	08/18/2017

YOUR VISION ACHIEVED THROUGH OURS.
DATE 09/14/16
DRAWN BY P. BARBEAU
DESIGNED BY P. BARBEAU
CHECKED BY R. BAKER
SCALE PER PLAN

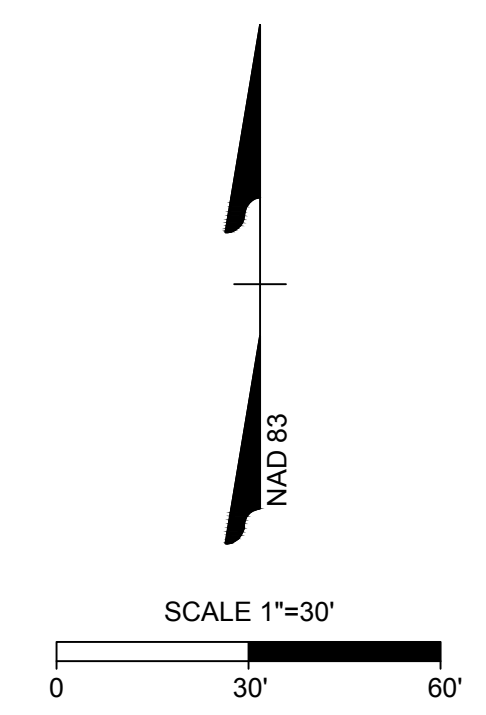
TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

