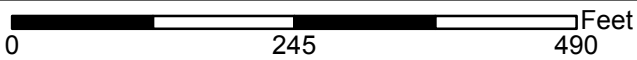
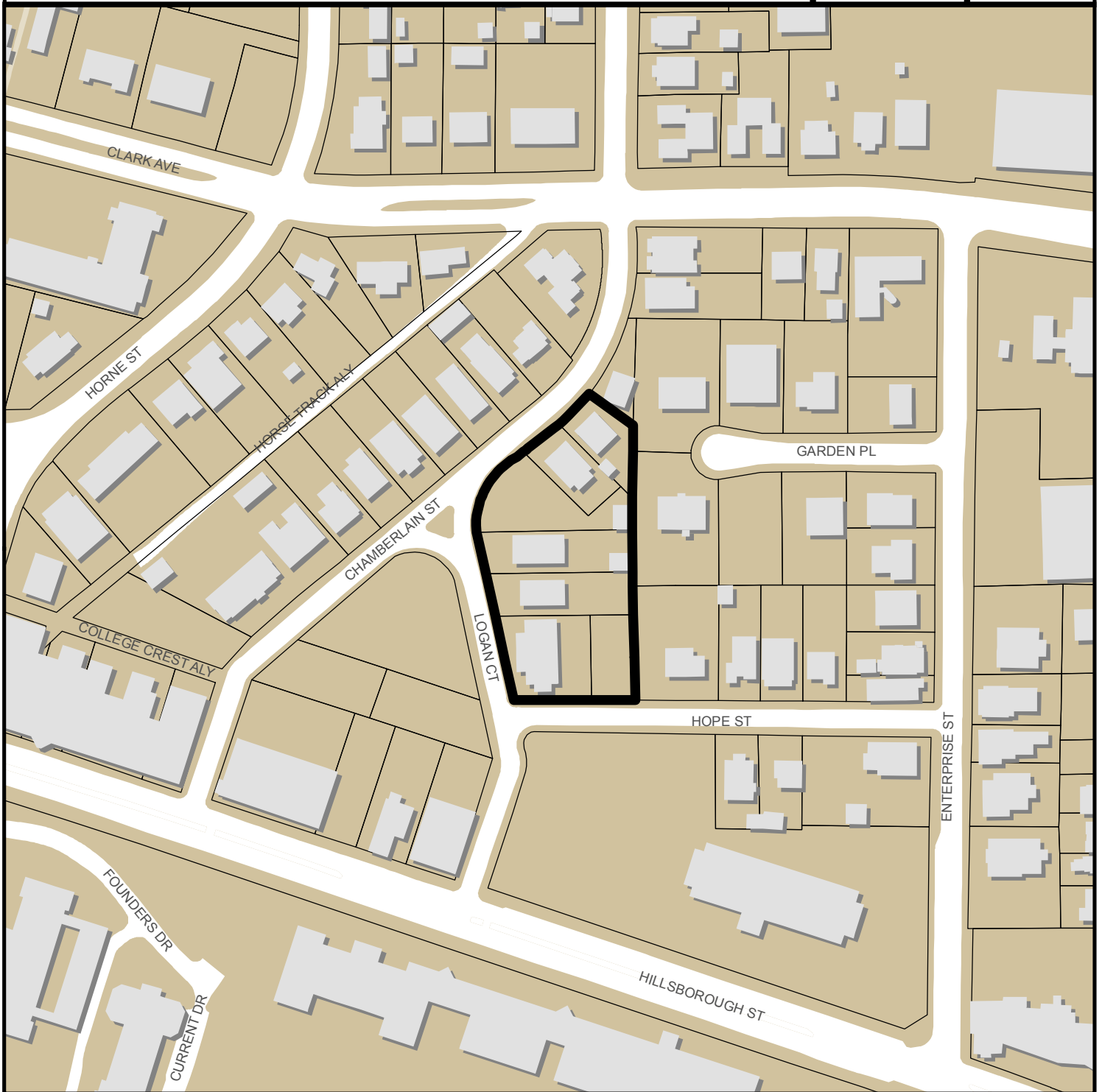


102 LOGAN SR-79-2016



Zoning: **RX-3 w/SRPOD**
CAC: **Wade**
Drainage Basin: **Rocky Branch**
Acreage: **1.23**
Sq. Ft.: **73,472**

Planner: **Justin Rametta**
Phone: **(919) 996-2665**
Applicant: **Next Chapter
Properties, LLC**
Phone: **(919) 479-0980**





Administrative Approval Action

SR-79-16 / 102 Logan Court
Transaction# 489232, AA#3667

City of Raleigh
Development Services
One Exchange Plaza
Raleigh, NC 27601
(919) 996-2626
DS.help@raleighnc.gov
www.raleighnc.gov

REQUEST: Development of a 1.2 acre site (consisting of seven parcels) zoned RX-3 with SRPOD into a 73,472 square foot apartment building containing 81 dwelling units.

