



Administrative Approval Action

AA #3933 / SR-45-16 One Glenwood REVISION
Transaction# 583057

City of Raleigh
Development Services Department
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2495
DS.help@raleighnc.gov
www.raleighnc.gov

LOCATION: This site is located on the west side of Glenwood Avenue, between Hillsborough Street, and W. Morgan Street. The site is located at One Glenwood and 615 Hillsborough Streets

REQUEST: **THIS IS A REVISION TO A PREVIOUSLY APPROVED PLAN (SR-45-16, TRANSACTION # 478399).** This **revised** plan (transaction # 583057) proposes the development of a 1.89 acre site on multiple lots zoned DX-12-UL, and DX-12-UG into a 249,355 square foot, ten story mixed use building (office, retail, restaurant, and bar uses). This revision also includes two (retail) accessory buildings, and an open space lot.

**DESIGN
ADJUSTMENT(S)/
ALTERNATES, ETC:** One Administrative Alternate has been approved by the Planning Director for this project, noted below.

1. An Administrative Alternate (UDO Section 10.2.17) for alternative building massing standard (Section 3.3.3 D) (AAD-10-16)

FINDINGS: City Administration finds that this request, with the below conditions of approval being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 02/14/19, by the John R. McAdams Co. Inc

CONDITIONS OF APPROVAL and NEXT STEPS:

This document must be applied to the second sheet of all future submittals except for final plats. This is a preliminary plan and as such no permits have been issued with this approval. To obtain permits and/or completion of the project, the following steps are required:

CONCURRENT SITE REVIEW NOT REQUIRED AT THIS TIME – However, plan revisions or further development that includes land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. will require concurrent site review.

CONCURRENT SITE REVIEW REVISION - For land disturbance of 12,000 square feet or greater, public or private infrastructure, shared stormwater devices, etc. Concurrent Site Review may be submitted upon receipt of this signed approval document.



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The following items are required prior to approval of Concurrent Site Review plans:

Stormwater

1. That an additional nitrogen offset payment must be made to a qualifying mitigation bank;
2. A stormwater control plan with a stormwater operations and maintenance manual and budget shall be approved (UDO 9.2).
3. A surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City (UDO 9.4.4).

BUILDING PERMITS – For buildings and structures shown on the approved plans. Commercial building permit plans must include the signed, approved Concurrent Site Review plans attached, if applicable. Permit sets may be reviewed prior to the recordation of required plats, but cannot be approved.

The following items must be approved prior to the issuance of building permits:

General

1. A recombination map shall be recorded, recombining the property lines on site as shown on the preliminary plan.
2. The applicant shall provide proof of compliance with remote parking standards by submitting a signed agreement or lease indicating that required off-street parking shall be provided as long as the principal use continues and the principal use shall be discontinued should the required off-street parking no longer be provided on these off-site parcels (UDO 7.1.5). Additionally the owner/developer of this property provides proof of an offsite parking easement agreement within 660 feet of the building entrance on this lot for required parking in accordance with UDO Sections 7.1.5 B and 6.4.7 C. If the offsite parking is to be shared with another use, the grantor of the parking easement shall agree in writing to provide the required off-street parking as long as the principal use of the subject property remains and the grantor shall agree that the use of the parking shall not conflict with parking requirements for the offsite properties;

Engineering

3. The required right of way for proposed and/or existing streets shall be dedicated to the City of Raleigh as shown on a plat approved for recordation.
4. That a surety in an amount of 125% of the cost of construction for the 6' sidewalk and streetscape trees installed on Hillsborough, W. Morgan, and Glenwood Avenue be paid to the City in accordance with code section 8.1.3 of the UDO.
5. That any offsite varying width temporary construction easements on all applicable parcels are obtained either by deed or map;



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6. An encroachment agreement for any plantings, planters, awnings or storm water drainage systems that carry private drainage within the public right-of-way shall be approved by City Council and the City Council approved encroachment agreement shall be filed with the Development Services Department, and the encroachment agreement shall be recorded with the Wake County Register of Deeds. A recorded copy of these documents must be provided to the Development Services Department.

Stormwater

7. That all storm water control measures and means of transporting storm water runoff to and from any nitrogen and storm water runoff control measures shall be shown on all plats for recording as private drainage easements and the plats shall contain the following note: "All private storm drainage easements & storm water measures will be maintained by the property owners association;

The following are required prior to issuance of building occupancy permit:

1. All Water, Sanitary Sewer and Reuse facilities shall be installed, inspected, tested and accepted by the City of Raleigh Public Utilities Department for operations and maintenance.
2. That a certificate of occupancy be issued for the associated parking facility at 607 W. Morgan Street (SR-92-16, Two Glenwood);
3. As-built impervious survey shall be submitted and accepted by the Engineering Services Department.

EXPIRATION DATES: The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 3-13-2022

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

I hereby certify this administrative decision.

Signed: (Development Services Dir./Designee)

Date: 3/13/19

Staff Coordinator: Michael Walters

When submitting plans, please check the appropriate building type and include the Plan Checklist document.

BUILDING TYPE	FOR OFFICE USE ONLY
<input type="checkbox"/> Detached	<input type="checkbox"/> General (Accessory Retail Buildings)
<input type="checkbox"/> Attached	<input type="checkbox"/> Adult Use (Office)
<input type="checkbox"/> Apartment	<input type="checkbox"/> Assigned Project Coordinator
<input type="checkbox"/> Townhouse	<input type="checkbox"/> Assigned Team Leader
<input type="checkbox"/> Other (Specify below: _____)	

Has your project previously been through the Due Diligence or Sketch Plan Review process? If yes, provide the transaction # _____

GENERAL INFORMATION

Development Name: **One Glenwood**

Zoning District: **DX-12-UL & DX-12-UG** Overlay District (if applicable): **N/A** Inside City Limits? Yes No

Proposed Use: **A 10 story mixed use building, (2) 1 story general buildings (accessory retail buildings), and a centralized pedestrian amenity area**

Property Address(es): **1 Glenwood Ave. and 615 Hillsborough St.** Major Street Location: **Hillsborough Street/Morgan Street**

Wake County Property Identification Number(s) for each parcel to which these guidelines will apply: _____

P.L.N. **1703494101** P.L.N. **1703492196** P.L.N. _____ P.L.N. _____

What is your project type? Apartment Elderly Facilities Hospitals Hotels/Motels Office Industrial Building

Mixed Residential Non-Residential Condo School Shopping Center Banks Retail

Single Telecommunication Tower Religious Institutions Residential Care Retail Cottage Court

Other: please describe: **Open Lot**

WORK SCOPE
Per City Code Section 10.2.8.0.1, summarize the project work scope. For additions, changes of use, or occupancy (per Chapter 8 of the UDO), indicate impacts on parking requirements.
The adjustment of 2 lots with 1 lot containing the Development of a 10 story, 246,706 SF mixed use building and (2) 1 story retail buildings totaling 2,945 sf and the other lot being an open lot with a pedestrian amenity area.

DESIGN ADJUSTMENT OR ADMIN ALTERNATE
Per City Code Chapter 8, summarize if your project requires either a design adjustment, or Section 10 - Alternate Administrative Act.
Project Requires a DA for Hillsborough and Morgan Streets and an AE for building height

CLIENT/DEVELOPER/OWNER
Company: **Glenwood One Office, LLC** Name: **RYAN BLAIR**
Address: **501 FAIRMOUNT AVENUE, SUITE 101, TOWSON, MD**
Phone: **410-769-6139** Email: **RBLAIR@HPIMD.COM** Fax: **N/A**

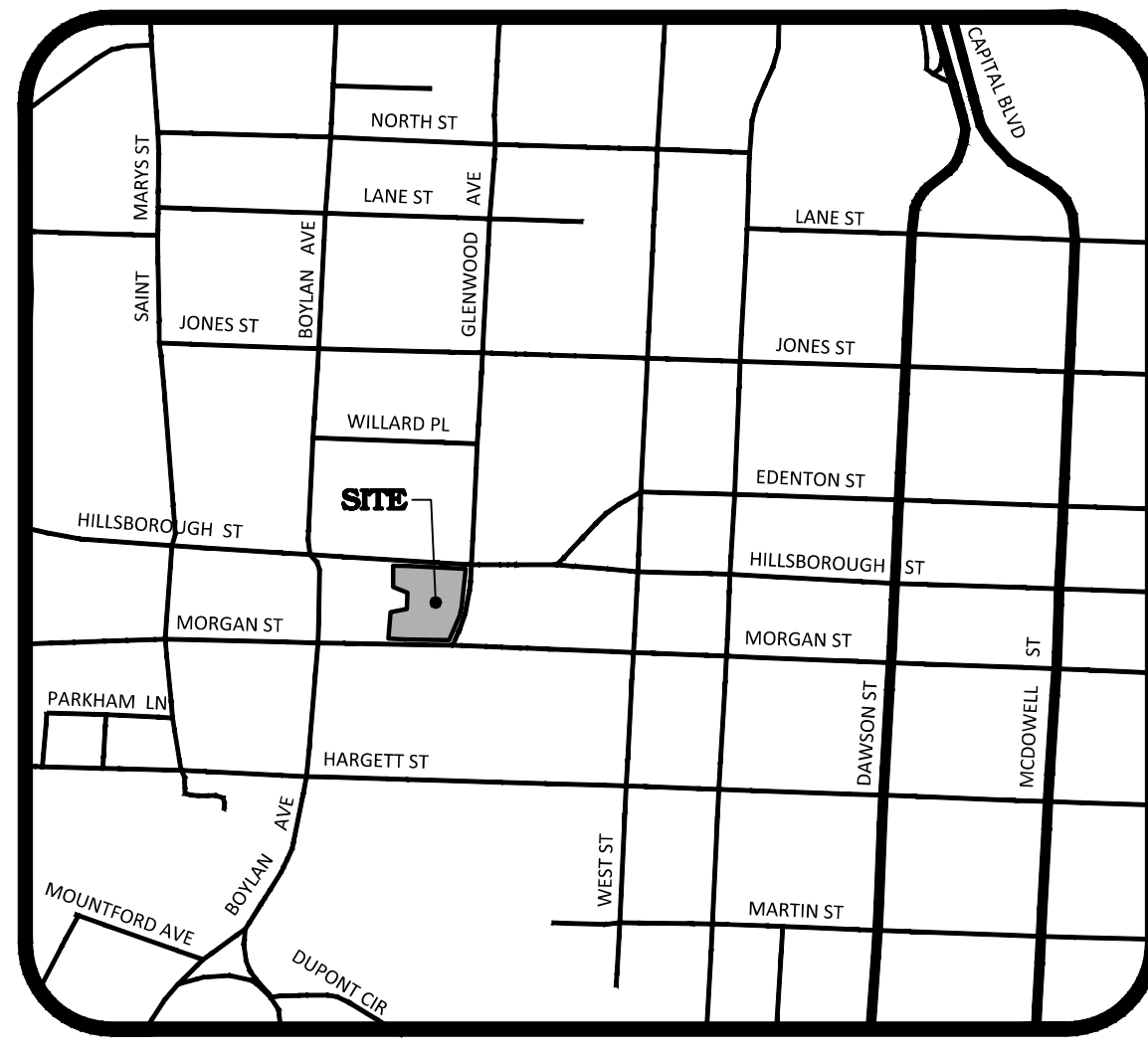
CONSULTANT (Contact Person for Plans)
Company: **MCADAMS** Name: **RICK SLATER**
Address: **2905 MERIDIAN PARKWAY, DURHAM, NC**
Phone: **919-361-5000** Email: **SLATER@MCADAMSCO.COM** Fax: **N/A**

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DEVELOPMENT TYPE & SITE DATA TABLE (Applicable to all developments)

Zoning Information	Building Information
Zoning District(s): DX-12-UL and DX-12-UG	Proposed building use(s): Mixed Use Office and Retail
If more than one district, provide the acreage of each: .826 AC and .445 AC	Existing building(s) sq. ft. gross: 18,429
Overlay District: N/A	Proposed building(s) sq. ft. gross: 249,355
Total Site Area: 1.27 AC	Total sq. ft. gross (existing & proposed): 249,355
Off street parking: Required 444 Provided 444 (off site)	Proposed height of building(s): 149'-10"
CDA (Certificate of Appropriateness) case # N/A	# of stories: 10
BOA (Board of Adjustment) case # N/A	Ceiling height of 1 st floor: 15' min.
CUD (Conditional Use District) case # N/A	
Stormwater Information	
Existing Impervious Surface: 36,155 sq. ft.	Flood Hazard Area: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Proposed Impervious Surface: 45,699 sq. ft.	If Yes, please provide: Allowable Soils: N/A FEMA Map Panel # N/A Flood Study: N/A
Neuse River Buffer: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Wetlands: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
FOR RESIDENTIAL DEVELOPMENTS	
1. Total # of Apartment, Condominium or Residential Units: N/A	5. Bedroom Units: 1br 2br 3br 4br or more: N/A
2. Total # of Congregate Care Or Life Care Dwelling Units: N/A	6. Infill Development: 2,27 N/A
3. Total Number of Hotel Units: N/A	7. Open Space (on) or Amenity: N/A
4. Overall Total # of Dwelling Units (1-6 Above): N/A	8. Is your project a cottage court? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
SIGNATURE BLOCK (Applicable to all developments)	
In filing this plan as the property owner(s), I/we do hereby agree and firmly bind ourselves, my/our heirs, executors, administrators, successors and assigns jointly and severally to construct all improvements and make all dedications as shown on this proposed development plan as approved by the City.	
I hereby designate: RICK SLATER, PE to serve as my agent regarding this application, to receive and respond to administrative comments, to resubmit plans on my behalf and to represent me in any public meeting regarding this application.	
I/We have read, acknowledge and affirm that this project is conforming to all application requirements applicable with the proposed development use.	
Signed: <i>Ryan Blair</i> Date: 1/8/2019	
Printed Name & Title: Ryan Blair / Manager	
Signed: _____ Date: _____	
Printed Name & Title: _____	

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VICINITY MAP
N.T.S.



**Know what's below.
Call before you dig.**

ONE GLENWOOD

1 GLENWOOD
RALEIGH, NORTH CAROLINA, 27603

ADMINISTRATIVE SITE REVIEW

PROJECT NUMBER: HTG-15020
TRANSACTION NUMBER: 478399
ASR REVISION #1 TRANSACTION NUMBER: 583057
CASE NUMBER: SR-45-16
APPROVED DATE: DECEMBER 05, 2016
REVISED: FEBRUARY 14, 2019

GENERAL NOTES:

- ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
- IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMITTING COORDINATOR AT (919) 996-2483
- PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING WITH THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMITTING COORDINATOR AT (919) 996-2483
- THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
- IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAN FOR THIS DEVELOPMENT.
- FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
- ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY JOHN A. EDWARDS AND CO. IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN FEBRUARY 2016, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN FEBRUARY 2016.
- WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
- UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
- TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
- ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
- CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
- HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
- PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
- ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
- THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRoACH ON THIS MINIMUM CORNER CLEARANCE.
- WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS
- ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
- ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
- ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF
- WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

NOTES:

- WITHIN THE AREA OF A DEFINED SIGHT TRIANGLE, THERE SHALL BE NO SIGHT OBSTRUCTING OR PARTLY OBSTRUCTING WALL, FENCE, SIGN, FOLIAGE, BERMING OR PARKED VEHICLES BETWEEN THE HEIGHTS OF TWENTY-FOUR (24) INCHES AND EIGHT (8) FEET ABOVE THE CURB ELEVATION OR THE NEAREST TRAVELED WAY, IF NO CURBING EXISTS.
- DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 50' FROM THE INTERSECTION OF 2 STREET RIGHTS-OF-WAYS, NOT INCLUDING AN ALLEY.

SOLID WASTE COMPLIANCE STATEMENT:

- THE DEVELOPER ACKNOWLEDGES THAT THEY HAVE REVIEWED AND ARE IN COMPLIANCE WITH THE REQUIREMENTS SET FORTH IN THE SOLID WASTE DESIGN MANUAL.
- THE SOLID WASTE REMOVAL FOR THIS PROJECT WILL BE HANDLED BY A PRIVATE SERVICE (SEE SITE PLAN SHEET C-3).
- REFUSE WILL BE COLLECTED IN CENTRAL COMPACTOR AND/OR DUMPSTERS AND RECYCLING AREAS WITHIN THE SITE.
- REFUSE FOR THE TWO GENERAL BUILDINGS (ACCESSORY RETAIL) WILL BE COLLECTED IN THE THE CENTRAL COMPACTOR AND/OR DUMPSTERS AND RECYCLING AREAS WITHIN THE SITE (APPROVED ONE GLENWOOD REFUSE AREA).