AMBER SPRING- A SENIOR LIVING COMMUNITY
RALEIGH, NORTH CAROLINA

SITE LAYOUT PLAN

JOB NO. 36311
SHEET NO. C2.0

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

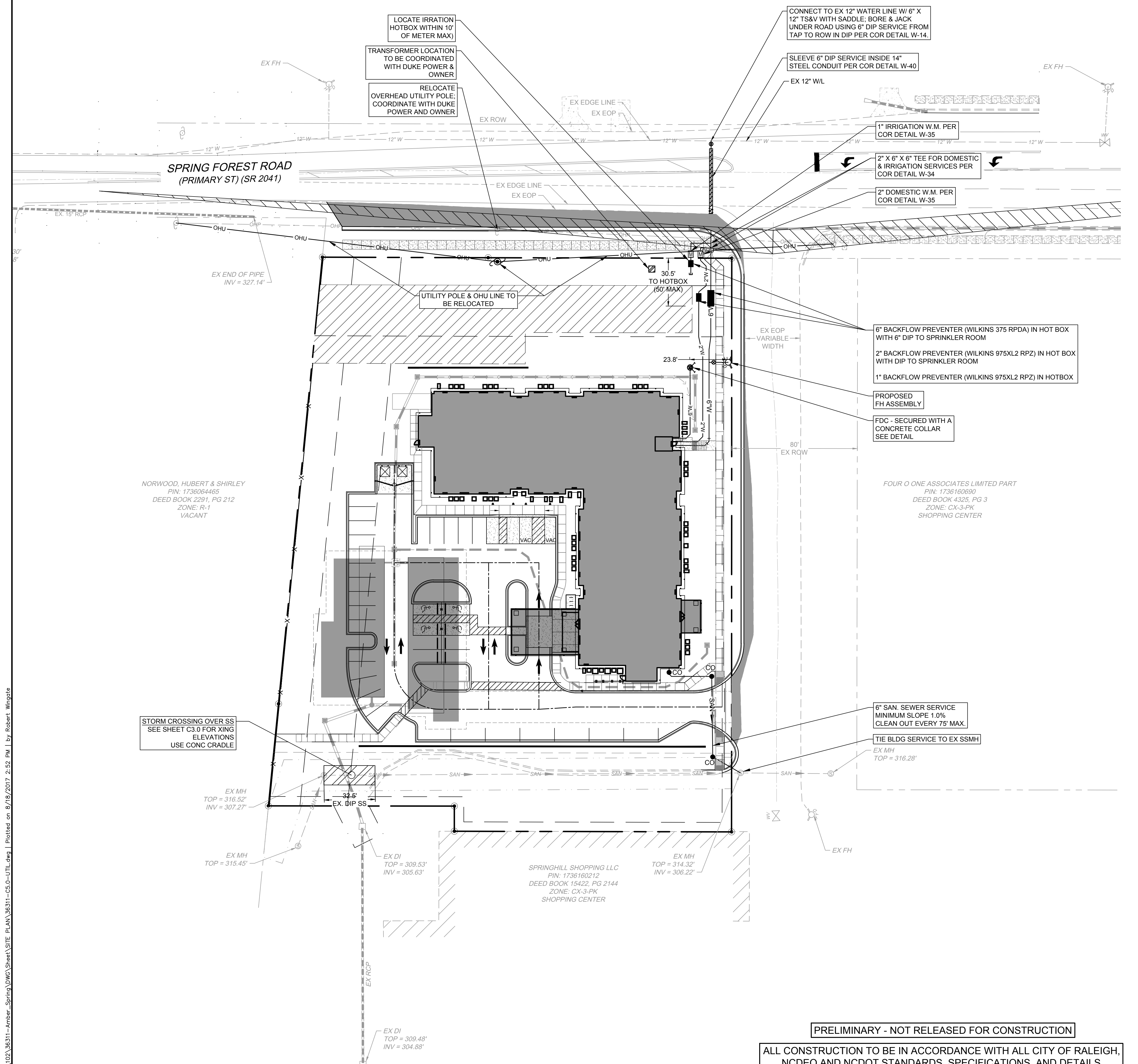


PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

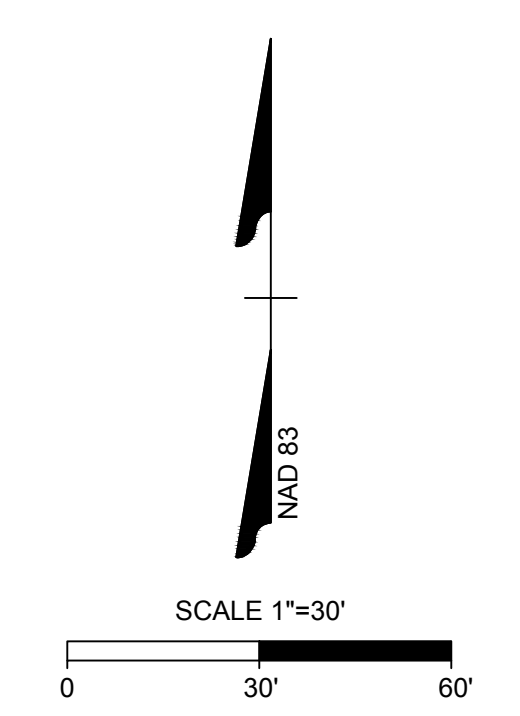
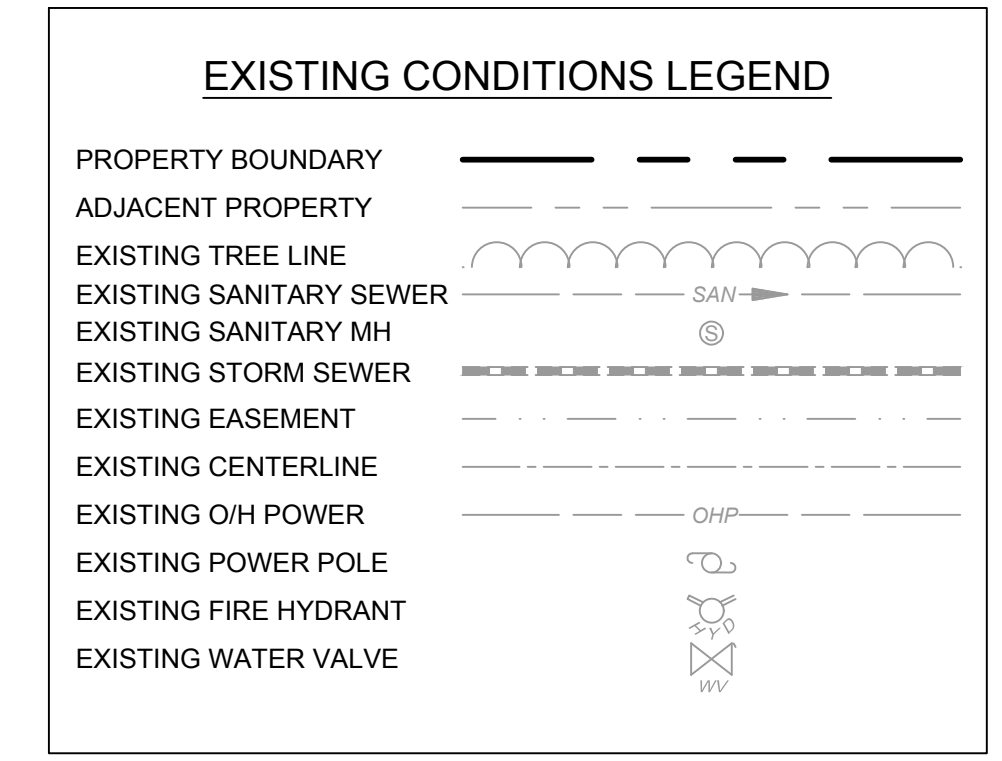
R:\102_36311-Amber_Spring\DWG\Sheet\SITE PLAN\36311-C2.0-SITE.dwg | Plotted on 8/18/2017 2:49 PM | by Robert Wingate

FOR REVIEW ONLY



UTILITY NOTES

- CONTRACTOR SHALL HAVE NORTH CAROLINA ONE CALL (811) LOCATE ALL EXISTING UTILITIES PRIOR TO BEGINNING CONSTRUCTION.
- ALL UNDERGROUND FEATURES INDICATED ON THE PLANS SHOULD BE CONSIDERED APPROXIMATE IN LOCATION AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO CONSTRUCTION. NOTIFY THE DESIGN ENGINEER IMMEDIATELY IF ANY CONFLICTS OR DISCREPANCIES ARE NOTED.
- CONTRACTOR SHALL COORDINATE THE LOCATION OR RELOCATION OF ALL OVERHEAD AND UNDERGROUND COMMUNICATION LINES, ELECTRIC AND GAS SERVICE WITH THE APPROPRIATE UTILITY COMPANY AND/OR THE CITY PRIOR TO BEGINNING CONSTRUCTION. CONTRACTOR SHALL PROVIDE CONDUITS AS REQUIRED FOR THESE UTILITIES UNDER PAVED AREAS.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF RALEIGH AND THE STATE OF NORTH CAROLINA STANDARDS AND SPECIFICATIONS.
- CURB STOPS ARE REQUIRED AND SHALL BE LOCATED 1 FOOT FROM THE METER BOX. CURB STOPS SHALL BE INSTALLED IN A CURB STOP BOX AS MANUFACTURED BY FORD, A.Y. MCDONALD, OR TRUMBULL.
- SERVICE SADDLES SHALL BE ALL BRONZE WITH DOUBLE BRONZE STRAPS WITH A NEOPRENE "O" RING GASKET ATTACHED TO THE BODY.
- ALL WATER METERS SHALL BE PROVIDED AND INSTALLED BY THE CITY OF RALEIGH PUBLIC UTILITIES DEPARTMENT METERS DIVISION.
- METERS WILL BE THE SAME SIZE IN DIAMETER AS THE SERVICE.
- A 3' CLEAR SPACE SHALL BE MAINTAINED AROUND ALL WATER METERS.
- ALL 8" SANITARY SEWER SERVICES CONNECTIONS SHALL BE MADE INTO MANHOLES ONLY.
- UTILITY TRENCHES SHALL BE CUT AND PAVEMENT REPAIRED TO CITY OF RALEIGH STANDARDS.
- ALL DISTURBED HARDSCAPE AND LANDSCAPING (CONCRETE, ASPHALT, BRICK, TREES, SHRUBS, ETC) SHALL BE REPLACED ACCORDING TO CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- ALL OVERHEAD UTILITY LINES SHALL BE ADJUSTED TO MAINTAIN ACCEPTABLE CLEARANCES FOR FIRE APPARATUS, CONSTRUCTION EQUIPMENT, AND VEHICULAR ACCESS.



PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

NORWOOD, HUBERT & SHIRLEY
PIN: 1736064465
DEED BOOK 2291, PG 212
ZONE: R-1
VACANT

FOUR O ONE ASSOCIATES LIMITED PART
PIN: 1736160690
DEED BOOK 4325, PG 3
ZONE: CX-3-PK
SHOPPING CENTER

SPRINGHILL SHOPPING LLC
PIN: 1736160212
DEED BOOK 15422, PG 2144
ZONE: CX-3-PK
SHOPPING CENTER

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
5410 Trinity Road, Suite 102 | Raleigh, NC 27607
TEL 919.866.9551 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
CITY OF RALEIGH 1ST REVIEW COMMENTS	12/21/2016
CITY OF RALEIGH 2ND REVIEW COMMENTS	05/10/2017
CITY OF RALEIGH 3RD REVIEW COMMENTS	06/28/2017
CITY OF RALEIGH 3RD REVIEW COMMENTS	08/18/2017

TIMMONS GROUP
NORTH CAROLINA LICENSE NO. C-1652

AMBER SPRING - A SENIOR LIVING COMMUNITY
RALEIGH, NORTH CAROLINA

UTILITY PLAN

JOB NO.
36311

SHEET NO.
C5.0

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction, without the express written consent of TIMMONS GROUP.

FOR REVIEW ONLY

THIS DRAWING PREPARED AT THE
RALEIGH OFFICE
 5410 Trinity Road, Suite 102, Raleigh, NC 27607
 TEL 919.866.4951 FAX 919.833.8124 www.timmons.com

YOUR VISION ACHIEVED THROUGH OURS.

REVISION DESCRIPTION	DATE
CITY OF RALEIGH 1ST REVIEW COMMENTS	12/21/2016
CITY OF RALEIGH 2ND REVIEW COMMENTS	05/10/2017
CITY OF RALEIGH 3RD REVIEW COMMENTS	06/28/2017
CITY OF RALEIGH 3RD REVIEW COMMENTS	08/18/2017

DATE
 09/14/16

DRAWN BY
 P. BARBEAU

DESIGNED BY
 P. BARBEAU

CHECKED BY
 R. BAKER

SCALE
 PER PLAN

TIMMONS GROUP

NORTH CAROLINA LICENSE NO. C-1652

AMBER SPRING- A SENIOR LIVING COMMUNITY

RALEIGH, NORTH CAROLINA

LANDSCAPE PLAN

JOB NO.
 36311

SHEET NO.
 C6.0

These plans and associated documents are the exclusive property of TIMMONS GROUP and may not be reproduced in whole or in part and shall not be used for any purpose whatsoever, inclusive, but not limited to construction, bidding, and/or construction staking without the express written consent of TIMMONS GROUP.

GENERAL NOTES

PRE-CONSTRUCTION

- PRIOR TO THE COMMENCEMENT OF ANY ACTIVITIES REQUIRING A BUILDING OR ZONING PERMIT AN ON-SITE PRE CONSTRUCTION CONFERENCE SHALL TAKE PLACE WITH THE DEVELOPER AND THE ADMINISTRATOR TO REVIEW PROCEDURES FOR THE PROTECTION AND MANAGEMENT OF ALL LANDSCAPE ELEMENTS THAT ARE TO REMAIN AS IDENTIFIED ON THE LANDSCAPE PLAN.
- CALL 811 FOR LOCATION OF ALL UTILITY LINES. TREES SHALL BE LOCATED A MINIMUM OF 5 FEET FROM SEWER/WATER CONNECTIONS. NOTIFY LANDSCAPE ARCHITECT OF CONFLICTS.
- VERIFY ALL PLANT MATERIAL QUANTITIES ON THE PLAN PRIOR TO BIDDING. PLANT LIST TOTALS ARE FOR CONVENIENCE ONLY AND SHALL BE VERIFIED PRIOR TO BIDDING.
- PROVIDE PLANT MATERIALS OF QUANTITY, SIZE, GENUS, SPECIES, AND VARIETY INDICATED ON PLANS. ALL PLANT MATERIALS AND INSTALLATION SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK". IF SPECIFIED PLANT MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON AVAILABILITY TO THE ARCHITECTS, TOGETHER WITH PROPOSAL FOR USE OF EQUIVALENT MATERIAL.
- PROVIDE AND INSTALL ALL PLANTS AS IN ACCORDANCE WITH DETAILS AND CONTRACT SPECIFICATIONS.