LOCATION: 102 Logan Court. This site consists of seven existing parcels on the north side of Hope Street, east side of Logan Court, and southeast side of Chamberlain Street.

**DESIGN
ADJUSTMENTS/
ALTERNATES,
ETC:**

An Administrative Alternate parking plan was approved for this project. A Design Adjustment was approved for an alternate Neighborhood Local Street section for Logan Court.

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan submitted by John A Edwards and Co.

CONDITIONS OF APPROVAL AND NEXT STEPS:

Prior to issuance of a land disturbing permit for the site:

1. In accordance with Section 9.4.4, pay a surety equal to of the cost of clearing, grubbing and reseeded a site;

Prior to the issuance of any site permits or approval of concurrent review process, whichever is applicable:

2. A stormwater control plan with a stormwater operations and maintenance manual and budget must be approved by the Stormwater Engineer in compliance with Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings whichever event comes first;
3. A nitrogen offset payment must be made to a qualifying mitigation bank;
4. An off-site sewer easement deed must be approved by the Public Utilities Department, recorded, and a copy of the recorded deed returned to the City;
5. A Design Exception shall be required for the stormwater control measures located under the proposed parking structure;

Prior to issuance of building permits:

6. ½ of the required right of way for the existing streets must be dedicated to the City of Raleigh and a copy of the recorded plat provided to the City;



Administrative Approval Action

SR-79-16 / 102 Logan Court
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7. Infrastructure construction plans for public improvements must be approved through the concurrent review process. This includes obtaining stub permits, a tree impact permit and a street lighting plan, if applicable;
8. Demolition permit(s) must be issued for the existing structure(s) and the permit number(s) shown on all maps for recording;
9. An encroachment agreement for the retaining wall to be located within the public right-of-way must be approved by the City Council by separate action. An application for encroachment into the public right of way as indicated on the preliminary plan, shall be submitted to the City's Encroachment Coordinator in the Development Services Department for review, and the City Council approve the encroachment request. Following City Council approval of the encroachment, an encroachment agreement, prepared in accordance with Raleigh City Code Sections 12-1001 and 12-1021(a), shall be filed with the Development Services Department, and the encroachment agreement is to be recorded with the Wake County Register of Deeds. Maintenance of the encroachment shall be the responsibility of the owner;
10. In accordance with Section 8.1.3, a surety equal to 125% of the cost of development related improvements, including streetscape trees on the existing streets, must be paid to the Development Services Department;
11. In accordance with Section 9.2.2, a surety equal to 125% of the cost of construction of a stormwater device must be paid to the City;
12. The developer must pay the City a stormwater facility replacement fund payment equal to 24% of the estimated cost of constructing all stormwater control facilities;
13. Right-of-way obstruction permits must be obtained for any construction activity within the right-of-way;

Prior to issuance of building occupancy permit:

14. Final inspection of required street trees by Urban Forestry staff is required;
15. All street lights and street signs required as part of the development approval, and for public safety, shall be coordinated with the proper authority and installed;
16. In accordance with Section 8.1.3 through 8.1.5 and the City's public infrastructure acceptance policy, the required underground public utility infrastructure improvements (water, sewer, reuse, storm drainage) shall be completed and an as-built plan and certification(s) for any such infrastructure reviewed and accepted by the City. A warranty surety in the amount of 15% of the total cost of the underground public utility infrastructure shall remain active;
17. In accordance with Section 9.2.2, an as-built plan and certification for any stormwater control device shall be reviewed and accepted by the City.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. To avoid allowing this plan approval to expire, the following must take place by the following dates:



**Administrative
Approval Action**
SR-79-16 / 102 Logan Court
Transaction# 489232, AA#3667

City of Raleigh
Development Services
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3-Year Expiration Date: 8/25/2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed:(Planning Dir./Designee)

Date: 1/25/18

Staff Coordinator: Justin Rametta



Administrative Approval Action

SR-79-16 / 102 Logan Court
Transaction# 489232, AA#3667

City of Raleigh
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Prior to the issuance of any site permits or approval of concurrent review process, whichever is applicable:

2. A stormwater control plan with a stormwater operations and maintenance manual and budget must be approved by the Stormwater Engineer in compliance with Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for stormwater purposes prior to grading or the approval of construction drawings whichever event comes first;
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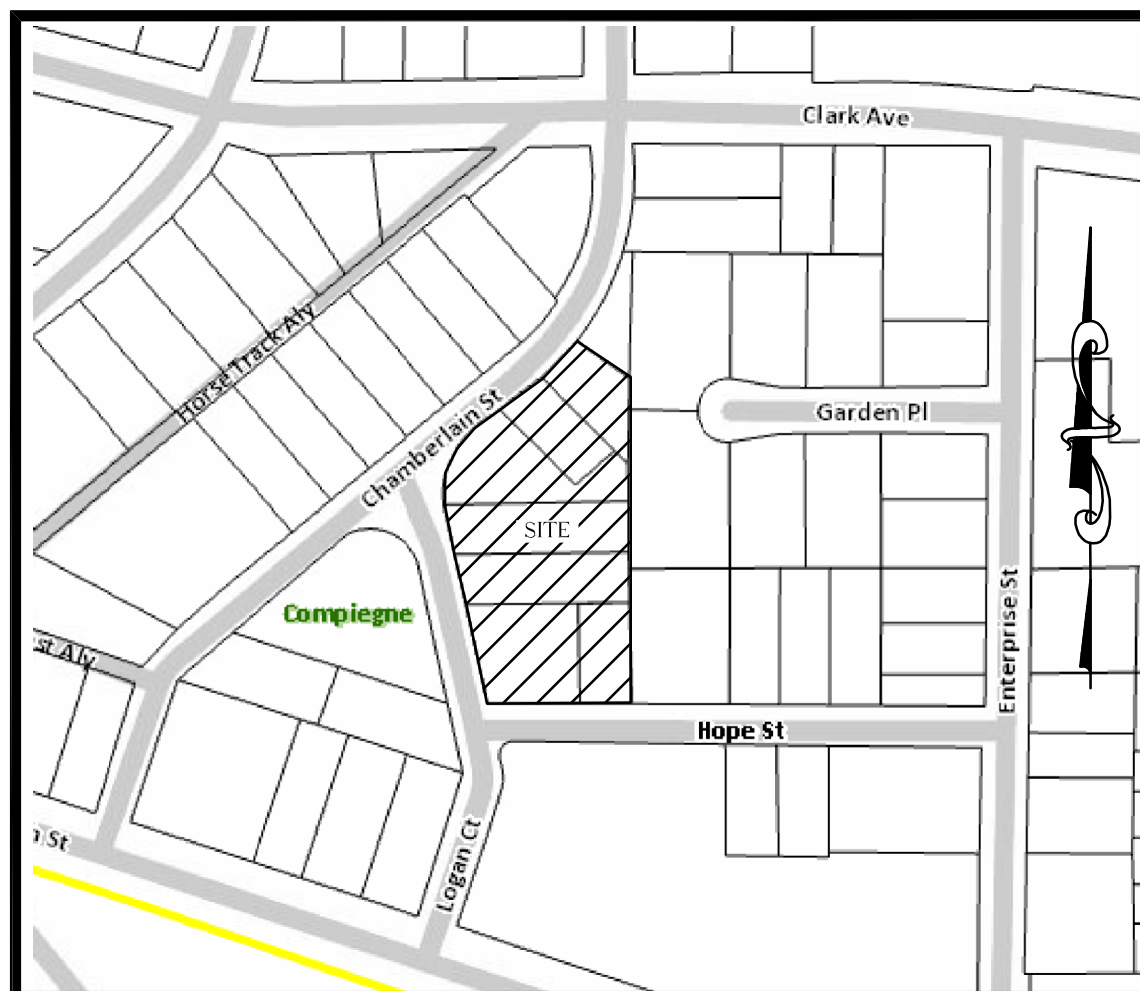
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EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. To avoid allowing this plan approval to expire, the following must take place by the following dates:

Revised 1/25/18 to remove original condition #4



VICINITY MAP
(NOT TO SCALE)

102 LOGAN COURT

ADMINISTRATIVE SITE REVIEW

SR-79-16

TRANS. #489232

RALEIGH, NORTH CAROLINA

SEPTEMBER 27, 2016
 REVISED MARCH 13, 2017
 REVISED MAY 8, 2017
 REVISED AUGUST 8, 2017

OWNER/DEVELOPER:

NEXT CHAPTER PROPERTIES, LLC
 1939 Waukegan Rd. Suite 105
 Glenview, IL 60025
 (312) 479-0980

CIVIL ENGINEER:

JOHN A. EDWARDS & COMPANY
 Consulting Engineers
 NC License F-0289
 333 Wade Ave., Raleigh, N.C. 27605
 Phone: (919) 828-4428
 Fax: (919) 828-4711
 E-mail: info@jaeco.com



LANDSCAPE ARCHITECT:

COALY DESIGN P.C.
 300-200 Parham St. Suite G
 Raleigh, N.C. 27601
 Phone: (919) 539-0012
 E-mail: kimberly@coalydesign.com