SHEET INDEX

- 1 OF 1 EXISTING CONDITIONS (ALTA BY JOHN A. EDWARDS AND COMPANY)
- C-2 PROJECT NOTES
- C-3 DEMOLITION PLAN
- C-4 SITE PLAN
- C-5 GRADING PLAN
- C-6 UTILITY PLAN
- SW-1 STORMWATER MANAGEMENT FACILITY DETAILS
- LS-1 LANDSCAPE PLAN
- LS-2 LANDSCAPE DETAILS
- D-1 SITE DETAILS
- D-2 SITE DETAILS

OFFICE BUILDING ELEVATIONS SHEET INDEX (BY JDAVIS)

- SD1.01 FLOOR PLAN - LEVEL 1
- SD1.02 FLOOR PLAN - LEVEL 2
- SD1.03 FLOOR PLAN - LEVEL 3 TO LEVEL 4
- SD1.05 FLOOR PLAN - LEVEL 5
- SD1.06 FLOOR PLAN - LEVEL 6
- SD1.07 FLOOR PLAN - LEVEL 7 TO LEVEL 9
- SD1.10 FLOOR PLAN - LEVEL 10
- SD1.11 ROOF PLAN
- SD2.01 OFFICE BUILDING ELEVATIONS
- SD2.02 OFFICE BUILDING ELEVATIONS
- SD2.03 OFFICE BUILDING ELEVATIONS
- SD2.04 OFFICE BUILDING ELEVATIONS
- SD2.05 OFFICE BUILDING ELEVATIONS
- SD2.06 OFFICE BUILDING ELEVATIONS

RETAIL BUILDING ELEVATIONS SHEET INDEX (BY GENSLER)

- A0.01 RETAIL SOUTH BUILDING - ZONING ELEVATIONS
- A0.02 RETAIL NORTH BUILDING - ZONING ELEVATIONS

FOR REFERENCE ONLY

- C-6 SITE PLAN - AREA A - CITY OF RALEIGH CASE # SR-59-18

REVISION DESCRIPTION NOTES:

- COVER:** UPDATED THE PERMIT APPLICATION TO INDICATE TWO (2) NEW ONE-STORY RETAIL BUILDINGS WOULD BE ADDED TO THE PROJECT SCOPE AS WELL AS THE RECOMBINATION OF AN ADDITIONAL PROPERTY. THE BUILDING TYPE ALSO CHANGES TO INCLUDE AN OPEN LOT AS WELL AS THE PREVIOUSLY PROPOSED MIXED USE DESIGNATION.
- ADDED DATE AND FIELD REVISION TRANSACTION #: 583057.
- SHEET NUMBERS HAVE CHANGED FROM THE PREVIOUSLY APPROVED ASR TO BETTER REPRESENT THOSE FOUND IN THIS SET.
- C-2:** ADDED SHEET TO PLANS TO KEEP GENERAL SITE NOTES IN ONE LOCATION.
- C-3:** CLOUDED ADDED NOTES SHOWING ADDITIONAL PROPERTY LINE TO BE REMOVED. NOTE AND HATCH WAS ALSO ADDED TO THE PLANS INDICATING ADDITIONAL SITE FEATURES ARE TO BE REMOVED DUE TO A SEPARATE APPROVED PROJECT UNDER CITY OF RALEIGH TRANSACTION #559068.
- C-4:** TWO ADDITIONAL GENERAL BUILDINGS (ACCESSORY RETAIL STRUCTURES) AND CORRESPONDING SITE FEATURES HAVE BEEN ADDED TO THE PLANS ALONG WITH THE ADDITION OF AN OPEN SPACE LOT (LOT 2). LOT 1 AND ALL PROPOSED FEATURES ASSOCIATED WITH THAT PORTION OF THE SITE HAVE BEEN APPROVED UNDER CITY OF RALEIGH TRANSACTION #559068.
- SITE DATA HAS BEEN UPDATED TO INCLUDE THE ADDITIONAL LOT INFORMATION AND UPDATED BUILDING AREAS.
- AMENITY AREA CALCULATIONS AND LOCATIONS HAVE BEEN UPDATED TO INCLUDE REQUIREMENTS FOR ALL THREE LOTS. NOTES HAVE BEEN ADDED SHOWING COORDINATION WITH THE PREVIOUSLY APPROVED SITE PLAN UNDER CITY OF RALEIGH TRANSACTION #559068.
- MINIMUM BUILDING HEIGHT CALCULATIONS HAVE NOW BEEN SHOWN ON THE PLANS TO SHOW COMPLIANCE WITH CITY OF RALEIGH UDO SEC. 3.3.2.
- C-5:** TWO ADDITIONAL GENERAL BUILDINGS (ACCESSORY RETAIL STRUCTURES) AND CORRESPONDING SITE FEATURES HAVE BEEN ADDED TO THE PLANS ALONG WITH THE ADDITION OF AN OPEN SPACE LOT (LOT 2). LOT 1 AND ALL PROPOSED FEATURES ASSOCIATED WITH THAT PORTION OF THE SITE HAVE BEEN APPROVED UNDER CITY OF RALEIGH TRANSACTION #559068.
- ADDITIONAL STORM SERVICES HAVE BEEN ADDED FOR THE ADDED RETAIL BUILDINGS ROOF AND SITE DRAINAGE.
- PREVIOUSLY PROPOSED STORM SYSTEM AND DRAINAGE EASEMENT ALONG THE WESTERN SIDE OF THE OFFICE BUILDING ARE NO LONGER REQUIRED AND HAVE BEEN REMOVED FROM THE PLAN.
- C-6:** TWO ADDITIONAL GENERAL BUILDINGS (ACCESSORY RETAIL STRUCTURES) AND CORRESPONDING SITE FEATURES HAVE BEEN ADDED TO THE PLANS ALONG WITH THE ADDITION OF AN OPEN SPACE LOT (LOT 2). LOT 1 AND ALL PROPOSED FEATURES ASSOCIATED WITH THAT PORTION OF THE SITE HAVE BEEN APPROVED UNDER CITY OF RALEIGH TRANSACTION #559068.
- TWO 1,000-GALLON GREASE TRAPS HAVE BEEN ADDED ALONG WITH ONE 3" METER AND BACKFLOW ASSEMBLY FOR DOMESTIC SERVICE TO BOTH RETAIL BUILDINGS.
- SW-1:** ADDITIONAL DESIGN DETAILS HAVE BEEN ADDED.
- LS-1:** TWO ADDITIONAL GENERAL BUILDINGS (ACCESSORY RETAIL STRUCTURES) AND CORRESPONDING SITE FEATURES HAVE BEEN ADDED TO THE PLANS ALONG WITH THE ADDITION OF AN OPEN SPACE LOT (LOT 2). LOT 1 AND ALL PROPOSED FEATURES ASSOCIATED WITH THAT PORTION OF THE SITE HAVE BEEN APPROVED UNDER CITY OF RALEIGH TRANSACTION #559068.
- AMENITY TREES HAVE BEEN ADJUSTED BASED ON NEW CALCULATIONS TO ALIGN WITH NEW SITE REQUIREMENTS AND ALIGN WITH APPROVED PLANS UNDER CITY OF RALEIGH TRANSACTION #559068.
- LS-2:** ADDED AN UPDATED TREE INSTALLATION DETAIL AND MOVABLE PLANTER DETAIL.

McADAMS

The John R. McAdams Company, Inc.
2905 Meridian Parkway
Durham, NC 27713

phone 919. 361. 5000
fax 919. 361. 2269
license number: C-0293

www.mcadamsco.com

CONTACT

RICK SLATER
slater@mcadamsco.com
PHONE: 919. 361. 5000

CLIENT

OWNER/DEVELOPER
GLENWOOD ONE OFFICE, LLC
501 FAIRMOUNT AVENUE, SUITE 101
TOWSON, MARYLAND, 21286
PHONE: 410. 769. 6139

**HERITAGE
PROPERTIES, INC.**

PROJECT DIRECTORY

OWNER/DEVELOPER
GLENWOOD ONE OFFICE, LLC
501 FAIRMOUNT AVENUE, SUITE 101
TOWSON, MARYLAND, 21286
PHONE: 410. 769. 6139

ARCHITECT (OFFICE)
JDAVIS ARCHITECT, PLLC
510 SOUTH WILMINGTON STREET
RALEIGH, NORTH CAROLINA, 27601
PHONE: 919. 835. 1500

ARCHITECT (RETAIL)
GENSLER
530 HILLSBOROUGH STREET
RALEIGH, NORTH CAROLINA, 27603
PHONE: 919. 239. 7828

LANDSCAPE ARCHITECT
JDAVIS ARCHITECT, PLLC
510 SOUTH WILMINGTON STREET
RALEIGH, NORTH CAROLINA, 27601
PHONE: 919. 835. 1500

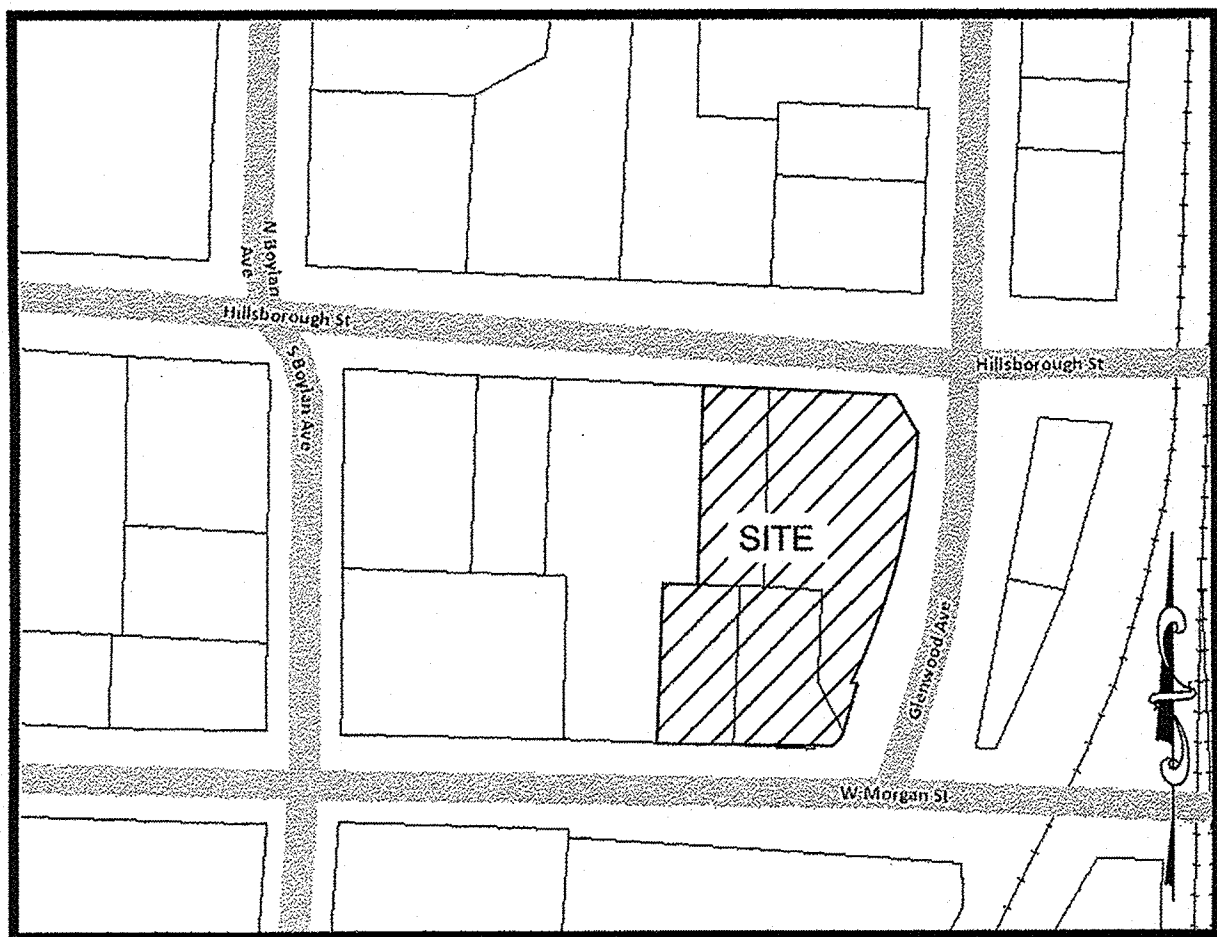
SURVEYOR
JOHN A. EDWARDS & CO.
300 WADE AVENUE
RALEIGH, NORTH CAROLINA, 27605
PHONE: 919. 828. 4428

REVISIONS

NO.	DATE	DESCRIPTION
1	02.14.2019	LOT LINE ADJUSTMENTS AND RETAIL BLDGS

ADMINISTRATIVE SITE REVIEW FOR:

ONE
GLENWOOD
RALEIGH, NC, 27603
PROJECT NUMBER: HTG-15020



VICINITY MAP
NOT TO SCALE

NOTES CORRESPONDING TO SCHEDULE B, SECTION II (EXCEPTIONS)

- VERBATIM, AS PER COMMONWEALTH LAND TITLE INSURANCE COMPANY
FILE NO: MET2015-01480 COMMITMENT DATE: JULY 20, 2015 AT 8:00 AM IN WAKE COUNTY
1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment. (NOT A MATTER OF SURVEY)
 2. The lien of all taxes for the year 2015 and thereafter, which are not yet due and payable. (NOT A MATTER OF SURVEY)
 3. Easements, setback lines and any other matters shown on plot recorded in Book of Maps 2008, Page 262 Wake County Registry. (AS SHOWN ON SURVEY)
 4. Joint Driveway easement recorded in book 929, page 206 and referenced in Deed Book 11367, Page 1339, Wake County Registry (AS SHOWN ON SURVEY).
 5. Joint Driveway Easement recorded in Deed Book 212, Page 446, Wake County Registry (AS SHOWN ON SURVEY)
 6. Easement(a) in favor of the State Highway Commission as recorded in Book 2100, Page 545, Wake County Registry. (AFFECTS SUBJECT PROPERTY AS A TEMPORARY SLOPE EASEMENT, UNABLE TO REVIEW REFERENCED PLANS)
 7. Easement(a) in favor of the Department of Transportation as recorded in Book 7542, Page 585, Wake County Registry. (AFFECTS SUBJECT PROPERTY AS A SLOPE EASEMENT, UNABLE TO REVIEW REFERENCED PLANS).
 8. Easements and Right of ways of record (AS SHOWN ON SURVEY)
 9. Intentionally Deleted
 10. No coverage is provided as to the amount of acreage or square footage of the land (ACREAGE AS SHOWN ON SURVEY)
 11. Note: no closing services insurance protection-as to the transaction for which this commitment is issued, the company does not afford insured closing protection to the proposed insured(s) identified in schedule A of this Commitment. Any closing protection coverage or letter which heretofore may have been or hereafter may be effective and is hereby rescinded as to this transaction absent revision of commitment to specifically provide for said coverage. (NOT A MATTER OF SURVEY).

NOTES CORRESPONDING TO SCHEDULE B, SECTION II (EXCEPTIONS)

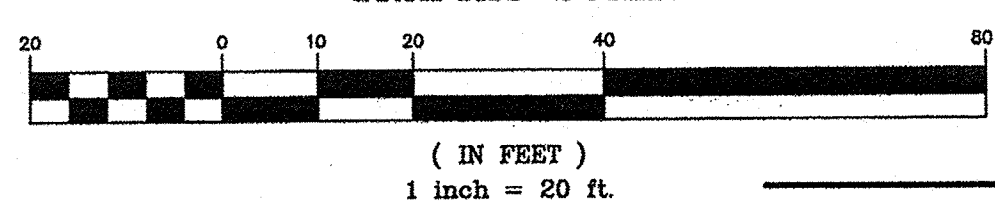
- VERBATIM, AS PER COMMONWEALTH LAND TITLE INSURANCE COMPANY
FILE NO: MET2015-01571 COMMITMENT DATE: JULY 14, 2015 AT 8:00 AM IN WAKE COUNTY
1. Defects, liens, encumbrances, adverse claims or other matters, if any, created, first appearing in the public records or attaching subsequent to the effective date hereof but prior to the date the proposed insured acquires for value of record the estate or interest or mortgage thereon covered by this Commitment. (NOT A MATTER OF SURVEY)
 2. The lien of all taxes for the year 2015 and thereafter, which are not yet due and payable. (NOT A MATTER OF SURVEY)
 3. Easements, setback lines and any other matters shown on plot recorded in Book of Maps 2008, Page 262 Wake County Registry. (AS SHOWN ON SURVEY)
 4. 606 West Morgan Street & 609 Hillsborough Street have no independent means of access, but rather are dependent upon adjoining 608 West Morgan Street. (NO CURB CUTS ON LOT 1 AND 3, AS SHOWN ON SURVEY).
 5. Intentionally Deleted
 6. No coverage is provided as to the amount of acreage or square footage of the land. (ACREAGE AS SHOWN ON SURVEY)
 7. Note: no closing services insurance protection-as to the transaction for which this commitment is issued, the company does not afford insured closing protection to the proposed insured(s) identified in schedule A of this Commitment. Any closing protection coverage or letter which heretofore may have been or hereafter may be effective and is hereby rescinded as to this transaction absent revision of commitment to specifically provide for said coverage. (NOT A MATTER OF SURVEY)

ALTA/ACSM SURVEYOR'S CERTIFICATION

To: GLENWOOD HPI LLC, a Maryland Limited Liability Company, METRO TITLE COMPANY LLC and COMMONWEALTH LAND TITLE INSURANCE COMPANY. This is to certify that this map or plot and the survey on which it is based were made in accordance with the 2011 Minimum Standard Detail Requirements for ALTA/ACSM Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 5, 6(A), 8, 9, 11(a), 13, 16, 17, of that Part A thereof. The field work was completed on August 10, 2015. The date of Plot or Map: August 18, 2015. Last revised December 7, 2015.

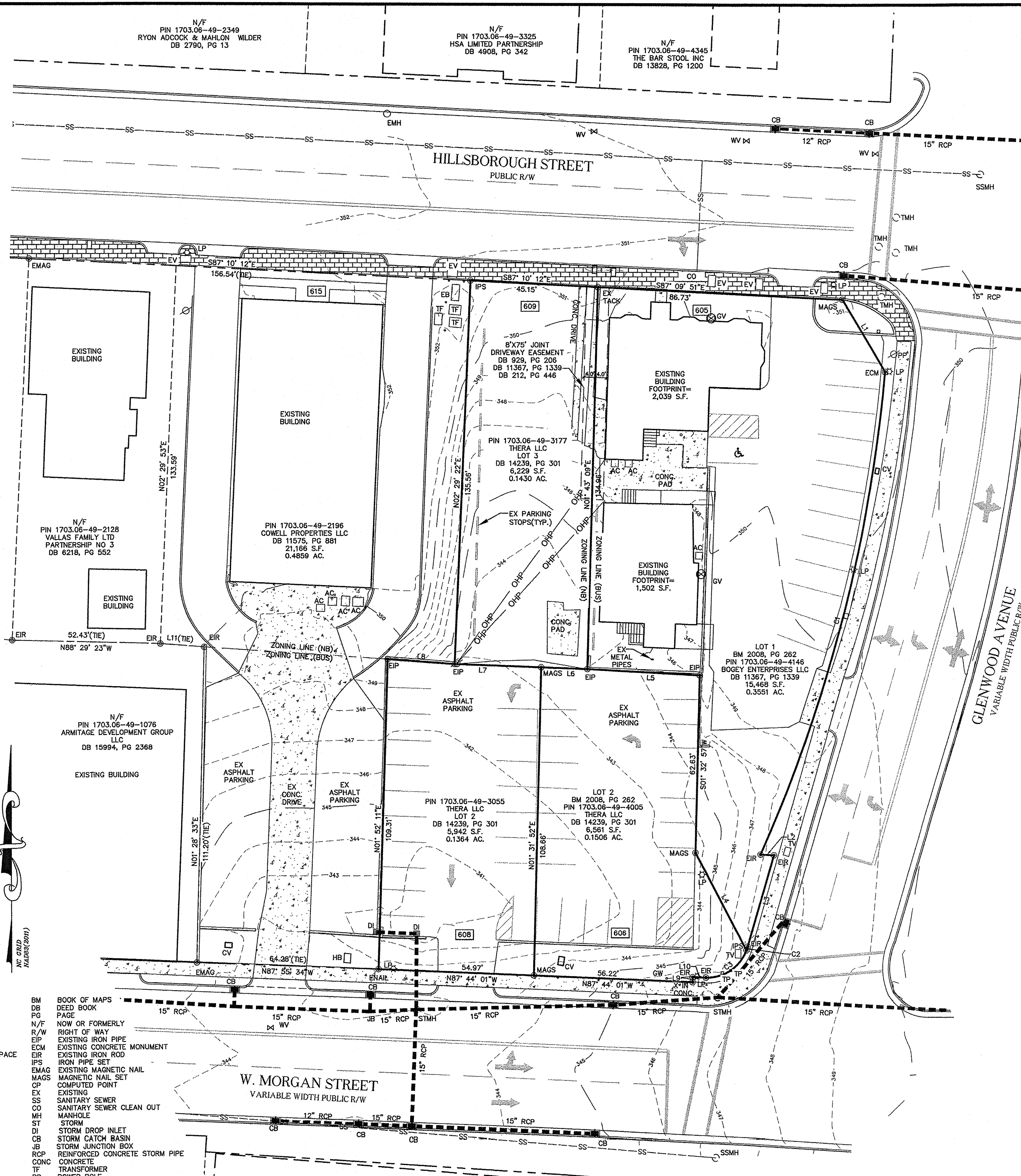
Surveyor's Signature
Jonathan R. Callahan, P.L.
Name of Surveyor
L-4276
License Number