INSTALLATION

- LANDSCAPE ARCHITECT RESERVES THE RIGHT TO REJECT ANY PLANTS AND MATERIALS THAT ARE IN AN UNHEALTHY OR UNSIGHTLY CONDITION, AS WELL AS PLANTS AND MATERIALS THAT DO NOT CONFORM TO ANSI Z60.1 "AMERICAN STANDARD FOR NURSERY STOCK".
- LABEL AT LEAST ONE TREE AND ONE SHRUB OF EACH VARIETY AND CALIPER WITH A SECURELY ATTACHED, WATERPROOF TAG BEARING THE DESIGNATION OF BOTANICAL AND COMMON NAME.
- INSTALL LANDSCAPE PLANTINGS AT ENTRANCES/EXITS AND PARKING AREAS ACCORDING TO PLANS SO THAT MATERIALS WILL NOT INTERFERE WITH SIGHT DISTANCES.
- CONTRACTOR IS RESPONSIBLE FOR WATERING ALL PLANT MATERIAL DURING INSTALLATION AND UNTIL FINAL INSPECTION AND ACCEPTANCE BY OWNER. CONTRACTOR SHALL NOTIFY OWNER OF CONDITIONS WHICH AFFECTS THE GUARANTEE.

INSPECTIONS AND GUARANTEE

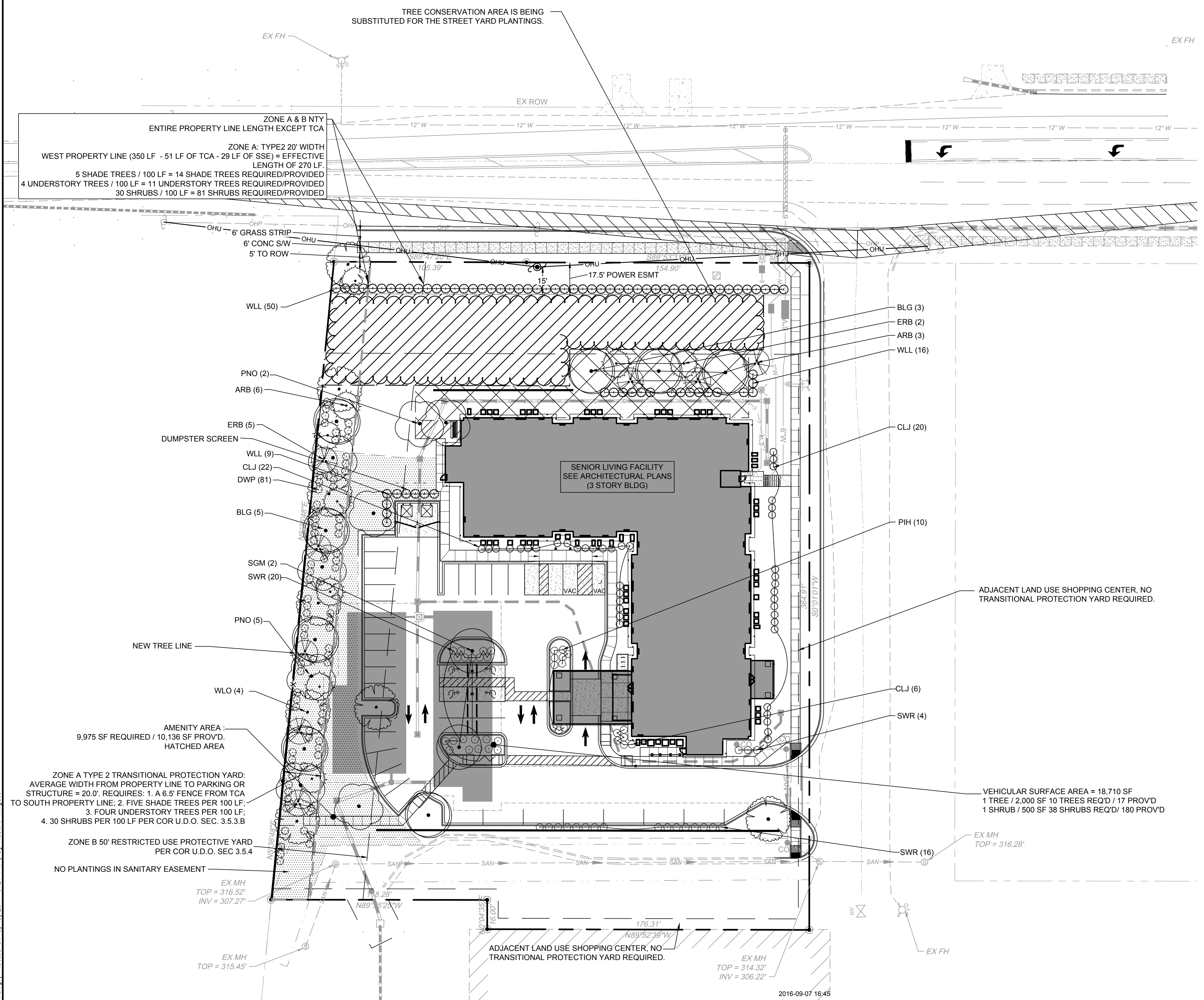
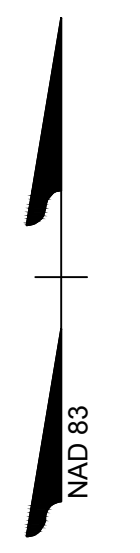
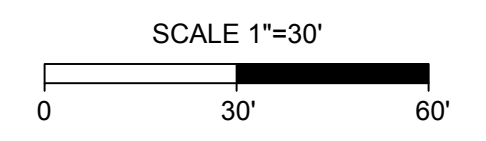
- UPON COMPLETION OF LANDSCAPE INSTALLATION, THE LANDSCAPE CONTRACTOR SHALL NOTIFY THE GENERAL CONTRACTOR WHO WILL VERIFY COMPLETENESS, INCLUDING THE REPLACEMENT OF ALL DEAD PLANT MATERIAL. CONTRACTOR IS RESPONSIBLE FOR SCHEDULING A FINAL INSPECTION BY THE LANDSCAPE ARCHITECT.
- ALL EXTERIOR PLANT MATERIALS SHALL BE GUARANTEED FOR ONE FULL YEAR AFTER DATE OF FINAL INSPECTION AGAINST DEFECTS INCLUDING DEATH AND UNSATISFACTORY GROWTH. DEFECTS RESULTING FROM NEGLIGENCE BY THE OWNER, ABUSE OR DAMAGE BY OTHERS, OR UNUSUAL PHENOMENA OR INCIDENTS WHICH ARE BEYOND THE CONTRACTORS CONTROL ARE NOT THE RESPONSIBILITY OF THE CONTRACTOR.
- PLANT MATERIAL QUANTITIES AND SIZES WILL BE INSPECTED FOR COMPLIANCE WITH APPROVED PLANS BY A SITE PLAN REVIEW AGENT OF THE PLANNING DEPARTMENT PRIOR TO THE RELEASE OF THE CERTIFICATE OF OCCUPANCY.
- REMOVE ALL GUY WIRES AND STAKES 12 MONTHS AFTER INSTALLATION.