SITE DATA	
PROPERTY OWNER:	CH LOGAN LLC 603 W INDUSTRY DR OXFORD, NC 27565 NORTH CAROLINA STATE UNIVERSITY COLLEGE OF SCIENCE CAMPUS BOX: 8201 RALEIGH, NC 27695
SITE ADDRESS:	102 LOGAN CT.
LOT SIZE:	47,983 SF (1.102 AC.)
WAKE COUNTY PIN #:	0794922146, 0794922102, 0794921068, 0794921093, 0794912907, 0794911970, 0794912950
ZONING DISTRICT:	RX-3
TOTAL ACREAGE:	EXISTING: 1.225 AC.
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	RESIDENTIAL
EXISTING BUILDING AREA:	12,132 SF (OCCUPIABLE)
PROPOSED BUILDING AREA:	73,472 SF
PROPOSED BUILDING HEIGHT:	50'
EXISTING IMPERVIOUS AREA:	0.75 AC.
PROPOSED IMPERVIOUS AREA:	1.05 AC.
REQUIRED SETBACKS:	FRONT: 5' SIDE: 0' REAR: 0'
RESIDENTIAL APARTMENT BUILD-TO REQUIREMENTS:	70% BUILDING WIDTH IN PRIMARY BUILD TO 10-55' (CHAMBERLAIN & HOPE)
PROVIDED BUILD TO:	265' BUILDING / 314' FRONTAGE = 84.4%
RESIDENTIAL APARTMENT BUILD-TO REQUIREMENTS:	30% BUILDING WIDTH IN SECONDARY BUILD TO 10-55' (LOGAN)
PROVIDED BUILD TO:	215' BUILDING / 226' FRONTAGE = 95.1%
PROPOSED REQUIRED PARKING PER PARKING STUDY:	73 SPACES TOTAL ACCESSIBLE PARKING: 5 SPACES

INDEX

CE-1	EXISTING CONDITIONS
CE-2	SITE PLAN
CE-2.1	FIRE APPARATUS PLAN
CE-3	UTILITY PLAN
CE-4	GRADING & STORMWATER MANAGEMENT PLAN
CE-5	STORMWATER MANAGEMENT DETAILS
LA-1	PLANTING PLAN
A201	BUILDING ELEVATIONS
A202	BUILDING ELEVATIONS
A203	BUILDING SECTION

DESIGN ADJUSTMENTS
 APPLICANT IS SUBMITTING THE REQUEST FOR A DESIGN ADJUSTMENT TO ALLOW THE PROPOSED DRAINAGE EASEMENT WITHIN THE BUILDING AND TO ALLOW A PROPOSED RETAINING WALL WITHIN A PROPOSED DRAINAGE EASEMENT

SOLID WASTE INSPECTIONS STATEMENT
 DEVELOPER TO CONTRACT WITH PRIVATE COLLECTION SERVICE FOR RECYCLING AND SOLID WASTE REMOVAL

DESIGN ADJUSTMENTS
 AS PER MEETING WITH CITY OF RALEIGH TRANSPORTATION STAFF, APPLICANT IS SUBMITTING A REQUEST FOR A DESIGN ADJUSTMENT TO PROVIDE A 6' TREE LAWN, 6' SIDEWALK AND 14' OF RIGHT-OF-WAY DEDICATION FROM THE EXISTING BACK-OF-CURB ALONG THE ONE-WAY SECTION OF LOGAN STREET.

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH CITY OF RALEIGH STANDARDS AND SPECIFICATIONS.

HORIZONTAL DATUM: NAD83
 VERTICAL DATUM: NAVD88

Administrative Site Review Application (for UDO Districts only)

Development Services Customer Service Center | 1 Exchange Place, Suite 400 | Raleigh, NC 27601 | (919) 996-2405 | (fax) 919-996-1833
 Litchfield Satellite Office | 8320 - 130 Litchfield Road | Raleigh, NC 27601 | (919) 996-4200

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	Transaction Number
<input type="checkbox"/> Attached	Assigned Project Coordinator
<input type="checkbox"/> Apartment	Assigned Team Leader
<input type="checkbox"/> Townhouse	
<input type="checkbox"/> General	
<input type="checkbox"/> Mixed Use	
<input type="checkbox"/> Open Lot	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction #

GENERAL INFORMATION

Development Name: 102 Logan
 Zoning District: RX-3 Overlay District (if applicable): SRPOD Inside City Limits? Yes No

Proposed Use: Apartment Building
 Property Address(es): 102, 104, 106 LOGAN CT., 204, 206 CHAMBERLAIN ST., 4 HOPE ST. Major Street Locator:
 Wake County Property Identification Number(s) for each parcel to which these guidelines will apply:
 P.I.N.: 0794922146, 0794922102 P.I.N.: 0794921068, 0794921093 P.I.N.: 0794912907, 0794911970 P.I.N.: 0794912950

What is your project type?
 Single Residential Non-Residential Condo School Hospital Hotel/Motel Office
 Duplex Telecommunication Tower Religious Institution Shopping Center Bank Industrial Building
 Other: If other, please describe: _____