GRAPHIC SCALE



LEGEND

- BM BOOK OF MAPS
- DE DEED BOOK
- PG PAGE
- N/F NOW OR FORMERLY
- R/W RIGHT OF WAY
- EX EXISTING IRON PIPE
- ECM EXISTING CONCRETE MONUMENT
- EIR EXISTING IRON ROD
- IPS IRON PIPE SET
- EMAG EXISTING MAGNETIC NAIL
- MAGS MAGNETIC NAIL SET
- CP COMPUTED POINT
- EX EXISTING
- SS SANITARY SEWER
- CO SANITARY SEWER CLEAN OUT
- MH MANHOLE
- ST STORM
- DI STORM DROP INLET
- CB STORM CATCH BASIN
- SB STORM JUNCTION BOX
- RCP REINFORCED CONCRETE STORM PIPE
- CONC CONCRETE
- TF TRANSFORMER
- PP POWER POLE
- GUY GUY ANCHORS
- WB WATER VALVE
- EV ELECTRICAL VALVE
- TV TRAFFIC VAULT
- VB VISIBLE VAULT
- EV ELECTRIC VAULT
- TMH TELEPHONE MANHOLE
- EMH ELECTRIC MANHOLE
- TP TRAFFIC POLE
- XXX BUILDING ADDRESS
- CONCRETE
- NO PARKING AREA
- BOUNDARY LINE
- RIGHT OF WAY LINE
- LINES NOT SURVEYED
- EASEMENT LINES
- OHP OVERHEAD ELECTRICAL LINES
- W WATER LINE
- SS SANITARY SEWER LINE
- ST STORM PIPE
- BUILDING LINE
- G GAS LINE



AS SURVEYED DESCRIPTIONS

ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING IN THE CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA, PIN NUMBER 1703.06-49-4146 AND IS DESCRIBED AS FOLLOWS:
BEGINNING AT AN EXISTING TACK IN CONCRETE ON THE SOUTHERN RIGHT-OF-WAY OF HILLSBOROUGH STREET, SAID TACK BEING THE NORTHWEST CORNER OF LOT 1 AS SHOWN IN BOOK OF MAPS 2008 AT PAGE 262 AND HAVING NORTH CAROLINA GRID COORDINATES NORTHING: 739,244.37, EASTING: 2,104,398.73 (NAD83(2011)), RUNNING THENCE FROM SAID POINT AND PLACE OF BEGINNING SOUTH 87° 09' 51" EAST A DISTANCE OF 86.73 TO A MAG NAIL SET; THENCE ALONG SAID RIGHT OF WAY, SOUTH 30° 43' 35" EAST FOR A DISTANCE OF 29.61 FEET TO AN EXISTING CONCRETE MONUMENT, SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 542.98 FEET, A CHORD OF 176.22 FEET, BEARING SOUTH 14° 41' 16" WEST; THENCE ALONG SAID CURVE WITH THE WESTERN RIGHT OF WAY OF GLENWOOD AVE. A LENGTH OF 177.01 FEET TO AN EXISTING IRON ROD; THENCE SOUTH 87° 25' 34" EAST FOR A DISTANCE OF 4.74 FEET TO AN EXISTING IRON ROD; THENCE SOUTH 16° 16' 37" WEST FOR A DISTANCE OF 33.56 FEET SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 15.00 FEET, A CHORD OF 1.34 FEET, BEARING SOUTH 15° 24' 18" WEST; THENCE ALONG SAID CURVE WITH THE WESTERN RIGHT OF WAY OF GLENWOOD AVE. A LENGTH OF 1.34 FEET TO AN IRON PIPE SET; THENCE LEAVING SAID RIGHT OF WAY, NORTH 27° 37' 33" WEST FOR A DISTANCE OF 38.70 FEET TO A MAG NAIL SET; THENCE NORTH 01° 32' 57" EAST FOR A DISTANCE OF 62.63 FEET TO AN EXISTING IRON PIPE; THENCE NORTH 86° 57' 33" WEST FOR A DISTANCE OF SAID 39.83 FEET TO AN EXISTING IRON PIPE; THENCE NORTH 01° 43' 09" EAST FOR A DISTANCE OF 134.96 FEET TO AN EXISTING TACK IN CONCRETE, SAID TACK ALSO BEING THE POINT AND PLACE OF BEGINNING, CONTAINING 0.3551 ACRES OR 15,468 SQUARE FEET.

ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING IN THE CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA, PIN NUMBER 1703.06-49-3177 AND IS DESCRIBED AS FOLLOWS:
BEGINNING AT AN EXISTING TACK IN CONCRETE ON THE SOUTHERN RIGHT-OF-WAY OF HILLSBOROUGH STREET, SAID TACK BEING THE NORTHEAST CORNER OF LOT 3 AS DESCRIBED IN DEED BOOK 14239 AT PAGE 301 AND HAVING NORTH CAROLINA GRID COORDINATES NORTHING: 739,244.37, EASTING: 2,104,398.73 (NAD83(2011)), RUNNING THENCE FROM SAID POINT AND PLACE OF BEGINNING, LEAVING SAID RIGHT OF WAY, SOUTH 01° 43' 09" WEST A DISTANCE OF 134.96 TO AN EXISTING IRON PIPE; THENCE NORTH 87° 55' 12" WEST FOR A DISTANCE OF 16.34 FEET TO A MAG NAIL SET; THENCE NORTH 01° 32' 57" EAST FOR A DISTANCE OF 62.63 FEET TO AN EXISTING IRON PIPE; THENCE NORTH 02° 29' 22" EAST FOR A DISTANCE OF 135.56 FEET TO AN IRON PIPE SET ON THE SOUTHERN RIGHT OF WAY OF HILLSBOROUGH STREET; THENCE ALONG SAID RIGHT OF WAY, SOUTH 87° 10' 12" EAST FOR A DISTANCE OF 45.16 FEET TO AN EXISTING TACK IN CONCRETE, SAID TACK ALSO BEING THE POINT AND PLACE OF BEGINNING, CONTAINING 0.1430 ACRES OR 6,229 SQUARE FEET.

ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING IN THE CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA, PIN NUMBER 1703.06-49-3055 AND IS DESCRIBED AS FOLLOWS:
BEGINNING AT A MAG NAIL SET ON THE NORTHEAST CORNER OF LOT 2 AS DESCRIBED IN DEED BOOK 14239 AT PAGE 301 AND HAVING NORTH CAROLINA GRID COORDINATES NORTHING: 739,110.06, EASTING: 2,104,378.38 (NAD83(2011)), RUNNING THENCE FROM SAID POINT AND PLACE OF BEGINNING SOUTH 01° 52' 52" WEST A DISTANCE OF 108.66 TO A MAG NAIL SET ON THE NORTHERN LIMITS OF W. MORGAN STREET; THENCE ALONG SAID RIGHT OF WAY, NORTH 87° 44' 01" WEST FOR A DISTANCE OF 54.97 FEET TO AN EXISTING NAIL IN CONCRETE; THENCE NORTH 01° 52' 11" EAST FOR A DISTANCE OF 108.31 FEET TO AN EXISTING IRON PIPE; THENCE SOUTH 85° 54' 18" EAST FOR A DISTANCE OF 23.72 FEET TO AN EXISTING IRON PIPE; THENCE SOUTH 87° 55' 12" EAST FOR A DISTANCE OF 30.62 FEET TO A MAG NAIL SET, SAID MAG NAIL ALSO BEING THE POINT AND PLACE OF BEGINNING, CONTAINING 0.3584 ACRES OR 6,561 SQUARE FEET.

ALL THAT CERTAIN TRACT OR PARCEL OF LAND LYING AND BEING IN THE CITY OF RALEIGH, WAKE COUNTY, NORTH CAROLINA, PIN NUMBER 1703.06-49-4005 AND IS DESCRIBED AS FOLLOWS:
BEGINNING AT A MAG NAIL SET ON THE NORTHEAST CORNER OF LOT 2 AS SHOWN IN BOOK OF MAPS 2008 AT PAGE 262 AND HAVING NORTH CAROLINA GRID COORDINATES NORTHING: 739,110.06, EASTING: 2,104,378.38 (NAD83(2011)), RUNNING THENCE FROM SAID POINT AND PLACE OF BEGINNING, SOUTH 87° 55' 12" EAST FOR A DISTANCE OF 16.34 FEET TO AN EXISTING IRON PIPE; THENCE SOUTH 85° 57' 33" EAST A DISTANCE OF 39.83 TO AN EXISTING IRON PIPE; THENCE SOUTH 01° 32' 57" WEST FOR A DISTANCE OF 62.63 FEET TO A MAG NAIL SET; THENCE SOUTH 27° 37' 33" EAST FOR A DISTANCE OF 38.70 FEET TO AN IRON PIPE SET; SAID POINT BEING THE BEGINNING OF A CURVE TO THE RIGHT HAVING A RADIUS OF 15.00 FEET, A CHORD OF 17.29 FEET, BEARING SOUTH 85° 05' 16" WEST; THENCE ALONG SAID CURVE WITH THE WESTERN RIGHT OF WAY OF GLENWOOD AVE. A LENGTH OF 18.43 FEET TO AN EXISTING IRON ROD ON THE NORTHERN RIGHT OF WAY OF W. MORGAN STREET; THENCE NORTH 88° 09' 01" WEST FOR A DISTANCE OF 4.88 FEET TO AN EXISTING IRON ROD; THENCE SOUTH 01° 12' 20" WEST FOR A DISTANCE OF 1.76 FEET TO AN IRON PIPE SET; THENCE NORTH 87° 44' 01" WEST FOR A DISTANCE OF 56.22 FEET TO A MAG NAIL SET; THENCE NORTH 01° 31' 52" EAST FOR A DISTANCE OF 108.68 FEET TO A MAG NAIL SET, SAID MAG NAIL ALSO BEING THE POINT AND PLACE OF BEGINNING, CONTAINING 0.1506 ACRES OR 6,561 SQUARE FEET.

SURVEYOR'S NOTES

1. All distances are horizontal ground.
2. All dimensions are in feet unless otherwise noted.
3. All areas computed using coordinates from measured field data.
4. The ALTA/ACSM Land Title Survey shown herein is NOT FOR RECORDATION.
5. This survey satisfies all state-required minimum standards.
6. The horizontal datum is NAD 83(2011), and vertical datum is NAVD 88.
7. Improvements within any utility easement or servitudes benefiting the subject properties are as shown on survey.
8. The subject property is located within an area having a Zone Designation "X" by FEMA Form 37200(03/00) with an effective date of May 2, 2006. Subject property is not located in a flood hazard area.
9. Monuments have been placed at all major corners of the boundary of the subject property, unless already marked by existing monuments or unable to set due to concrete or trade building. Monuments include iron pipes, iron pipes with a cap and lock, map nails, railroad spikes, concrete nails and concrete monuments.
10. No observed evidence of current earth moving work, building construction or building addition.
11. No observed evidence of recent street or sidewalk construction or repairs.
12. The subject property is Zoned NB & BUS.
13. The site was localized utilizing Real-Time Kinematic (RTK) Global Positioning System (GPS) solutions referencing the Continuously Operating Reference Station (CORS) network base station NCRD, Raleigh, NC.
14. All references are made to the Wake County Registry.
15. Written legal descriptions are noted in a clockwise direction for each parcel and may differ from direction depicted on survey or tables.

SITE DATA

PIN NUMBER:	1703.06-49-4005	PIN NUMBER:	1703.06-49-4146
SITE ADDRESS:	606 MORGAN STREET RALEIGH, NC 27603	SITE ADDRESS:	605 HILLSBOROUGH STREET RALEIGH, NC 27603
TOTAL PROPERTY AREA:	6,561 S.F. -0.1506 AC.	TOTAL PROPERTY AREA:	15,468 S.F. - 0.3551 AC.
REFERENCE:	DB 14239, PG 301	REFERENCE:	DB 2008, PG 262 DB 11367, PG 1339
LAND USE:	ACRE IMP	LAND USE:	COMMERCIAL
TOWNSHIP:	RALEIGH	TOWNSHIP:	RALEIGH
PARKING:	20 REGULAR SPACES	PARKING:	13 REGULAR SPACES, 1 HANDICAP SPACE
PIN NUMBER:	1703.06-49-3055	PIN NUMBER:	1703.06-49-3177
SITE ADDRESS:	608 MORGAN STREET RALEIGH, NC 27603	SITE ADDRESS:	609 HILLSBOROUGH STREET RALEIGH, NC 27603
TOTAL PROPERTY AREA:	5,942 S.F. -0.1364 AC.	TOTAL PROPERTY AREA:	6,229 S.F. -0.1430 AC.
REFERENCE:	DB 14239, PG 301	REFERENCE:	DB 14239, PG 301
LAND USE:	ACRE IMP	LAND USE:	VACANT
TOWNSHIP:	RALEIGH	TOWNSHIP:	RALEIGH
PARKING:	18 REGULAR SPACES	PARKING:	0 PARKING SPACES

ZONING DATA

ZONING:	NB	BUS
ZONING SETBACKS:	FRONT YARD: 30'	FRONT YARD: 0'
SIDE YARD:	0'	CORNER LOT SIDE YARD: 0'
CORNER LOT SIDE YARD:	1/2 DEPTH OF ADJACENT LOT NOT LESS THAN 10'	REAR YARD: 0'
REAR YARD:	0'	MAXIMUM HEIGHT: 50' AT MINIMUM SETBACK LINE

CURVE	CURVE TABLE				
	LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING
C1	177.01'	542.98'	018°40'43"	176.22'	S14° 41' 16"W
C2	1.34'	15.00'	005°06'45"	1.34'	S18° 24' 18"W
C3	18.43'	15.00'	070°24'29"	17.29'	S56° 09' 55"W

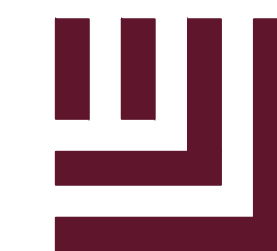
LINE #	LINE TABLE	
	LENGTH	DIRECTION
L1	29.61'	S30° 43' 35"E
L2	4.74'	S87° 25' 34"E
L3	33.56'	S16° 16' 37"W
L4	38.70'	S27° 37' 33"E
L5	39.83'	N86° 57' 33"W
L6	16.34'	S87° 55' 12"E
L7	30.62'	S87° 55' 12"E
L8	23.72'	S85° 54' 18"E
L9	1.76'	S01° 12' 20"W
L10	4.68'	N88° 09' 01"W
L11	15.54'	N85° 39' 16"W

DATE	REVISION	BY
12/7/15	COMMENT REVISIONS	ZCS
9/16/15	COMMENT REVISIONS	ZCS
9/8/15	COMMENT REVISIONS	ZCS
9/4/15	ADDITIONAL TITLE	ZCS

JOHN A. EDWARDS & COMPANY
Consulting Engineers
NC License F-0289
333 Wade Ave., Raleigh, N.C. 27605
Phone: (919) 828-4428
Fax: (919) 828-4711
E-mail: info@jaeco.com

SCALE:	DATE:
1" = 20'	8-18-2015
	DRAWN BY:
	ZCS
FILE NO:	CHECKED BY:
	JAE, JR.

SURVEY OF:	SHEET
605 & 609 HILLSBOROUGH STREET	1
608 & 606 WEST MORGAN STREET	OF
RALEIGH WAKE COUNTY NORTH CAROLINA	1
ALTA/ACSM LAND TITLE SURVEY	



McADAMS

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Durham, NC 27713

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license number: C-0293

www.mcadamsco.com

CLIENT

HERITAGE PROPERTIES
501 FAIRMONT AVENUE, SUITE 101
TOWNSON, MARYLAND 21286
PHONE: 410. 769. 6139



ONE GLENWOOD
ADMINISTRATIVE SITE REVIEW
1 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA, 27603

SITE DATA

SITE ADDRESS: 605 HILLSBOROUGH ST, 609 HILLSBOROUGH ST, 615 HILLSBOROUGH ST, 606 W MORGAN ST, 608 W MORGAN ST.

PIN NUMBER: 1703494146, 1703493177, 1703492196, 1703494005, 1703493055

DEED BOOK: DB 016241, DP 02281; DB 016241, DP 02643; DB 011575, DP 00881; DB 016241, DP 02643; DB 016241, DP 02643

ZONING(S): DX-12-UG + DX-12-UG

ACREAGE: 0.36 + 0.14 + 0.15 + 0.14 + 0.49 = 1.28

PROPOSED USE: MIXED-USE: OFFICE/RETAIL (LOT 3)
OPEN LOT (LOT 2)

PROPOSED GROSS SF: 249,355 SF (17,553 RETAIL + 231,802 OFFICE)

GENERAL DRIVEWAY NOTE

1. DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 50' FROM THE INTERSECTION OF 2 STREET RIGHTS-OF-WAY, NOT INCLUDING AN ALLEY.

HC RAMPS:

1. ALL HC RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.

2. POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.

SITE LEGEND

- SIGNAGE
- YARD LIGHTS
- LIGHT POLE
- POWER POLE
- TRAFFIC DIRECTIONAL ARROW
- BIKE RACK
- ACCESSIBLE PARKING STALL
- VAN ACCESSIBLE PARKING STALL
- ACCESSIBLE RAMPS
- ACCESSIBLE ROUTE
- PHASE LINE
- PROPERTY LINE
- RIGHT-OF-WAY LINE
- LOT LINE
- EASEMENT LINE
- CENTERLINE
- OPEN AMENITY AREA
- PRIVATE CONCRETE SIDEWALK
- HEAVY DUTY CONCRETE SIDEWALK

OUTDOOR AMENITY AND PARKING REQUIREMENTS

PARKING
RETAIL USES (FIRST 30K SF EXEMPT) 17,553 - 30,000 = 0 SPACES
OUTDOOR DISPLAY AREA (FIRST 30K EXEMPT) 2,075 - 30,000 = 0 SPACES
GROSS AREA 231,802 - 10,000 (EXEMPT) = 221,802/500 = 444 SPACES
TOTAL PARKING REQUIRED = 444 SPACES (9 HC SPACES)
PARKING PROVIDED = 2 TEMPORARY LOADING SPACES (SEE NOTE BELOW)

RETAIL USES (MINIMUM 4)
SHORT TERM (1 SPACE PER 8,000 SF) = 17,553/8,000 = 4 SPACES
LONG TERM (1 SPACE PER 0 SF) = 0 SPACES
TOTAL REQUIRED = 4 SPACES

BIKE PARKING PROVIDED (ON STREET) = 4 SPACES
LOT 1 SITE AREA: 0.922 AC = 40,387 SF
LOT 2 SITE AREA: 0.882 AC = 3,559 SF
LOT 3 SITE AREA: 0.885 AC = 38,559 SF
TOTAL SITE AREA: 1.894 AC = 82,505 SF
TOTAL REQUIRED: 10.00% OF SITE = .190 AC = 8,251 SF
LOT 1: 5055' FLOOR ABOVE 7 STORIES = (3)'50 = 1505F
LOT 3: 5055' FLOOR ABOVE 7 STORIES = (3)'50 = 1505F
TOTAL REQUIRED = 8,551 SF (196 AC)
PROVIDED: OUTDOOR AMENITY AREA: 8,551 SF (0.196 AC) = 10.36%
SEATING REQUIRED: 1 LF/50 SF OF AMENITY AREA = 8,551/50 = 171.5 LF
SEATING PROVIDED: 171.5 LF MIN. IN AMENITY AREA
TREES PROVIDED: 1 TREE/1,000 SF = 8,551/1,000 = 8.6 TREES
TREES PROVIDED: 9 TREES (SEE LANDSCAPE PLANS)

NOTES:

1. ALL PARKING TO BE PROVIDED IN PARKING DECK LOCATED AT 607 W. MORGAN STREET (PIN 1073483864). SITE PLAN FOR PARKING DECK TO BE FILED UNDER SEPARATE CASE #.