LANDSCAPE NOTES

1. KEY REFERS TO PLANT LIST. WHERE THERE IS ONLY A KEY, THE QUANTITY IS ONE. WHERE THE KEY IS FOLLOWED BY A NUMBER, THE NUMBER IS THE QUANTITY REQUIRED FOR THE INDICATED PLANT BED.
2. LOCATE PLANTS AND PLANTING BEDS BY USING SCALED DIMENSIONS FROM STREET, PROPERTY LINES, ETC. DIMENSIONS ON STREET YARDS, BUFFERS AND LANDSCAPE AREAS ARE A MINIMUM WIDTH AND SHALL NOT BE REDUCED.
3. ALL PLANTS SHALL MEET OR EXCEED THE MINIMUM STANDARDS SET BY THE U.S.D.A. STANDARD FOR NURSERY STOCK SPONSORED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC., WASHINGTON, D.C.
4. MULCH ALL TREES AND PLANTING BEDS AS NOTED ON DRAWING. ALL PLANT GROUPINGS ARE CONSIDERED PLANTING BEDS.
5. LANDSCAPE CONTRACTOR SHALL VERIFY UTILITY AND STORM DRAINAGE LOCATIONS IN THE FIELD PRIOR TO BEGINNING CONSTRUCTION. ANY CONFLICTS WITH UTILITIES SHALL BE MOVED.
6. APPLY PRE-EMERGENT HERBICIDE TO ALL PLANTING BEDS PER MANUFACTURERS SPECIFICATIONS.
7. LANDSCAPE CONTRACTOR SHALL SEED AREAS DESIGNATED ON PLAN WITH STATESMAN BLEND FESCUE BY SOUTHERN STATES SEED, OR APPROVED EQUAL.
8. THE SITE SHALL BE STABILIZED AND SEEDED PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY.
9. THE SIZE OF THE PLANTING AREA AND SIZE OF PLANT MATERIAL AT MATURITY SHALL ALLOW FOR A 2.5' BUMPER OVERHANG FROM THE BACK OF CURB.
10. ALL TREE PROTECTION FENCING SHALL BE MAINTAINED UNTIL ALL SITE WORK IS COMPLETED. THE FENCING SHALL BE REMOVED PRIOR TO THE FINAL SITE INSPECTION FOR THE CERTIFICATE OF OCCUPANCY (CO).
11. REQUIRED STREET TREES THAT ARE LOCATED WITHIN A SIGHT DISTANCE TRIANGLE SHALL BE LIMBED UP TO 8' TO PREVENT THE OBSTRUCTION OF VISION.
12. NO CANOPY TYPE TREES ARE TO BE PLACED IN PUBLIC UTILITY EASEMENTS.
13. SCREEN WALLS ARE NON-STRUCTURAL WALLS THAT PROVIDE A VISUAL BARRIER BETWEEN ADJACENT PROPERTIES.
14. RETAINING WALL TOP OF WALL (TW) GRADES ARE 0.5 FT ABOVE THE ADJACENT GRADE.