WORK SCOPE
 Per City Code Section 10.2.B.D.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 6 of the UDO), indicate impacts on parking requirements.
 3-story 81 Unit Apartment Building with ground level parking garage

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
 Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative AS.
 Requesting Design Adjustment to allow the existing sidewalk to remain and plant street trees behind sidewalk

CLIENT/DEVELOPER/OWNER
 Company: Next Chapter Properties, LLC Name: Patrick Quinn
 Address: 1939 Waukegan Rd., Suite 105 Glenview, IL 60025
 Phone: 312-479-0980 Email: pquinn@nextcp.com Fax:
 Company: John A. Edwards & Company Name: Jon Callahan
 Address: 333 Wade Ave, Raleigh, NC 27605
 Phone: 919-828-4428 Email: jon_callahan@jaeco.com Fax: 919-828-4711

PAGE 1 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)	
Zoning District(s) RX-3	Building Information
If more than one district, provide the acreage of each:	Proposed building use(s) Apartments
Overlay District SRPOD	Existing Building(s) sq. ft. gross 12,132
Total Site Acres Inside City Limits <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No 1.225 Acres	Proposed Building(s) sq. ft. gross 73,472
Off street parking: Required N/A Provided 73, Per parking study	Total sq. ft. gross existing & proposed 73,472
COA (Certificate of Appropriateness) case #	Proposed height of building(s) 4-4'-0"
BOA (Board of Adjustment) case # A-	# of stories 3
CUD (Conditional Use District) case # 2-	Ceiling height of 1 st floor
Stormwater Information	
Existing Impervious Surface 0.75 ac. acres/square feet	Flood Hazard Area <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface 1.05 ac. acres/square feet	If Yes, please provide:
Nature River Buffer <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Altitude Solls FEMA Map Panel #
Wetlands <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Flood Study
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units 81	5. Bedroom Units: 1br 12 2br 42 3br 12 4br or more 15
2. Total # of Congregate Care Or Life Care Dwelling Units	6. Infill Development 1 2 3
3. Total Number of Hotel Units	7. Open Space (only) or Amenity
4. Overall Total # of Dwelling Units (1-5 Above)	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate <u>Jon R. Callahan, P.E.</u> to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/we have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: <u>Patrick Quinn</u>	Date: <u>9/27/16</u>
Printed Name: <u>Patrick Quinn</u>	Date: _____
Signed: _____	Date: _____
Printed Name: _____	Date: _____

PAGE 2 OF 3 WWW.RALEIGHNC.GOV REVISION 05.13.16

SOLID WASTE INSPECTIONS STATEMENT
 DEVELOPER TO CONTRACT WITH PRIVATE
 COLLECTION SERVICE FOR RECYCLING AND
 SOLID WASTE REMOVAL. CONTAINERS WILL
 BE STORED IN A DEDICATED ROOM FOR
 WASTE LOCATED ON THE PARKING LEVEL.



JOHN A. EDWARDS & COMPANY
 Consulting Engineers
 and Land Surveyors

NC License F-0289
 333 Wade Ave., Raleigh, N.C. 27605
 Phone: (919) 828-4428
 Fax: (919) 828-4711
 E-mail: info@jaeco.com
 www.jaeco.com