2. ADMINISTRATIVE ALTERNATE REQUIRED FOR ISSUE WITH BUILDING MASS STANDARDS (3.3.3)

3. AMENITY AREA TO BE PROVIDED IN HATCHED AREA FOR THIS PROJECT AND BLOCK 83 PROJECT APPROVED UNDER ADMINISTRATIVE SITE REVIEW TRANSACTION #559068.

LOT 2 NOTE:

1. LOT 2 IN ITS ENTIRETY IS TO BE A PEDESTRIAN CROSS ACCESS EASEMENT AND BLANKET PRIVATE STORM DRAINAGE EASEMENT.

MINIMUM BUILDING HEIGHT STREET FACADE CALCS

*PER CITY OF RALEIGH UDO SEC. 3.3.2. DX-12 URBAN FRONTAGES MUST HAVE A MIN OF 75% OF STREET FACING FACADE AT MINIMUM HEIGHT. MINIMUM HEIGHT IS DEFINED AS 2 STORIES.

LOT 3

HILLSBOROUGH STREET: FRONTAGE = 161.0'
(PRIMARY) MIN BUILDING HEIGHT = 121.1'
% OF FRONTAGE WIDTH = 75.2%

GLENWOOD AVE: FRONTAGE = 230.5'
(SECONDARY) MIN BUILDING HEIGHT = 219.4'
% OF FRONTAGE WIDTH = 95.2%

MORGAN STREET: FRONTAGE = 150.0'
(SECONDARY) MIN BUILDING HEIGHT = 112.5'
% OF FRONTAGE WIDTH = 75.0%

LOT 2

OPEN LOT - N/A

LINES AND CURVES:

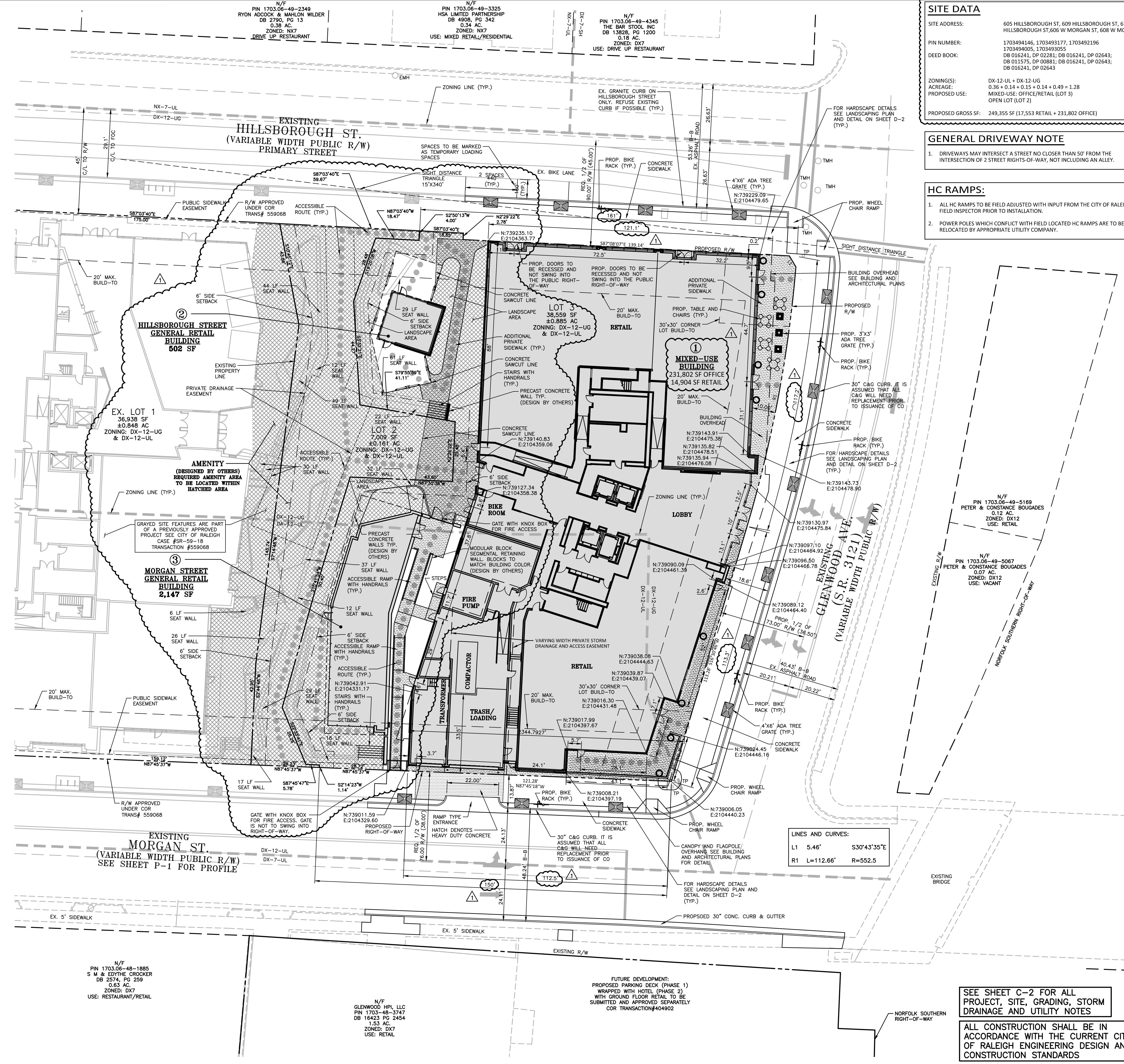
L1 5.46' S30°43'35"E
R1 L=112.66' R=552.5

SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS

GRAPHIC SCALE

1" = 20 FT.

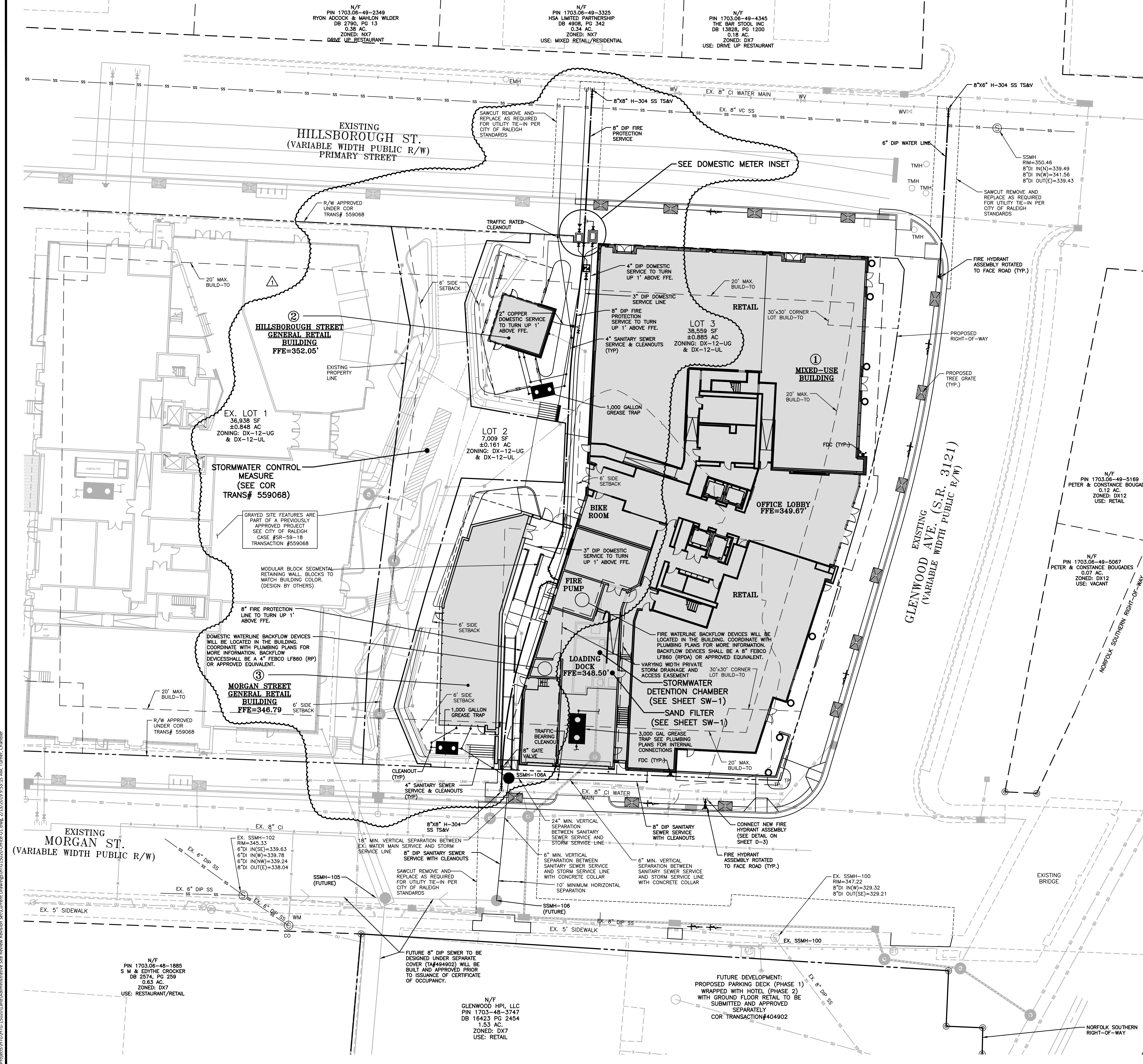


N/F
PIN 1703.06-48-1885
S M & EDYTHE CROCKER
DB 2374, PG 259
0.63 AC.
ZONED: DX7
USE: RESTAURANT/RETAIL

N/F
GLENWOOD HPI, LLC
PIN 1703-48-3747
DB 16423 PG 2454
1.53 AC.
ZONED: DX7
USE: RETAIL

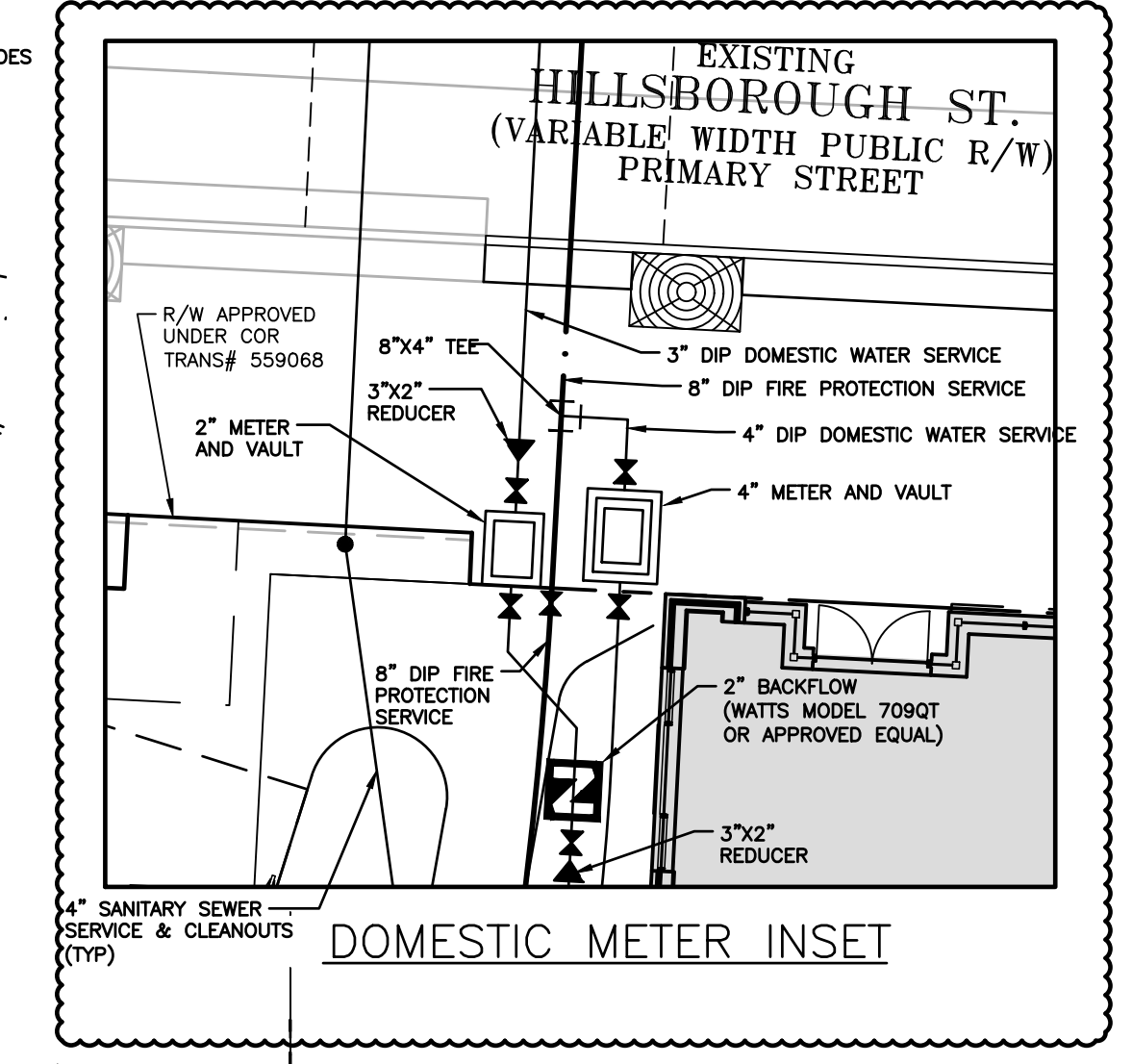
FUTURE DEVELOPMENT:
PROPOSED PARKING DECK (PHASE 1)
WRAPPED WITH HOTEL (PHASE 2)
WITH GROUND FLOOR RETAIL TO BE
SUBMITTED AND APPROVED SEPARATELY
COR TRANSACTION#404902

X:\Projects\VTG\15020\15020\Land\Administrative\Site\Review\Revision Set\Current\Drawings\VTG15020\Office-SI.dwg, 2/13/2019 10:00:41 AM, Turner, Chandler



UTILITY LEGEND

	FIRE HYDRANT ASSEMBLY
	FIRE DEPARTMENT CONNECTION (FDC)
	WATER METER
	WATER VALVE
	POST INDICATOR VALVE
	VALVE IN MANHOLE
	METER & VAULT
	BACKFLOW PREVENTER
	REDUCER
	PLUG
	BLOW-OFF ASSEMBLY
	SANITARY SEWER MANHOLE
	SEWER CLEAN-OUT
	GREASE TRAP
	SEWER FLOW DIRECTION ARROW
	YARD LIGHTS
	LIGHT POLE
	POWER POLE
	LINE BREAK SYMBOL
	WATERLINE
	WATER SERVICE LINE
	UTILITY SLEEVE
	SANITARY SEWER
	SEWER SERVICE LINE
	GAS LINE
	OVERHEAD UTILITY
	UNDERGROUND ELECTRIC
	TELEPHONE
	EASEMENT LINE



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ONE GLENWOOD
ADMINISTRATIVE SITE REVIEW
1 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA, 27603

REVISIONS

NO.	DATE	DESCRIPTION
1	02.14.2019	LOT LINE ADJUSTMENTS & RETAIL BLDGS

PLAN INFORMATION

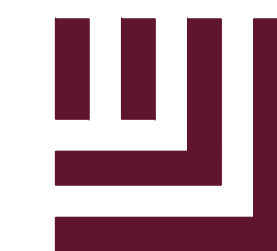
PROJECT NO.	HTG-15020
FILENAME	HTG15020-U1
CHECKED BY	CHT
DRAWN BY	CHT
SCALE	1"=20'
DATE	12.05.2016

UTILITY PLAN

C-6

PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

X:\Projects\HTG-15020\Area\Administrative_Site_Review_Revision_Sets\Current_Drawings\HTG-15020-Office-U1.dwg, 2/13/2019 9:53:15 AM, Turner, Chandler



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1 GLENWOOD AVENUE
RALEIGH, NORTH CAROLINA, 27603

TRAFFIC CONTROL NOTES

- 1. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF UTILITIES PRIOR TO INSTALLATION.
2. THE PLAN DEPICTS PLANTINGS REQUIRED BY THE CITY OF RALEIGH.
3. ALL PLANT MATERIAL IS TO COMPLY WITH AMERICAN STANDARDS FOR NURSERY STOCK BY THE AMERICAN ASSOCIATION OF NURSEYMEN, INC.
4. LOCATION OF PLANT MATERIAL TO BE REVIEWED BY LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
5. ALL CONSTRUCTION TO CONFORM TO THE STANDARDS AND SPECIFICATION OF THE CITY OF RALEIGH.
6. ALL PLANTING BEDS ARE TO BE MULCHED TO A MINIMUM DEPTH OF 3".
7. ALL PLANTS TO BE COMPACT, UNIFORM AND WELL GROWN.
8. ALL CONFLICTS BETWEEN PROPOSED LANDSCAPE, UTILITIES AND STORMWATER WILL BE RESOLVED PRIOR TO APPLICATION FOR BUILDING PERMITS. UTILITY AND STORMWATER PLANS DEPICTED IN THIS SUBMITTAL ARE PRELIMINARY AND ARE SUBJECT TO CHANGE WITH THE DEVELOPMENT OF CONSTRUCTION DOCUMENTS.