SIGHT DISTANCE

1. NO SIGHT OBSTRUCTING OR PARTIALLY OBSTRUCTING WALL, FENCE FOLIAGE, BERMING, PARKED VEHICLES OR SIGN BETWEEN THE HEIGHTS OF TWENTY-FOUR INCHES AND EIGHT FEET ABOVE THE CURB LINE ELEVATION, OR THE NEAREST TRAVELED WAY IF NO CURBING EXISTS, SHALL BE PLACED WITHIN A SIGHT TRIANGLE OF A PUBLIC STREET, PRIVATE STREET OR DRIVEWAY CONTAINED EITHER ON THE PROPERTY OR ON AN ADJOINING PROPERTY.
 2. SIGHT DISTANCE IS DETERMINED AS PER THE NCDOT'S POLICY ON STREET AND DRIVEWAY ACCESS TO NORTH CAROLINA HIGHWAYS MANUAL.
- THE INTERSECTION SIGHT DISTANCE IS CALCULATED BY THE FOLLOWING:
 SITE ENTRANCES (CITY OF RALEIGH MANUAL CALCULATION)
 ISD = 100 x V/major (Design Speed) Per 10 mph
 ISD = 100 x 10 / 10 = 100 FEET



PLANT_SCHEDULE

TREES	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	REMARKS
BLG	7	NYSSA SYLVATICA	BLACK GUM	3.5" CALIPER	B&B	
PNO	7	QUERCUS PALUSTRIS	PIN OAK	3.5" CALIPER	B&B	VSA/BUFFER
WLO	4	QUERCUS PHELLOS	WILLOW OAK	3.5" CALIPER	B&B	VSA/BUFFER
ERB	7	CERCIS CANADENSIS	EASTERN RED BUD	1.5" CAL., 6' HEIGHT	B&B	PROT. YARD
ARB	8	THUJA "GREEN GIANT"	ARBORVITAE	2" CALIPER, 8' HEIGHT	B&B	PROT. YARD
SGM	2	ACER SACCHARUM	SUGAR MAPLE	3.5" CALIPER	B&B	VSA
SHRUBS	QTY	BOTANICAL NAME	COMMON NAME	MINIMUM INSTALLED SIZE	ROOT	SPACING
CLJ	48	CLEYERA JAPONICA	JAPANESE CLYERA	18" HT.	CONTAINER	4' OC
WLL	81	LIGUSTRUM JAPONICUM 'RECURVIFOLIUM'	WAX LEAF LIGUSTRUM	36" HT.	CONTAINER	5' OC
DWP	85	PITTOSPORUM TOBIRA 'WHEELER'S DWARF'	DWARF PITTOSPORUM	18" HT.	CONTAINER	4' OC
PIH	10	RHAPHIOLEPIS UMBELLATA 'PINKIE'	PINK INDIAN HAWHORNE	18" HT.	CONTAINER	4' OC
SWR	40	RHAPHIOLEPIS UMBELLATA 'SNOW WHITE'	SNOW WHITE RHAPHIOLEPIS	18" HT.	CONTAINER	4' OC

PRELIMINARY - NOT RELEASED FOR CONSTRUCTION

ALL CONSTRUCTION TO BE IN ACCORDANCE WITH ALL CITY OF RALEIGH, NCDEQ AND NCDOT STANDARDS, SPECIFICATIONS, AND DETAILS

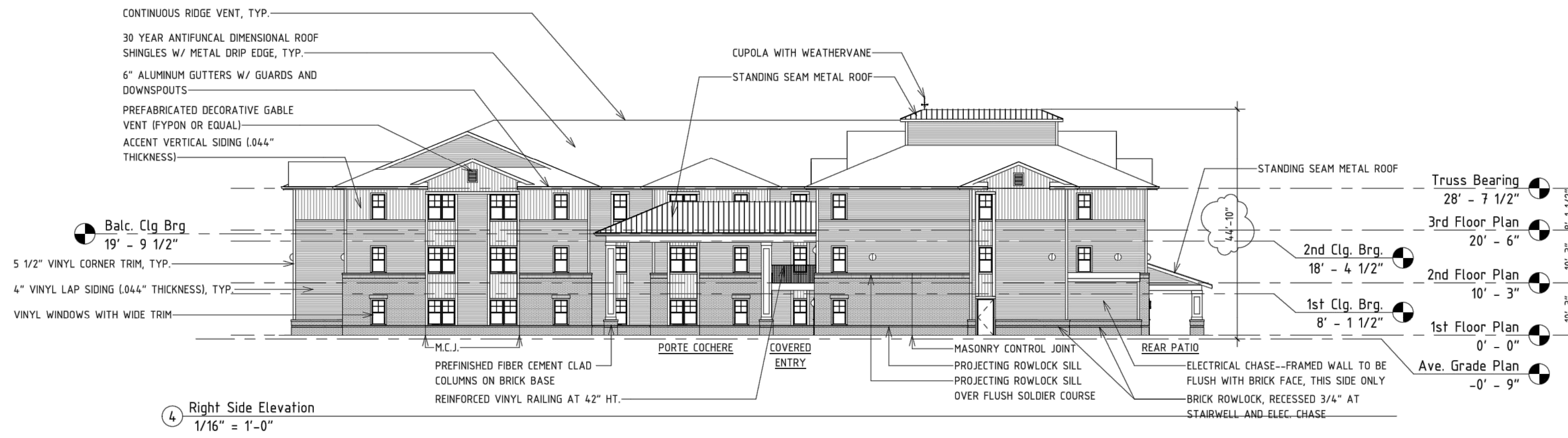
R:\02_36311-Amber_Spring_DWG_Sheet\SITE PLAN\36311-C6.0-PLANT.dwg | Plotted on 8/18/2017 5:27 PM | by Robert Wingo