Project
102 LOGAN
 102 LOGAN COURT
 RALEIGH, NC 27607

Client
 NEXT CHAPTER
 PROPERTIES, LLC
 1939 WAUKEGAN RD. SUITE 105
 GLENVIEW, IL 60025

Revisions

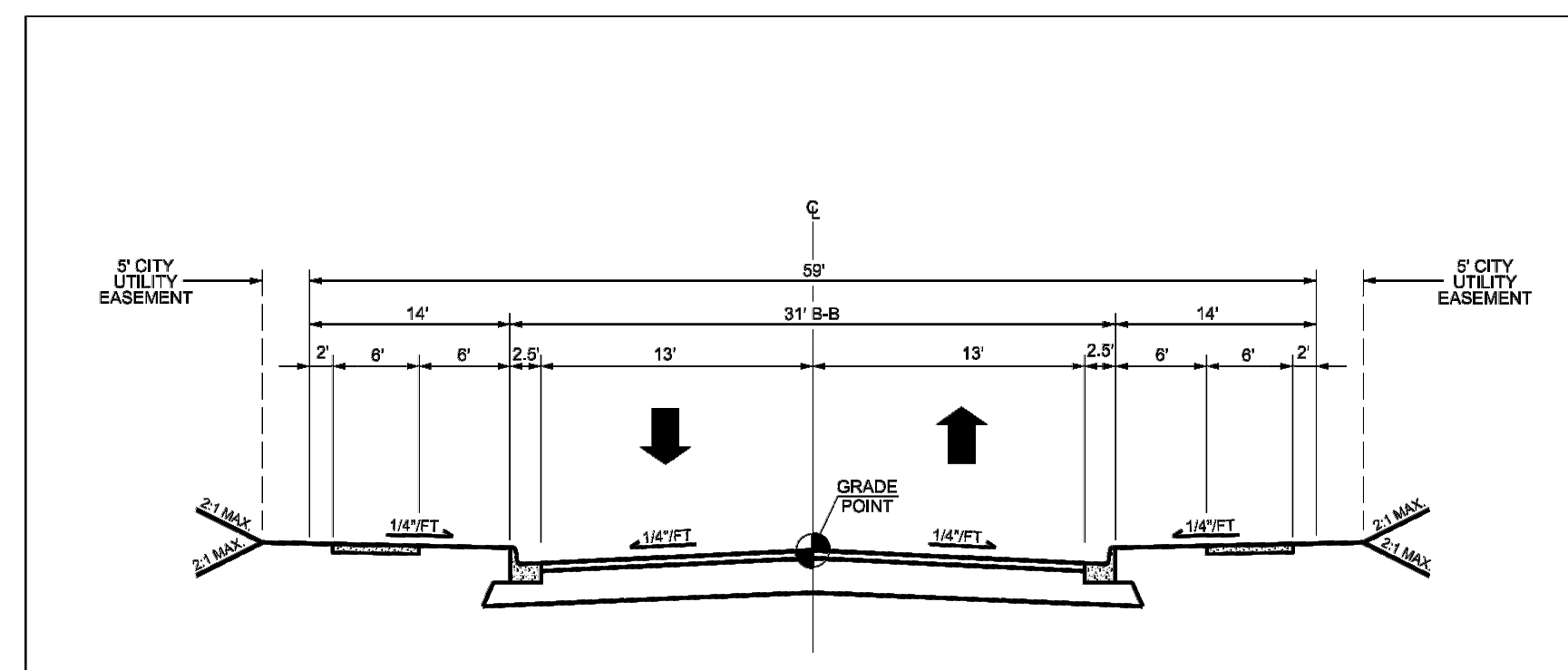
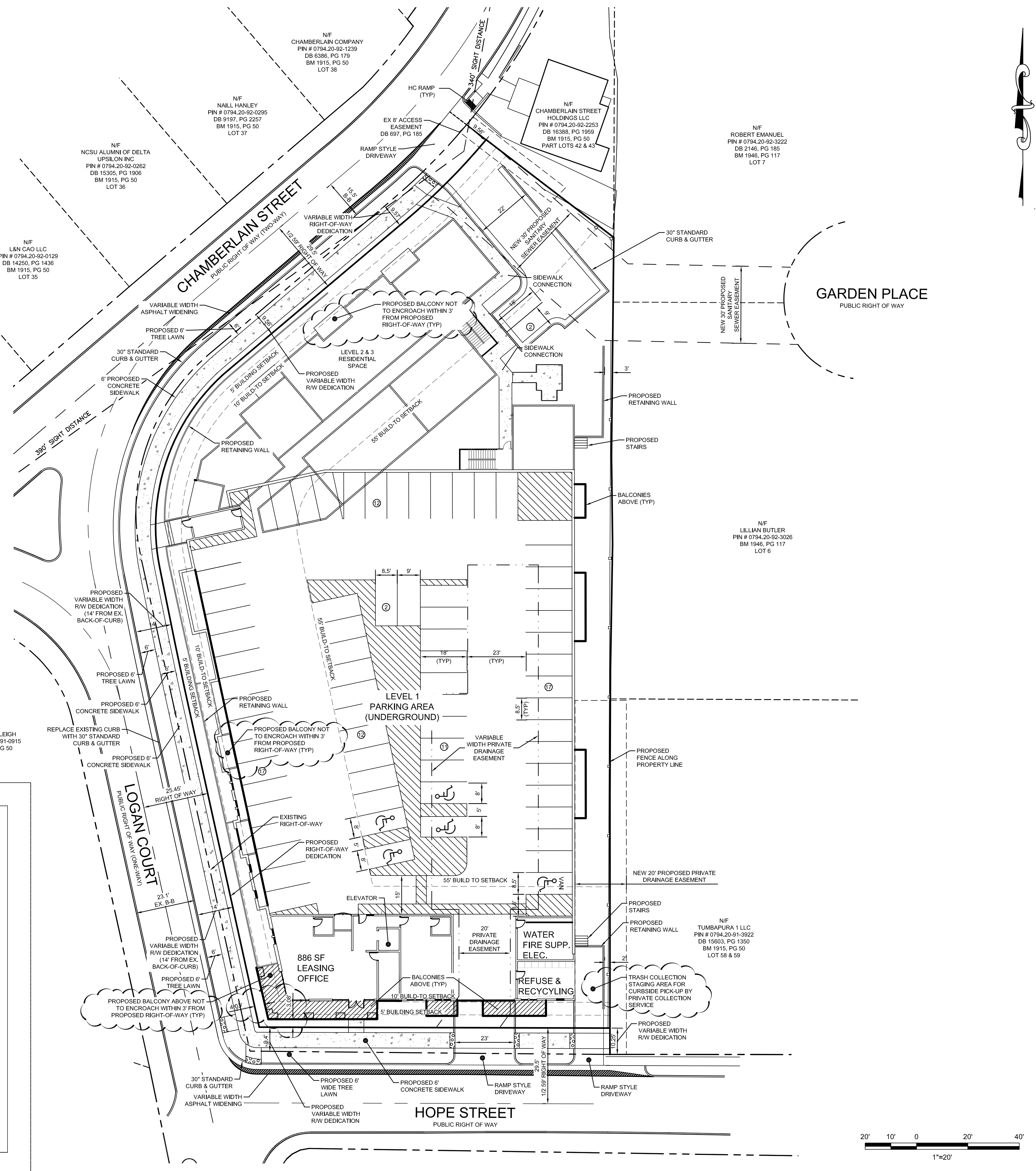
Number	Description	Date
1	CITY OF RALEIGH COMMENTS	3/13/17
2	CITY OF RALEIGH COMMENTS	5/8/17
3	CITY OF RALEIGH COMMENTS	8/8/17