SITE DATA

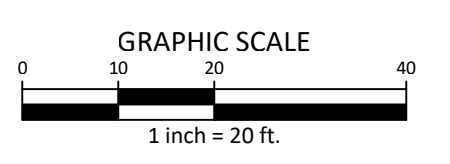
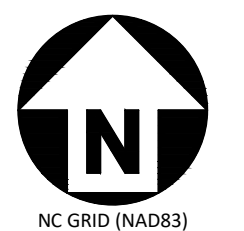
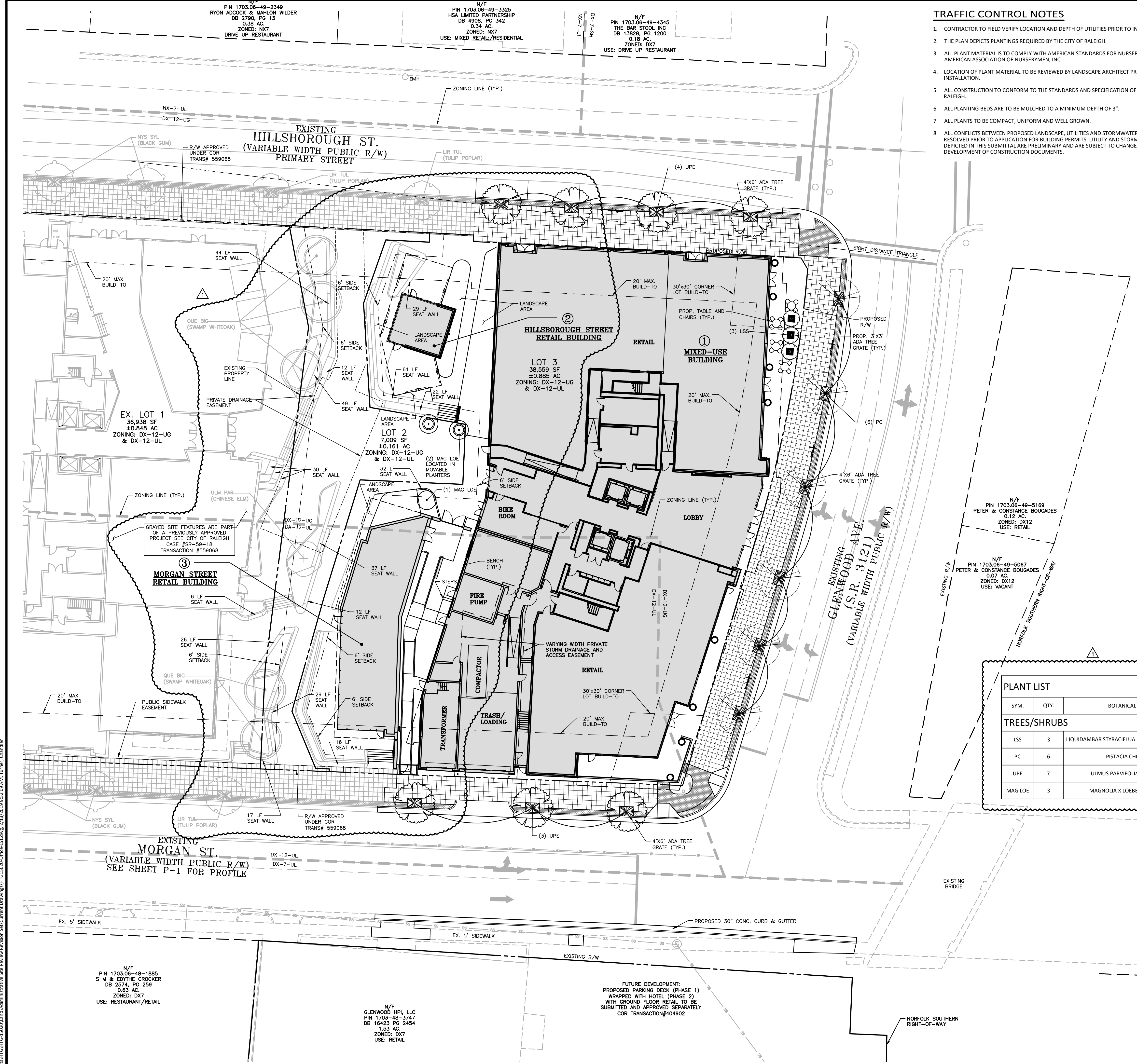
SITE ADDRESS: 605 HILLSBOROUGH ST, 609 HILLSBOROUGH ST, 615 HILLSBOROUGH ST, 606 W MORGAN ST, 608 W MORGAN ST.
PIN NUMBER: 1703494146, 1703493177, 1703492196
DEED BOOK: 1703494005, 1703493055
ZONING(S): DX-12-UG + DX-12-UG
ACREAGE: 0.36 + 0.14 + 0.15 + 0.24 + 0.49 = 1.28
PROPOSED USE: MIXED-USE: OFFICE/RETAIL (LOT 3)
PROPOSED GROSS SF: 249,355 SF (17,553 RETAIL + 231,802 OFFICE)

GENERAL NOTES

- 1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH ALL CITY OF RALEIGH AND NCDOT STANDARDS AND SPECIFICATIONS.
2. IF UNFORESEEN CONDITIONS DEVELOP DURING CONSTRUCTION, REFER TO "CITY OF RALEIGH STREET DESIGN MANUAL" AND CONTACT THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMITTING COORDINATOR AT (919) 996-2483.
3. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR SHALL SCHEDULE A MEETING THE DEVELOPMENT SERVICES RIGHT-OF-WAY SERVICE PERMITTING COORDINATOR AT (919) 996-2483.
4. THE CONTRACTOR SHALL OBTAIN A RIGHT-OF-WAY PERMIT FOR ANY WORK WHICH REQUIRES THE CLOSURE OF A TRAVEL LANE(S) AND/OR SIDEWALK FROM THE TRANSPORTATION OPERATION DIVISION/PUBLIC WORKS DEPARTMENT.
5. IF CONSTRUCTION PLANS FOR PUBLIC AND PRIVATE STREETS OR UTILITIES SHOWN ON THIS PLAN ARE REQUIRED, THEY MUST BE APPROVED BY THE PUBLIC WORKS DEPARTMENT AND PUBLIC UTILITIES DEPARTMENT PRIOR TO ISSUANCE OF PERMITS OR RECORDING OF ANY PLAT FOR THIS DEVELOPMENT.
6. FIELD ADJUSTMENTS TO THIS PLAN MAY BE REQUIRED BY CITY OF RALEIGH INSPECTOR AS NEEDED DURING CONSTRUCTION.
7. ALL SURVEY INFORMATION PROVIDED TO JDAVIS ARCHITECTS BY JOHN A. EDWARDS AND CO. IN RALEIGH, NORTH CAROLINA IN DIGITAL FORMAT IN FEBRUARY 2016, AND SUPPLEMENTAL INFORMATION WAS OBTAINED FROM WAKE COUNTY GIS IN FEBRUARY 2016.
8. WITHIN THE SIGHT TRIANGLES SHOWN ON THIS PLAN, NO OBSTRUCTION BETWEEN 2 FEET AND 8 FEET IN HEIGHT ABOVE THE CURB LINE ELEVATION SHALL BE LOCATED IN WHOLE OR PART. OBSTRUCTIONS INCLUDE BUT ARE NOT LIMITED TO ANY BERM, FOLIAGE, FENCE, WALL, SIGN, OR PARKED VEHICLE.
9. UNLESS NOTED, ACCESS ROUTE FOR EMERGENCY VEHICLES SHALL PROVIDE AN INSIDE TURNING RADIUS OF 28' MINIMUM.
10. TRASH AND CARDBOARD DUMPSTER(S) ENCLOSURE SHALL COMPATIBLE WITH MATERIAL AND/OR COLOR OF THE PRINCIPAL BUILDING.
11. ALL HVAC UNITS SHALL BE SCREENED FROM VIEW OF THE PUBLIC RIGHT OF WAY.
12. CONTRACTOR TO FIELD LOCATE AND VERIFY ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND REPORT ANY DISCREPANCIES TO LANDSCAPE ARCHITECT PRIOR TO ANY CONSTRUCTION ACTIVITIES. CONTACT NC ONE AT 811 FOR FIELD LOCATION OF UNDERGROUND UTILITIES.
13. HANDICAP PARKING SPACE(S) AND HC ACCESS AISLE(S) SHALL BE NO GREATER THAN TWO PERCENT (2%) PITCH IN ANY DIRECTION(S) AS PER ADA STANDARDS.
14. PROVIDE SIGNAGE AND STRIPING OF HANDICAP SPACES AS PER ADA STANDARDS.
15. ALL RETAINING WALLS GREATER THAN 30" IN HEIGHT TO INCLUDE SAFETY RAIL OR FENCE.
16. THE MINIMUM CORNER CLEARANCE FROM THE CURB LINE OF INTERSECTING STREETS SHALL BE AT LEAST 20 FEET FROM THE POINT OF TANGENCY OF THE CURB. NO DRIVEWAYS SHALL ENCRDACH ON THIS MINIMUM CORNER CLEARANCE.
17. WC ACCESS RAMPS WILL BE PROVIDED IN ACCORDANCE WITH CITY OF RALEIGH PUBLIC WORKS DEPARTMENT STANDARDS, PROWAG STANDARDS AND ADAAG SPECIFICATIONS.
18. ALL RAMPS AND HANDRAILS SHALL BE CONFORM TO ANSI STANDARDS.
19. ALL ABOVE GROUND UTILITY DEVICES (TO INCLUDE BUT NOT LIMITED TO TELEPHONE AND CABLE PEDESTALS, ELECTRICAL TRANSFORMERS, BACKFLOW DEVICE HOTBOX, ETC) SHALL BE SCREENED FROM OFF-SITE VIEW BY EVERGREEN SHRUBS, FENCE, OR WALL.
20. ALL SIDEWALKS MUST BE ACCESSIBLE TO PERSONS WHO ARE BLIND, HAVE LOW VISION AND PEOPLE WITH MOBILITY DISABILITIES. PEDESTRIAN EXISTING ROUTES AND ALTERNATE PEDESTRIAN ROUTES DURING CONSTRUCTION WILL BE REQUIRED TO BE COMPLIANT WITH THE PUBLIC RIGHTS OF WAY ACCESSIBILITY GUIDELINES (PPOWAG), 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN AND THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD).

PLANT LIST

Table with 7 columns: SYM., QTY., BOTANICAL NAME, COMMON NAME, CALIPER, HEIGHT, ROOT, REMARKS. Rows include Liquidambar styraciflua, Pistacia chinensis, Ulmus parvifolia, and Magnolia x loebeneri.



PRELIMINARY DRAWING - NOT RELEASED FOR CONSTRUCTION

NO. DATE
1 02.14.2019 LOT LINE ADJUSTMENTS & RETAIL BLDGS

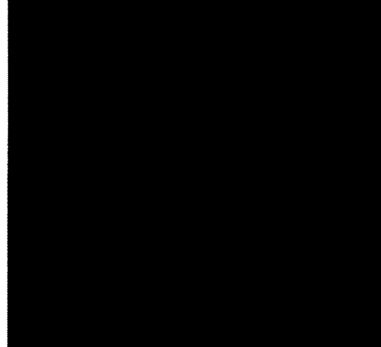
PLAN INFORMATION

PROJECT NO. HTG-15020
FILENAME HTG15020-LS1
CHECKED BY CHT
DRAWN BY CHT
SCALE 1"=20'
DATE 12.05.2016

LANDSCAPE PLAN

LS-1

Vertical text on the left edge: X:\Projects\HTG\15020\Land\Administrative Site Review\Revision Set\Current Drawings\VTG15020-Office-LS1.dwg, 2/13/2019 9:52:09 AM, Turner, Chandler

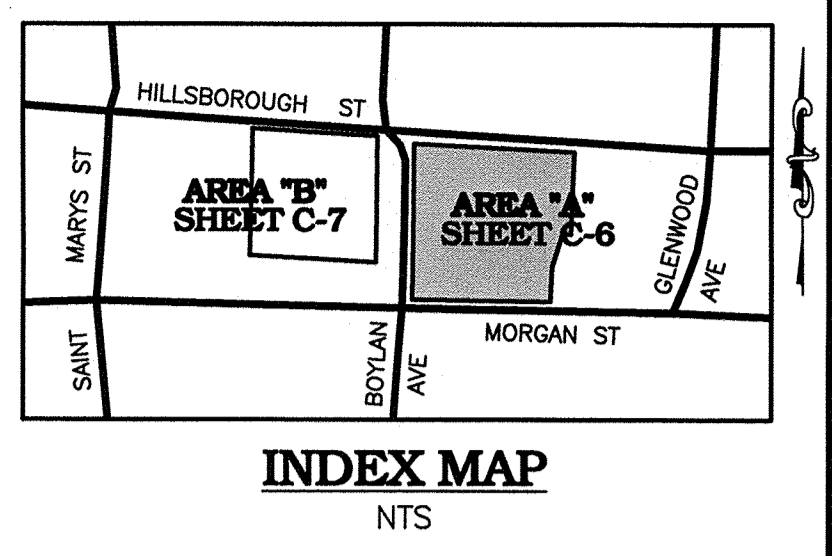
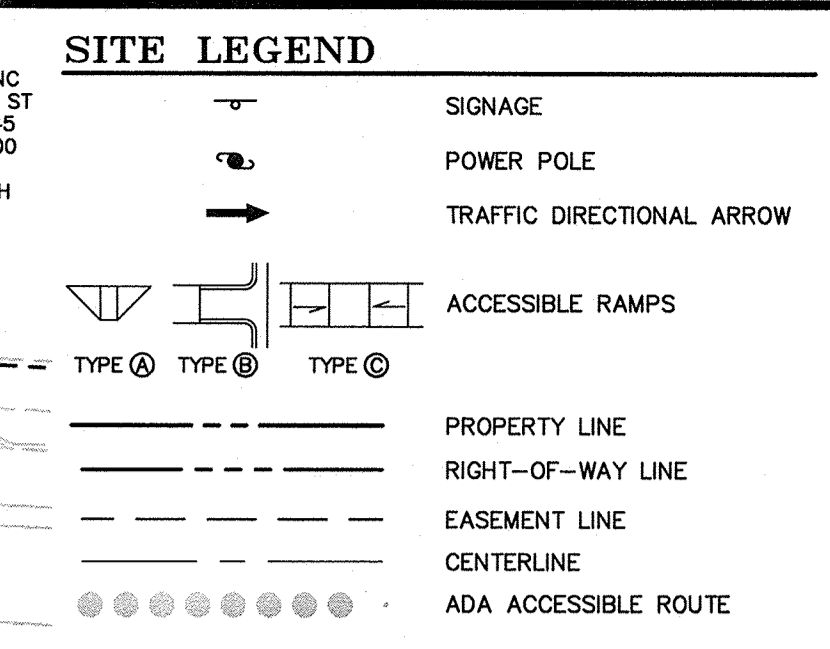


REVISIONS:
 2018-10-22 1ST RALEIGH REVIEW COMMENTS
 2018-11-08 2ND RALEIGH REVIEW COMMENTS
 2018-12-18 3RD RALEIGH REVIEW COMMENTS

OWNER/DEVELOPER:
 GLENWOOD TWO LLC
 501 FAIRMONT AVENUE,
 SUITE 101
 TOWNSON, MARYLAND 21286

BLOCK 83
 (FORMERLY TWO HILLSBOROUGH)
ADMINISTRATIVE SITE REVIEW
 RALEIGH, NORTH CAROLINA

SITE PLAN - AREA "A"
 PROJECT NO. HTG-17000
 FILENAME: HTG17000-S1
 CHECKED BY: RSS
 DRAWN BY: JMS
 SCALE: 1" = 20'
 DATE: 12-18-18
 SHEET NO. C-6
 McADAMS



SITE DATA (PROPOSED DEVELOPMENT)

SITE ADDRESS: 615 HILLSBOROUGH ST, 621 HILLSBOROUGH ST, 623 HILLSBOROUGH ST, 11 S BOYLAN AVE.
 PIN NUMBER: 1703492196 1703492128
 DEED BOOK: DB 11575, PG 881 DB 6218, PG 552
 1703491158 1703491076
 DB 17043, PG 1871 DB 17043, PG 1865
 ZONING(S): DX-12-UG + DX-12-UG
 EX. ACREAGE: ±0.49 + ±0.17 + ±0.28 + ±0.39 = ±1.31
 PROP. R/W DEDICATION: ±0.12 AC
 PROP. ACERAGE: ±1.19 AC
 PROPOSED USE: MIXED-USE: OFFICE/RETAIL
 TOTAL PROPOSED GROSS SF: 264,027 SF (17,605 RETAIL + 246,422 OFFICE)

OUTDOOR AMENITY AND PARKING REQUIREMENTS

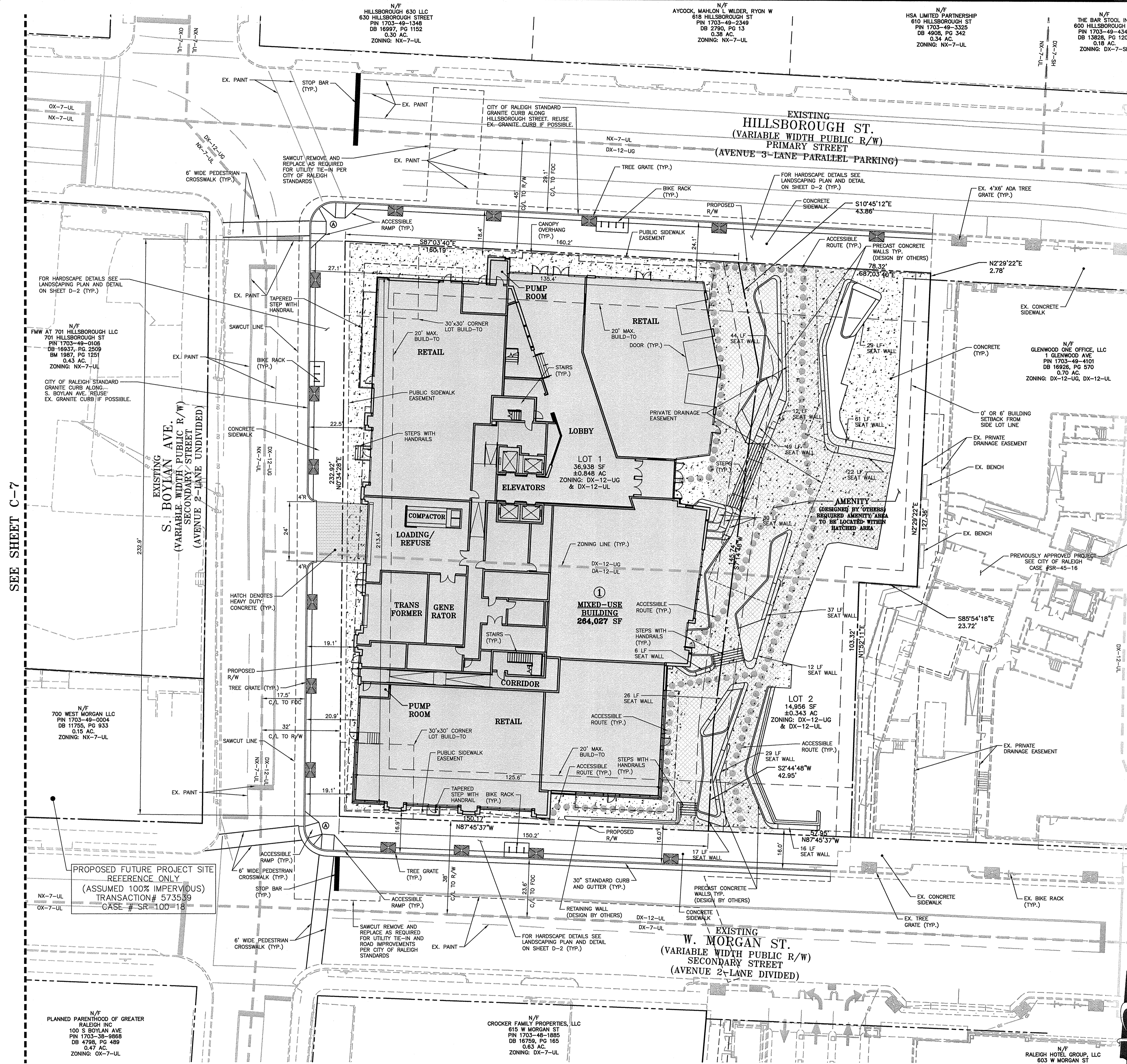
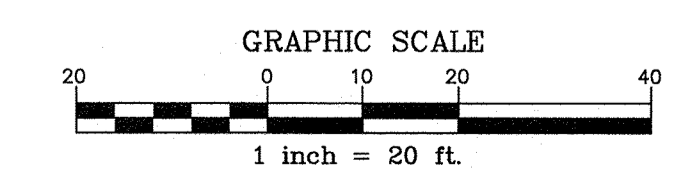
PARKING	REQUIREMENTS
UDO 7.1.3.A.c	- REQUIRED PARKING 1 SPACE/ 500 SF
UDO 7.1.3.A.d	- FIRST 10,000 SF GROSS NONRESIDENTIAL IS EXEMPT
UDO 7.1.3.A.e	- UP TO 30,000 SF EXEMPT FOR FIRST FLOOR USES
UDO 7.1.3.A.f	- MAX EXEMPTION FROM d AND e IS 30,000 SF
PROPOSED GROSS SF	= 264,027 (17,605 SF 1ST FLOOR RETAIL)
NET EXEMPTION	= 10,000 + 17,605 = 27,605
PARKING CALCULATION	= (264,027 - 27,605) / 500 = 473 SPACES
TOTAL PARKING PROVIDED	= 473 SPACES ¹ (10 HC SPACES) ¹
BICYCLE PARKING	REQUIREMENTS
RETAIL USES (MINIMUM 4)	
SHORT TERM (1 SPACE/8,000 SF)	= (17,605) / 8,000 = 3 SPACES (4 MIN)
LONG TERM (1 SPACE/0 SF)	= 0 SPACES
OFFICE USES	
SHORT TERM (1 SPACE/10,000 SF)	= 246,422 / 10,000 = 25 SPACES
LONG TERM (1 SPACE/5,000 SF)	= 246,422 / 5,000 = 50 SPACES
TOTAL REQUIRED (50 SPACES MAX PER UDO SEC 7.1.8.A)	
SHORT TERM PROVIDED (ON STREET)	= 20 SPACES (10 RACKS)
LONG TERM PROVIDED (IN BLOCK 83 DECK)	= 30 SPACES ²
TOTAL PROVIDED	= 50 SPACES
AMENITY AREA	REQUIREMENTS
TOTAL SITE AREA	±1.19 AC = 51,894 SF
REQUIRED: 10.00% OF SITE	= 0.119 AC = 5,190 SF
50SF/FLOOR ABOVE 7 STORIES = (3)*50 = 150 SF	
TOTAL REQUIRED	= 5,340 SF (0.123 AC)
PROVIDED POSSIBLE OUTDOOR AMENITY AREA	11,526 SF (0.123 AC) ³
TOTAL AMENITY AREA PROVIDED	5,340 SF (0.123 AC) = 10.3% ⁴
SEATING REQUIRED: 1 LF/50 SF OF AMENITY AREA	= 5,340 / 50 = 106.8 LF
SEATING PROVIDED	107 LF MIN.
TREES PROVIDED: 1 TREE/1,000 SF	= 5,340 / 1,000 = 5.34 TREES
TREES PROVIDED	6 TREES (SEE LANDSCAPE PLANS)