**ELEVATION
GENERAL NOTES**

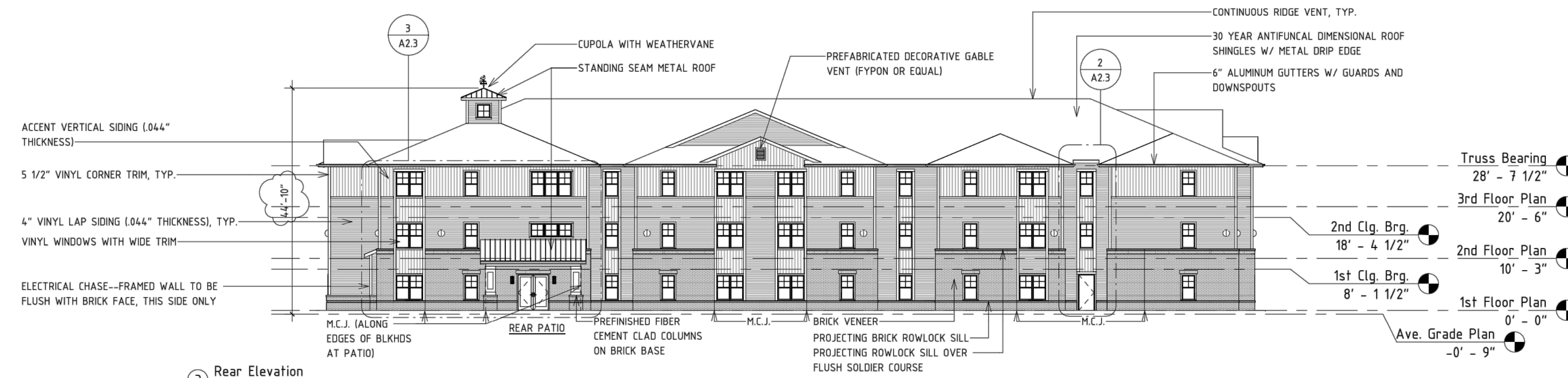
- MASONRY CONTROL JOINTS TO BE PROVIDED AT ALL INSIDE CORNERS, AS WELL AS WHERE INDICATED ON ELEVATIONS.
- MINIMUM THICKNESS OF ALL VINYL SIDING TO BE .044".
- SOFFITS TO BE PRE-FINISHED HARDIE COLORPLUS OR EQUAL.
- ROOFER TO INSTALL PERMA BOOTS "WEATHERWOOD" AT ALL PLUMBING VENT ROOF PENETRATIONS.
- SEE ROOF PLAN ON A14 FOR DOWNSPOUT LOCATIONS.
- ALL VINYL SIDING TO HAVE A FLAME SPREAD VALUE OF 20 OR LESS.
- ALL WORK TO COMPLY WITH THE NCHFA'S 2016 GAP.