Approvals
 ALL CONSTRUCTION SHALL BE IN
 ACCORDANCE WITH CITY OF RALEIGH
 STANDARDS AND SPECIFICATIONS.

Drawing Title
SITE PLAN

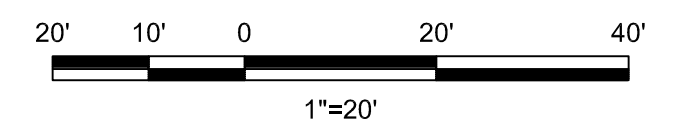
JAECO # 540.02
 Drawn By C2B
 Checked By JRC
 Date Issued 9/27/16

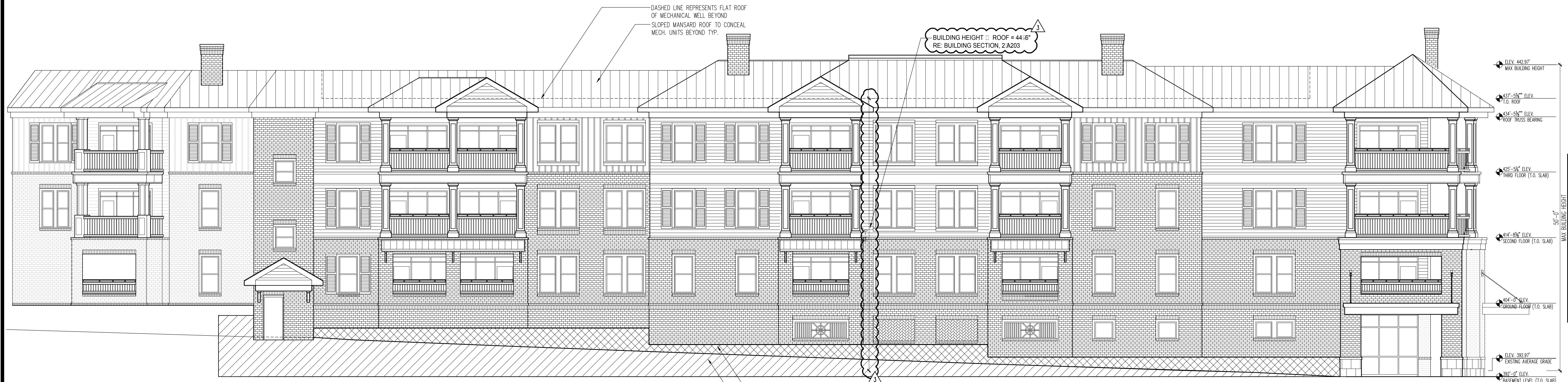
CE-2



GENERAL	
WALKWAY TYPE	SIDEWALK
PLANTING TYPE	TREELAWN
TREE SPACING	40' O.C. AVG
PARKING TYPE	PARALLEL ON 2 SIDES

PAVEMENT DESIGN	
	3" SF9.5A
	6" ABC





2 Exterior Elevation West
A201 SCALE: 1/8"=1'-0"

BASEMENT WALL CALCULATION - PER RALEIGH UDO - SECTION 1.5.7.A.6

WEST ELEVATION
TOTAL WALL AREA: 1,081 S.F. TOTAL
PORTION OF WALL BELOW GRADE DUE TO GRADING PLAN: 847 S.F.
PORTION OF WALL BELOW GRADE WITH RETAINING WALL AS SHOWN: 386 S.F.
TOTAL: 1,018 S.F. WALL BELOW GRADE