- NOTES:
 1. ALL PARKING TO BE PROVIDED IN ADJACENT PARKING DECKS.
 247 SPACES LOCATED WITHIN THE TWO GLENWOOD PARKING DECK (TRANS#519219)
 228 SPACES LOCATED WITHIN THE BLOCK 83 PARKING DECK (TRANS#573539)
 2. LONG TERM BIKE PARKING TO BE PROVIDED IN BLOCK 83 PARKING DECK LOCATED AT 701 HILLSBOROUGH STREET. SITE PLAN FOR PARKING DECK TO BE FILED UNDER CASE #SR-100-18 AND TRANS #573539.
 3. POSSIBLE OUTDOOR AMENITY AREA SHOWN AS HATCHED AREA
 4. MINIMUM REQUIRED AMENITY AREA TO BE LOCATED WITHIN HATCHED AREA (11,526 SF) SHOWN ON PLANS.

MINIMUM BUILDING HEIGHT STREET FACADE CALCS

*PER CITY OF RALEIGH UDO SEC. 3.3.2. DX-12 URBAN FRONTAGES MUST HAVE A MIN OF 75% OF STREET FACING FACADE AT MINIMUM HEIGHT. MINIMUM HEIGHT IS DEFINED AS 2 STORIES.

LOT	STREET	FRONTAGE	MIN BUILDING HEIGHT	% OF FRONTAGE WIDTH
LOT 1	HILLSBOROUGH STREET: (PRIMARY)	160.2'	135.4'	84.5%
	BOYLAN AVE: (SECONDARY)	232.9'	213.4'	91.6%
LOT 2	MORGAN STREET: (SECONDARY)	150.2'	125.6'	83.6%
	OPEN LOT - N/A			

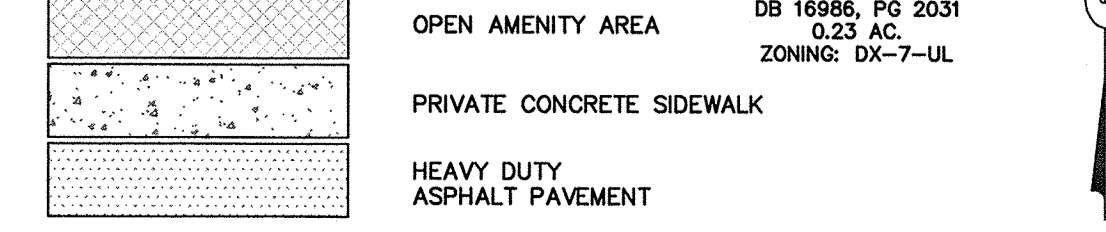


GENERAL DRIVEWAY NOTE
 1. DRIVEWAYS MAY INTERSECT A STREET NO CLOSER THAN 50' FROM THE INTERSECTION OF 2 STREET RIGHTS-OF-WAY, NOT INCLUDING AN ALLEY.

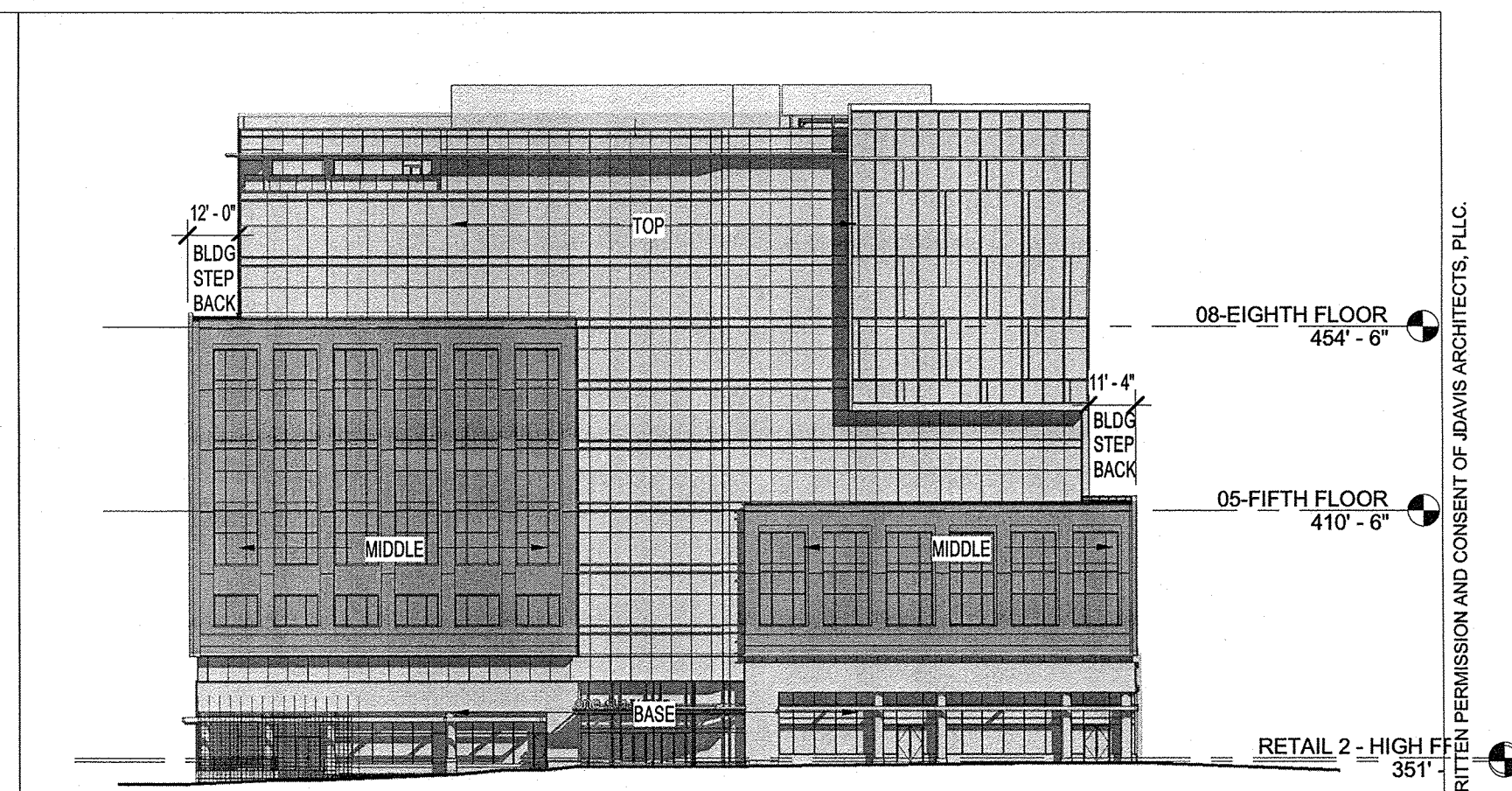
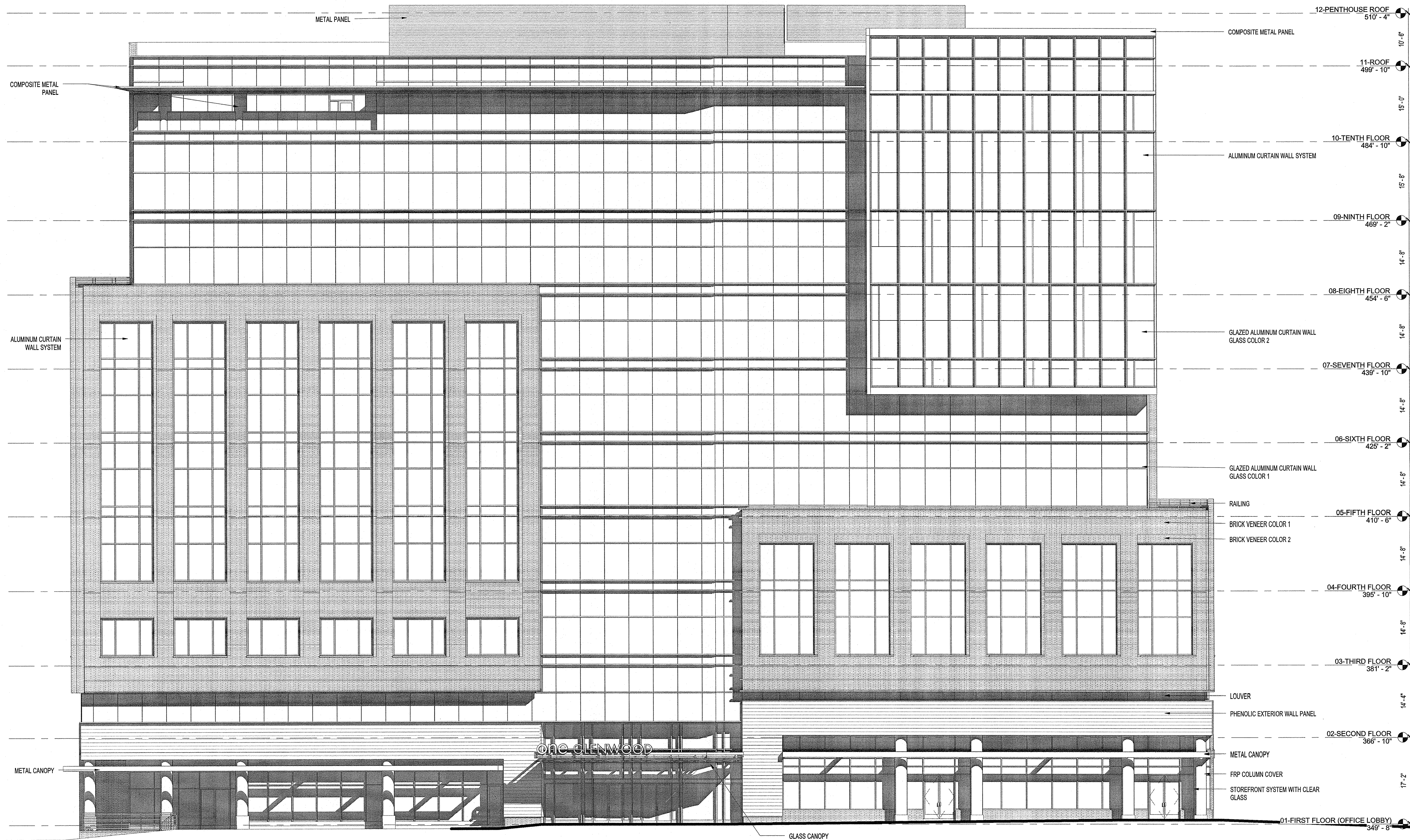
HC RAMPS:
 1. ALL HC RAMPS TO BE FIELD ADJUSTED WITH INPUT FROM THE CITY OF RALEIGH FIELD INSPECTOR PRIOR TO INSTALLATION.
 2. POWER POLES WHICH CONFLICT WITH FIELD LOCATED HC RAMPS ARE TO BE RELOCATED BY APPROPRIATE UTILITY COMPANY.

SEE SHEET C-2 FOR ALL PROJECT, SITE, GRADING, STORM DRAINAGE AND UTILITY NOTES

ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT CITY OF RALEIGH ENGINEERING DESIGN AND CONSTRUCTION STANDARDS



3/15/2017 2:47:34 PM C:\Users\shawnr\Documents\15064 One Glenwood Arch_shawnr.cvt



ALT-3.3.3 2
1" = 40'-0"

BUILDING ELEVATION - EAST - (GLENWOOD AVENUE) 1
3/32" = 1'-0"

CONCURRENT REVIEW APPROVAL
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

TRANSPORTATION FIELD SERVICES *KCB 3/20/17*
PUBLIC UTILITIES *N/A*
STORMWATER *N/A*
PLANNING/ZONING *W(h) 3/20/17*
FIRE *N/A*
URBAN FORESTRY *N/A*
SITE ACCESSIBILITY *N/A*

PROJECT:	DATE
HPI-15064	12.16.16
CONCURRENT SITE	12.16.16
CONCURRENT REVIEW	02.28.17
CONCURRENT EXPRESS	03.15.17

REVISIONS:

NO.	DESCRIPTION	DATE

CONTENT:

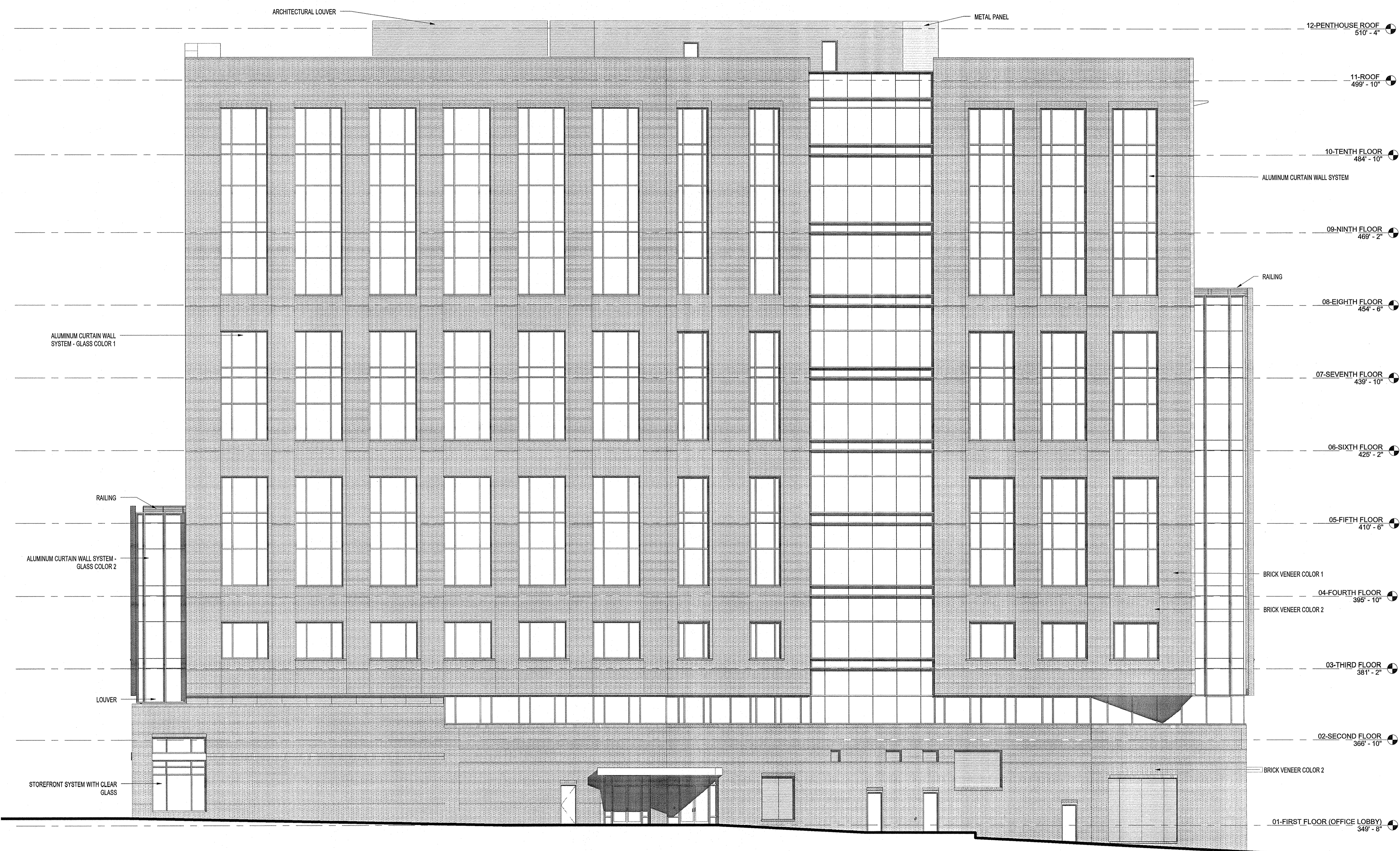
	BUILDING ELEVATIONS
--	---------------------

Glenwood HPI, LLC
One Glenwood
Raleigh, North Carolina

SD2.01

J DAVIS
510 Glenwood Ave, Suite 201 | Raleigh, NC 27603 | Tel 919.835.1500
1518 Walnut St., Suite 1308 | Philadelphia, PA 19102 | Tel 215.545.0121

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- 12-PENTHOUSE ROOF 510' - 4"
- 11-ROOF 499' - 10"
- 10-TENTH FLOOR 484' - 10"
- 09-NINTH FLOOR 469' - 2"
- 08-EIGHTH FLOOR 454' - 6"
- 07-SEVENTH FLOOR 439' - 10"
- 06-SIXTH FLOOR 425' - 2"
- 05-FIFTH FLOOR 410' - 6"
- 04-FOURTH FLOOR 395' - 10"
- 03-THIRD FLOOR 381' - 2"
- 02-SECOND FLOOR 366' - 10"
- 01-FIRST FLOOR (OFFICE LOBBY) 349' - 8"

ALUMINUM CURTAIN WALL SYSTEM - GLASS COLOR 1

ALUMINUM CURTAIN WALL SYSTEM - GLASS COLOR 2

STOREFRONT SYSTEM WITH CLEAR GLASS

BRICK VENEER COLOR 1

BRICK VENEER COLOR 2

BRICK VENEER COLOR 2

CONCURRENT REVIEW APPROVAL
 CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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TRANSPORTATION FIELD SERVICES *KCB 3/20/17*
 PUBLIC UTILITIES *N/A*
 STORMWATER *N/A*
 PLANNING/ZONING *MLW 3/20/17*
 FIRE *N/A*
 URBAN FORESTRY *N/A*
 SITE ACCESSIBILITY *N/A*