NOTATION LEGEND

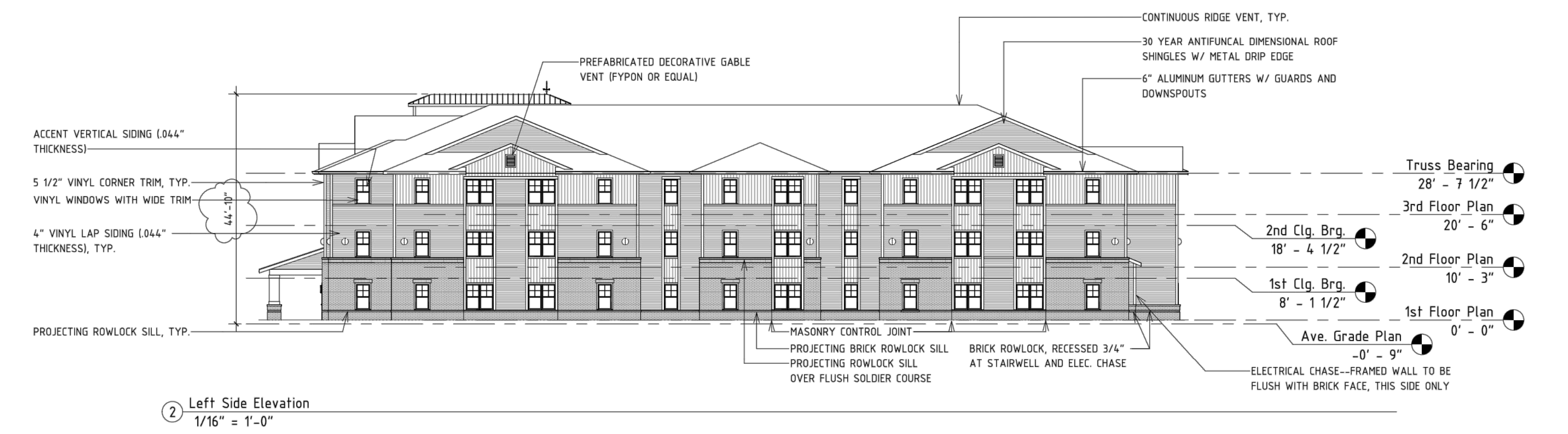
M.C.J. = MASONRY CONTROL JOINT
F.O.M. = FACE OF MASONRY



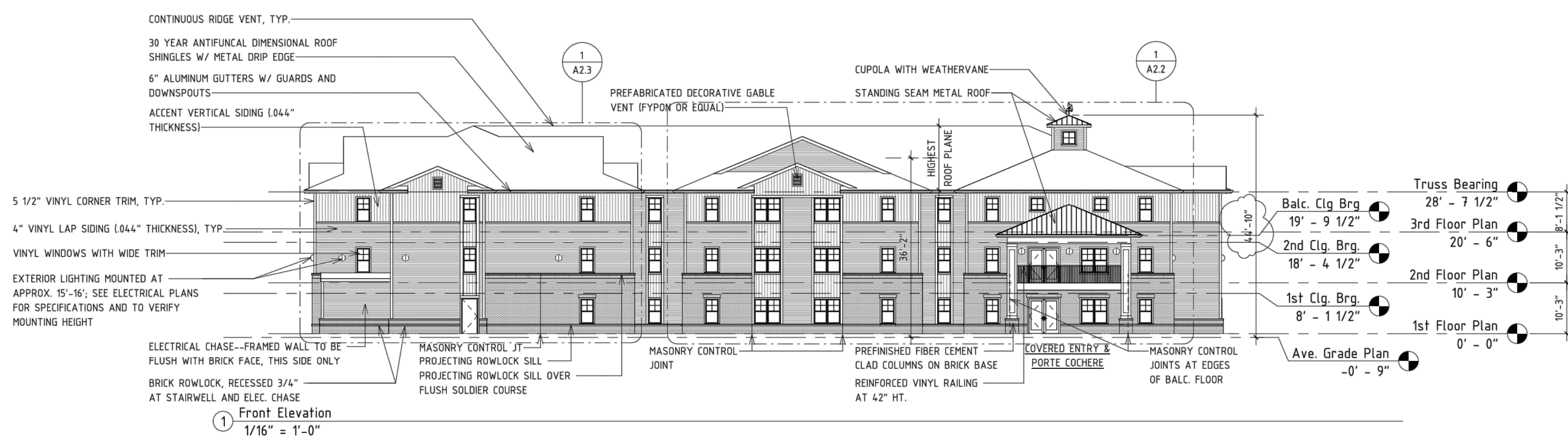
4 Right Side Elevation
1/16" = 1'-0"



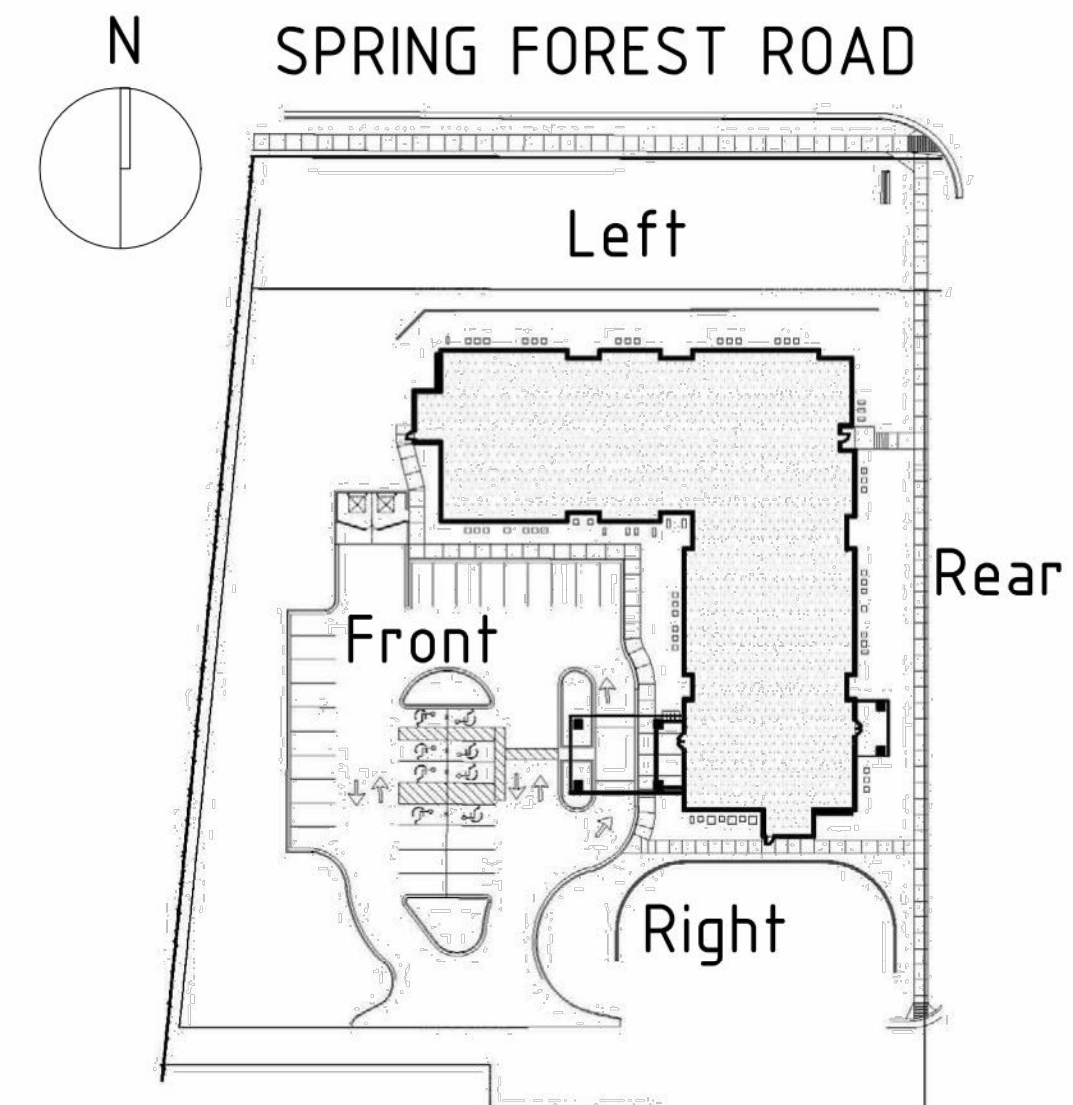
3 Rear Elevation
1/16" = 1'-0"



2 Left Side Elevation
1/16" = 1'-0"



1 Front Elevation
1/16" = 1'-0"



date 12.02.2016
drafter RDB
checked by DSM
project number T-16009.3
revisions _____ date _____

ELEVATIONS

A2.1