PROGRESS PRINT
HEALTH DEPT. PLAN CHECK
BUILDING DEPT. PLAN CHECK
BID SET
CONSTRUCTION SET
SUBMITTAL DOCUMENT

03-15-17 CITY COMMENTS
05-02-17 CITY COMMENTS
08-08-17 CITY COMMENTS

THE DRAWINGS, SPECIFICATIONS AND OTHER DOCUMENTS PREPARED BY THE ARCHITECT FOR THIS PROJECT ARE INSTRUMENTS OF THE ARCHITECT'S SERVICE FOR USE SOLELY WITH RESPECT TO THIS PROJECT AND UNLESS OTHERWISE PROVIDED, THE ARCHITECT SHALL BE DEEMED THE AUTHOR OF THESE DOCUMENTS AND SHALL RETAIN ALL COMMON LAW, STATUTORY AND OTHER RESERVED RIGHTS, INCLUDING COPYRIGHT. THE ARCHITECT'S DRAWINGS, SPECIFICATIONS OR OTHER DOCUMENTS SHALL NOT BE USED BY THE OWNER OR OTHERS ON OTHER PROJECTS, FOR ADDITIONS TO THIS PROJECT BY OTHERS EXCEPT BY AGREEMENT IN WRITING BY THE ARCHITECT.



1 Exterior Elevation South
A201 SCALE: 1/8"=1'-0"

BASEMENT WALL CALCULATION - PER RALEIGH UDO - SECTION 1.5.7.A.6

SOUTH ELEVATION
TOTAL WALL AREA: 1,120 S.F. TOTAL
TOTAL: 0 S.F. WALL BELOW GRADE

BUILDING HEIGHT - PER RALEIGH UDO - SECTION 1.5.7.A.2

EXISTING AVERAGE GRADES AT PRIMARY STREET SETBACK:	3:5.75 @ 3:1.25 = 443.5'
PROPOSED AVERAGE GRADES AT PRIMARY STREET SETBACK:	3:4.5 @ 3:1.45 = 442.7'
MAXIMUM ALLOWABLE BUILDING HEIGHT:	50' ELEVATION 442.7'

102 Logan
102 Logan Court
Raleigh, NC 27607

SITE PLAN SUBMITTAL

DESIGNER :
DRAWN :
CHECKED :
SCALE : AS SHOWN
JOB NUMBER : 7705

SHEET TITLE
Exterior Elevations

SHEET NUMBER
A201



2 Exterior Elevation East
A201 SCALE: 1/8"=1'-0"

BASEMENT WALL CALCULATION - PER RALEIGH UDO - SECTION 1.5.7.A.6	
EAST ELEVATION	
TOTAL WALL AREA: 2,066 S.F. TOTAL	
PORTION OF WALL BELOW GRADE DUE TO GRADING PLAN: 847 S.F.	
TOTAL: 847 S.F. WALL BELOW GRADE	

- PROGRESS PRINT
- HEALTH DEPT. PLAN CHECK
- BUILDING DEPT. PLAN CHECK
- BID SET
- CONSTRUCTION SET
- SUBMITTAL DOCUMENT

- 03-15-17 CITY COMMENTS
- 05-02-17 CITY COMMENTS

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1 Exterior Elevation North
A202 SCALE: 1/8"=1'-0"

BASEMENT WALL CALCULATION - PER RALEIGH UDO - SECTION 1.5.7.A.6	
NORTH ELEVATION	
TOTAL WALL AREA: 1,556 S.F. TOTAL	
PORTION OF WALL BELOW GRADE DUE TO GRADING PLAN: 1,556 S.F.	
TOTAL: 1,556 S.F. WALL BELOW GRADE	

BASEMENT WALL CALCULATION - PER RALEIGH UDO - SECTION 1.5.7.A.6	
BUILDING TOTALS	
TOTAL AREA OF PERIMETER WALLS: 6,723 S.F.	
TOTAL PORTION OF WALL BELOW GRADE	
NORTHWEST ELEVATION: 1,556 S.F.	
NORTHEAST ELEVATION: 847 S.F.	
SOUTHEAST ELEVATION: 0 S.F.	
SOUTH ELEVATION: 1,018 S.F.	
TOTAL AREA OF WALL BELOW GRADE: 3,421 S.F. = 51%	

102 Logan
 102 Logan Court
 Raleigh, NC 27607
SITE PLAN SUBMITTAL

DESIGNER : -
 DRAWN : -
 CHECKED : -
 SCALE : AS SHOWN
 JOB NUMBER : 7705
 SHEET TITLE
Exterior Elevations

SHEET NUMBER
A202