BUILDING ELEVATION - WEST SIDE 1
 3/32" = 1'-0"

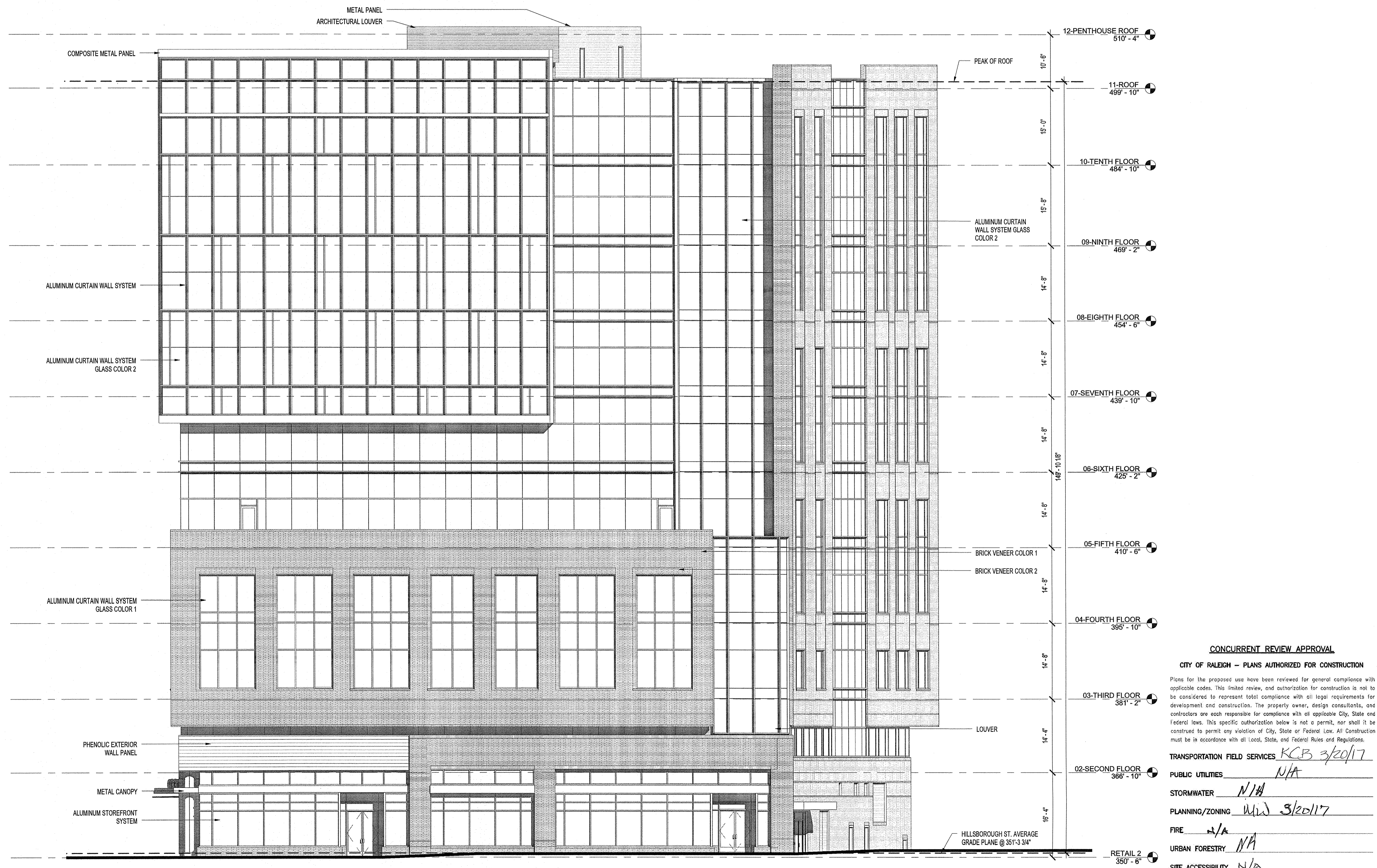
PROJECT:	HPI-15064	DATE
ISSUE:	CONCURRENT SITE	12.16.16
	CONCURRENT REVIEW	02.28.17
	CONCURRENT EXPRESS	03.15.17

REVISIONS:	

CONTENT:	

SD2.02

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BUILDING ELEVATION - NORTH (HILLSBOROUGH STREET) 1
3/32" = 1'-0"

CONCURRENT REVIEW APPROVAL
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
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TRANSPORTATION FIELD SERVICES *KCB 3/20/17*
 PUBLIC UTILITIES *N/A*
 STORMWATER *N/A*
 PLANNING/ZONING *Wid 3/20/17*
 FIRE *N/A*
 URBAN FORESTRY *N/A*
 SITE ACCESSIBILITY *N/A*

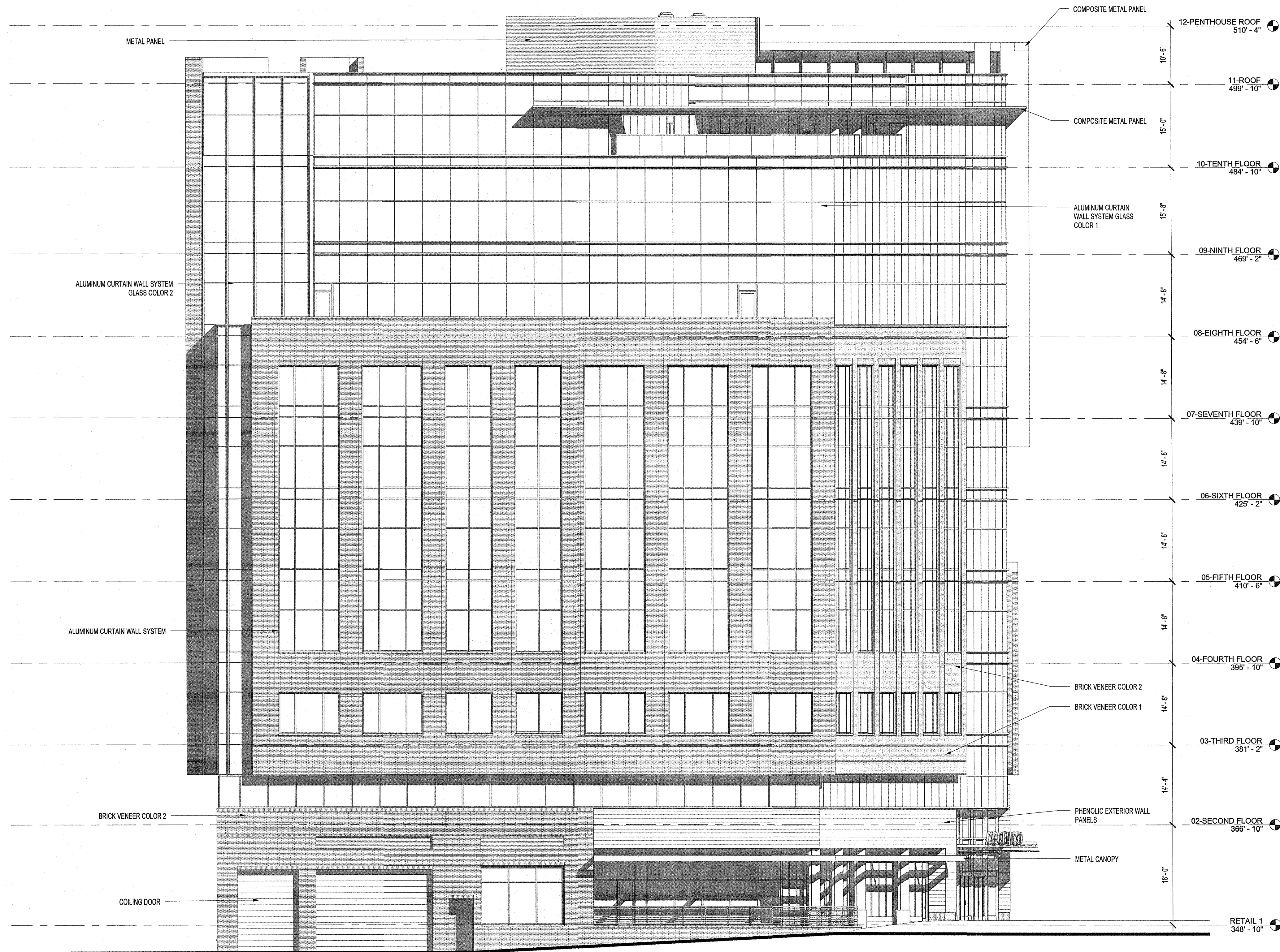
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ISSUE:	CONCURRENT SITE	12.16.16
	CONCURRENT REVIEW	02.28.17
	CONCURRENT EXPRESS	03.15.17
REVISIONS:		
CONTENT:	BUILDING ELEVATIONS	

SD2.03

Glenwood HPI, LLC
One Glenwood
 Raleigh, North Carolina

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12-PENTHOUSE ROOF 510'-4"
 11-ROOF 499'-10"
 10-TENTH FLOOR 484'-10"
 09-NINTH FLOOR 469'-2"
 08-EIGHTH FLOOR 454'-6"
 07-SEVENTH FLOOR 439'-10"
 06-SIXTH FLOOR 425'-2"
 05-FIFTH FLOOR 410'-6"
 04-FOURTH FLOOR 395'-10"
 03-THIRD FLOOR 381'-2"
 02-SECOND FLOOR 366'-10"
 RETAIL 1 348'-10"

CONCURRENT REVIEW APPROVAL
 CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION
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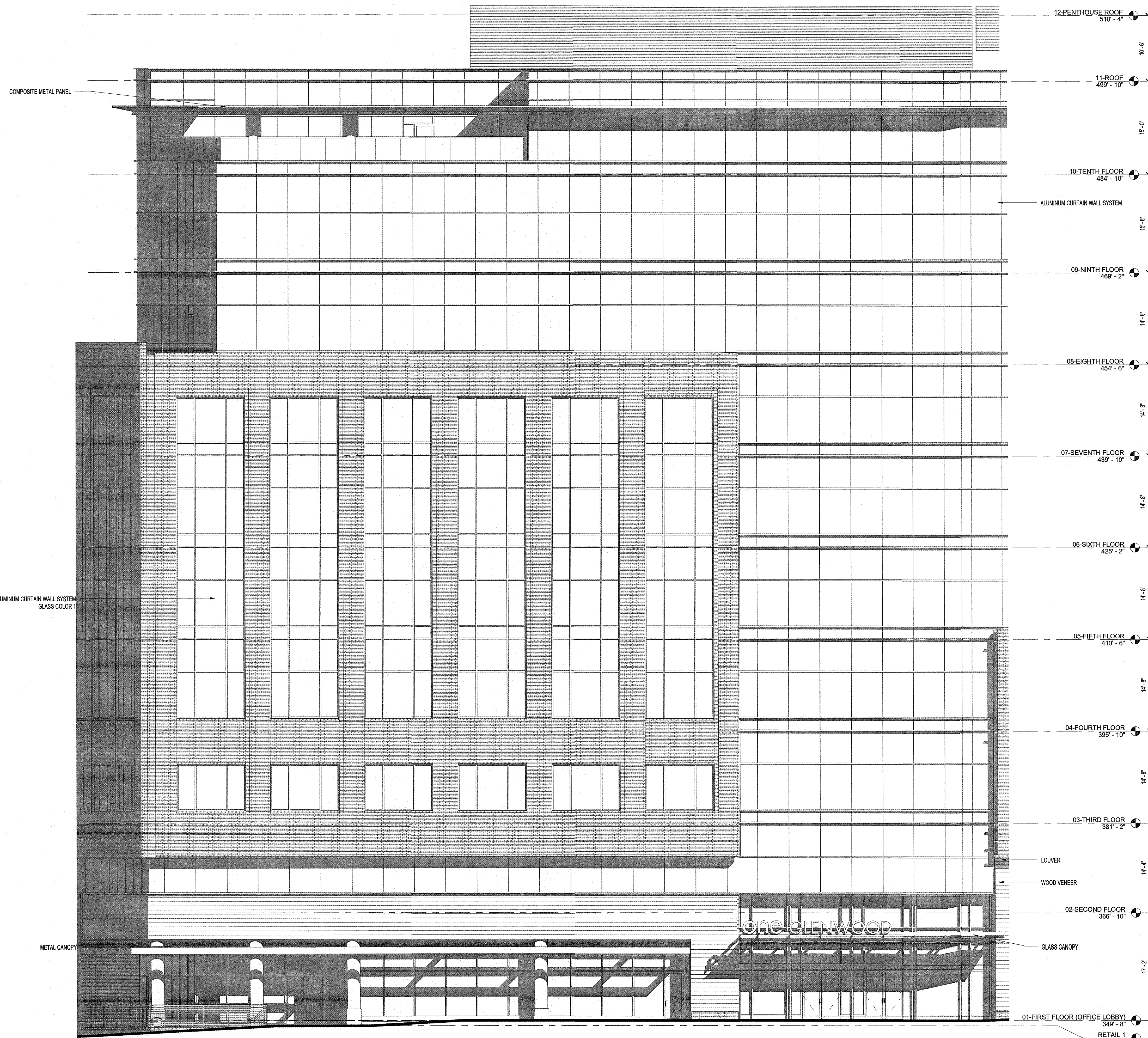
TRANSPORTATION FIELD SERVICES KCB 3/20/17
 PUBLIC UTILITIES N/A
 STORMWATER N/A
 PLANNING/ZONING UW 3/20/17
 FIRE N/A
 URBAN FORESTRY N/A
 SITE ACCESSIBILITY N/A

BUILDING ELEVATION - SOUTH (WEST MORGAN) 1
 3/32" = 1'-0"

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PROJECT:	HPI-15064	DATE
ISSUE:	CONCURRENT SITE	12.16.16
	CONCURRENT REVIEW	02.28.17
REVISIONS:		
CONTENT:	BUILDING ELEVATIONS	

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12-PENTHOUSE ROOF
510' - 4"

11-ROOF
499' - 10"

10-TENTH FLOOR
484' - 10"

ALUMINUM CURTAIN WALL SYSTEM

09-NINTH FLOOR
469' - 2"

08-EIGHTH FLOOR
454' - 6"

07-SEVENTH FLOOR
439' - 10"

06-SIXTH FLOOR
425' - 2"

05-FIFTH FLOOR
410' - 6"

04-FOURTH FLOOR
395' - 10"

03-THIRD FLOOR
381' - 2"

LOUVER

WOOD VENEER

02-SECOND FLOOR
366' - 10"

GLASS CANOPY

01-FIRST FLOOR (OFFICE LOBBY)
349' - 8"

RETAIL 1
348' - 10"

10'-6"

15'-0"

15'-8"

14'-8"

14'-8"

14'-8"

14'-8"

14'-8"

14'-8"

14'-8"

14'-8"

14'-4"

17'-2"

BUILDING ELEVATION - SOUTHEAST (GLENWOOD AVENUE) 1
1/8" = 1'-0"

CONCURRENT REVIEW APPROVAL
CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

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TRANSPORTATION FIELD SERVICES *KCB 3/20/17*

PUBLIC UTILITIES *N/A*

STORMWATER *N/A*

PLANNING/ZONING *WLD 3/22/17*

FIRE *4/4*

URBAN FORESTRY *N/A*

SITE ACCESSIBILITY *N/A*

PROJECT:	HPI-15084	DATE
ISSUE:	CONCURRENT SITE	12.16.16
	CONCURRENT REVIEW	02.28.17
REVISIONS:		
CONTENT:	BUILDING ELEVATIONS	

SD2.05

Glenwood HPI, LLC
One Glenwood
Raleigh, North Carolina

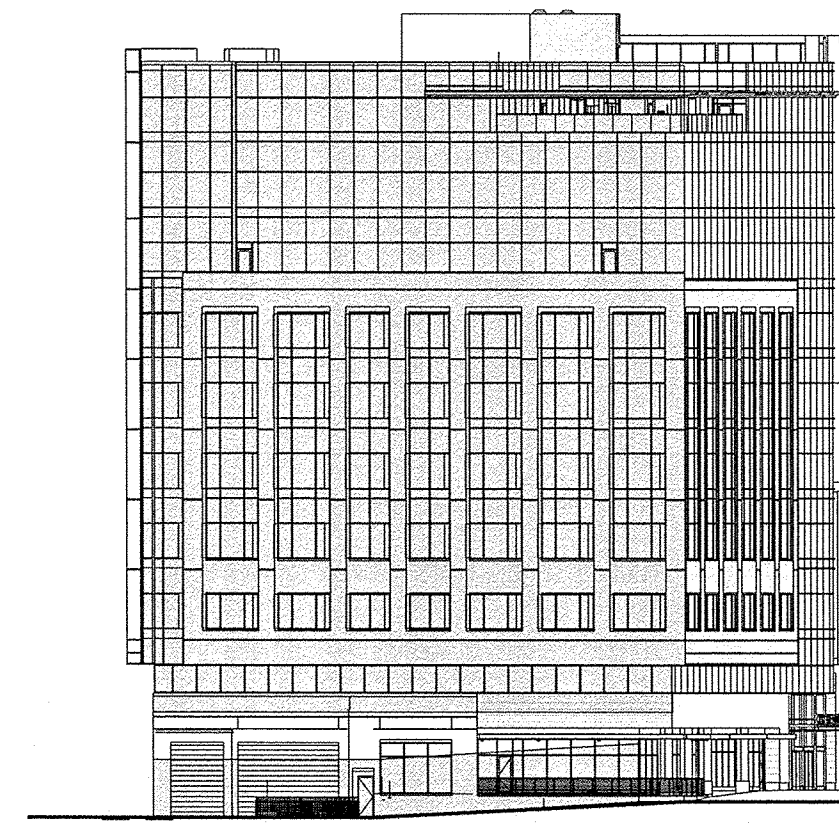
J DAVIS
510 Glenwood Ave, Suite 201 | Raleigh, NC 27603 | Tel 919.835.1500
1518 Walnut St., Suite 1308 | Philadelphia, PA 19102 | Tel 215.545.0121

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GROUND FLOOR TRANSPARENCY:
 TOTAL SF: 5,328 SF
 TOTAL TRANSPARENCY: 3,498 SF
 66% TRANSPARENCY REQUIRED
 66% TRANSPARENCY PROPOSED
 >50% OF TRANSPARENCY IS LOCATED BETWEEN 3FT AND 8FT ABOVE ADJACENT SIDEWALK

UPPER STORY TRANSPARENCY:
 TOTAL SF: 57,924 SF
 TOTAL TRANSPARENCY: 23,397 SF
 20% TRANSPARENCY REQUIRED
 40% TRANSPARENCY PROPOSED

TOTAL TABULATIONS:



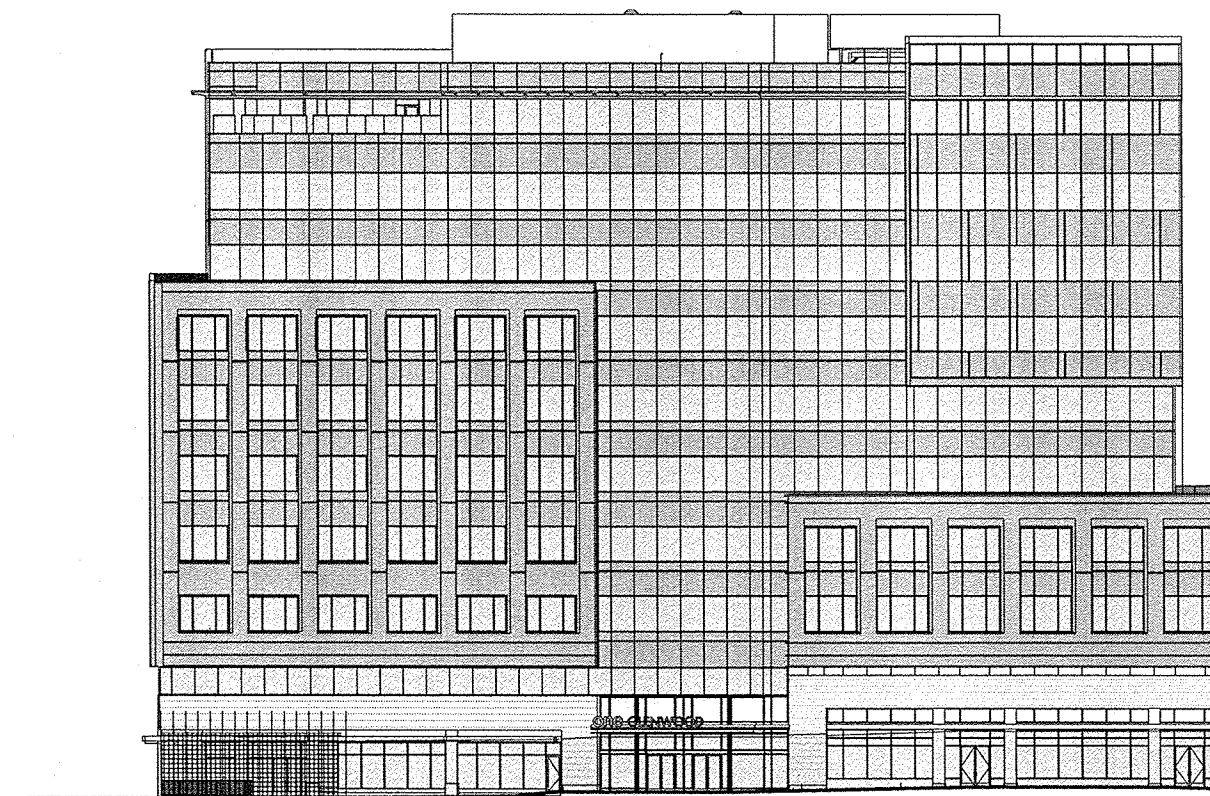
UPPER STORY TRANSPARENCY:
 TOTAL WALL AREA: 15,284 SF
 TRANSPARENT AREA: 5,723 SF

GROUND LEVEL TRANSPARENCY:
 TOTAL WALL AREA: 1,216 SF
 TRANSPARENT AREA: 431 SF

UDO 3.2.6 F1&F2 (MORGAN)

3

1" = 40'-0"



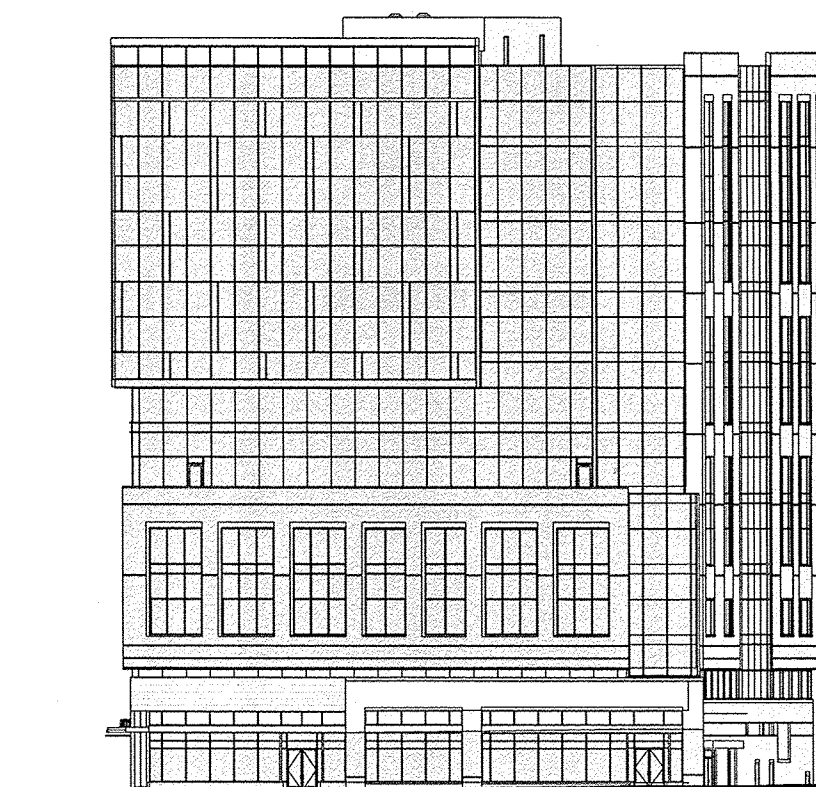
UPPER STORY TRANSPARENCY:
 TOTAL WALL AREA: 27,750 SF
 TRANSPARENT AREA: 11,596 SF

GROUND LEVEL TRANSPARENCY:
 TOTAL WALL AREA: 2,692 SF
 TRANSPARENT AREA: 2,124 SF

UDO - 3.2.6 F1 & F2 (GLENWOOD)

1

1" = 40'-0"



UPPER STORY TRANSPARENCY:
 TOTAL WALL AREA: 14,890 SF
 TRANSPARENT AREA: 6,116 SF

GROUND LEVEL TRANSPARENCY:
 TOTAL WALL AREA: 1,388 SF
 TRANSPARENT AREA: 1,082 SF
 66% REQ, 78% PROVIDED

CONCURRENT REVIEW APPROVAL

CITY OF RALEIGH - PLANS AUTHORIZED FOR CONSTRUCTION

Plans for the proposed use have been reviewed for general compliance with applicable codes. This limited review, and authorization for construction is not to be considered to represent total compliance with all legal requirements for development and construction. The property owner, design consultants, and contractors are each responsible for compliance with all applicable City, State and Federal laws. This specific authorization below is not a permit, nor shall it be construed to permit any violation of City, State or Federal Law. All Construction must be in accordance with all Local, State, and Federal Rules and Regulations.

TRANSPORTATION FIELD SERVICES KCB 3/20/17

PUBLIC UTILITIES NA

STORMWATER N/A

PLANNING/ZONING MW 3/20/17

FIRE N/A

URBAN FORESTRY NA

SITE ACCESSIBILITY N/A

UDO 3.2.6 F1&F2 (HILLSBOROUGH)

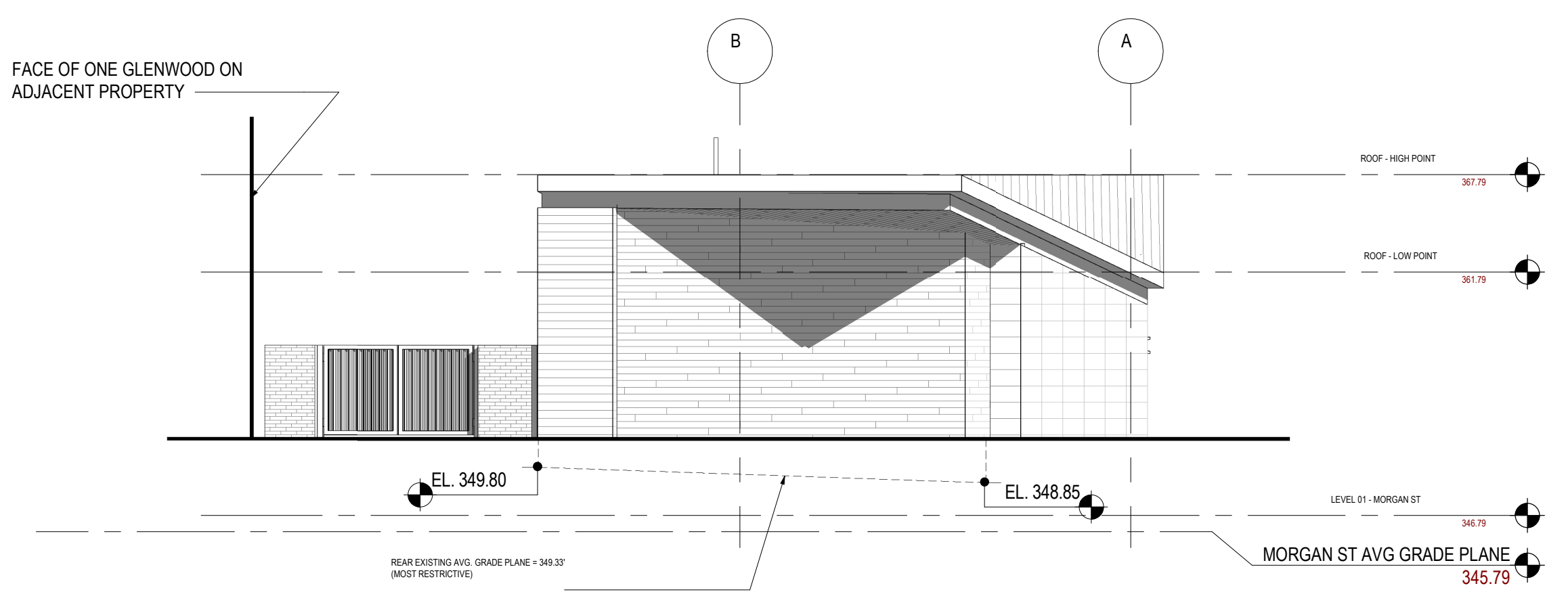
2

1" = 40'-0"

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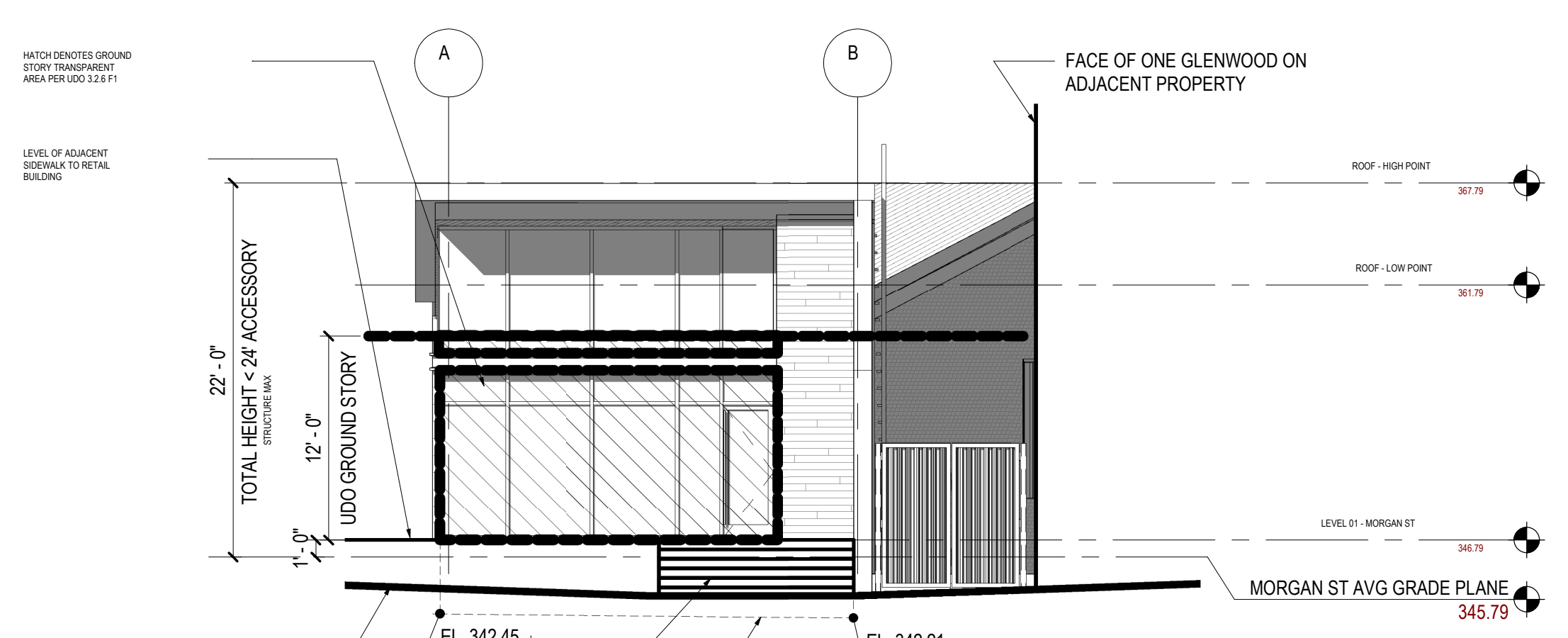
PROJECT:	HPI-15064	DATE
ISSUE:	CONCURRENT SITE	12.16.16
	CONCURRENT REVIEW	02.28.17
REVISIONS:		
CONTENT:	BUILDING ELEVATIONS	

ACCESSORY STRUCTURE CRITERIA:
3.2.6.D2 - Accessory Structure Max Height of 25' - both buildings are less than this maximum height (refer to elevations)
6.7.1 A
1. Buildings are incidental to the primary mixed-use building as they are accompanying but not a major part or portion of the development and are found in connection with the principal mixed-use building
2. Buildings are subordinate (smaller in size, scale, and area) to the primary mixed-use building which is allowed and required under its zoning (DX-12-UG)
3. Buildings are subordinate in size having a much smaller size, scale, and area (1500 SF and 2100 SF each) compared to that of the primary mixed-use building (265,000 SF)
4. Buildings provide convenient access to additional retail that the primary mixed-use building would not have space to provide, giving users and the community additional options to use
5. Buildings are located on the same lot as the primary mixed-use building
6.7.2 B
1. Accessory structures comply with the requirements set forth under section 3.2.6.D2.
2. Accessory structures are located greater than 10' from the primary structure and each other on the same lot.
12.2 a - Buildings meet the definition of an Accessory Structure- any structure or use subordinate in both purpose and size that is incidental to and customarily associated with any primary structure or principal use that is located on the same lot.



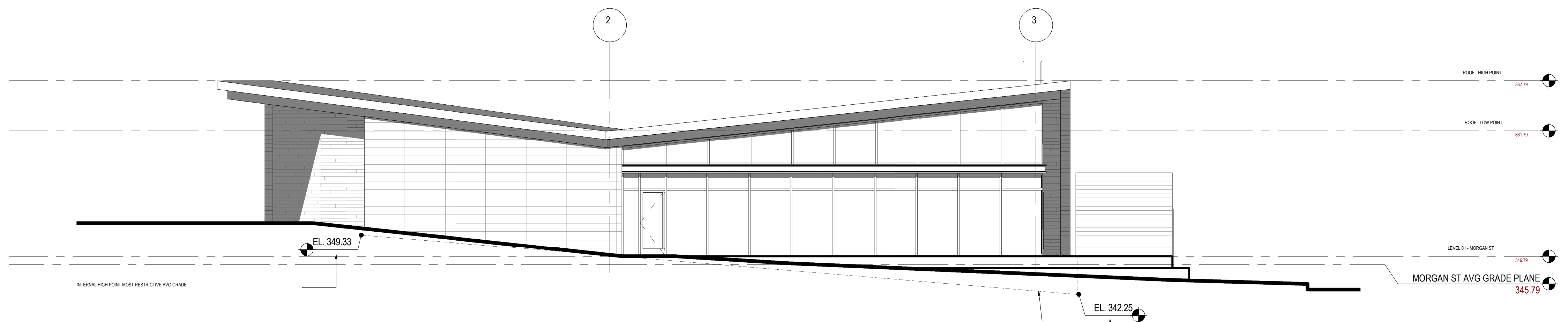
TRANSPARENCY REQUIREMENT - UDO 1.5.9: N/A NOT STREET FACING FACADE
BLANK WALL AREA COMPLIANCE - UDO 1.5.10: N/A NO STREET FRONTAGE THIS ELEVATION

***FOR REFERENCE ONLY, NON-PUBLIC FACING FACADE**
2 ACCESSORY STRUCTURE SOUTH BLDG- NORTH ELEVATION
SCALE: 1/8" = 1'-0"

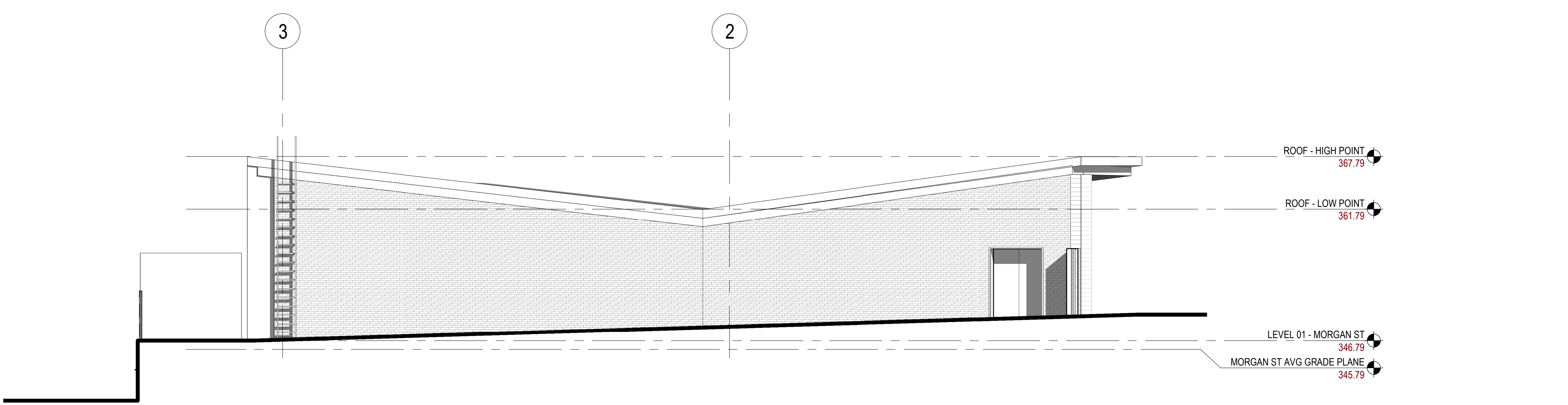


LEVEL 01 - TOTAL WALL AREA BETWEEN 0 AND 12' ABOVE ADJ. SIDEWALK = 307 SF
LEVEL 01 - TRANSPARENT AREA = 218 SF
LEVEL 01 - TRANSPARENCY % = 71%
TRANSPARENCY % REQUIRED = 66%

1 ACCESSORY STRUCTURE SOUTH BLDG - SOUTH ELEVATION (MORGAN STREET)
SCALE: 1/8" = 1'-0"



***FOR REFERENCE ONLY, NON-PUBLIC FACING FACADE**
3 ACCESSORY STRUCTURE SOUTH BLDG - WEST ELEVATION
SCALE: 1/8" = 1'-0"



***FOR REFERENCE ONLY, NON-PUBLIC FACING FACADE**
4 ACCESSORY STRUCTURE SOUTH BUILDING - EAST FACADE
SCALE: 1/8" = 1'-0"

Date	Description
2018.10.12	ASR SUBMISSION #2

Seal / Signature

NOT FOR CONSTRUCTION

Project Name
MORGAN STREET RETAIL BUILDING
Project Number
90.0279.000
Description
ACCESSORY STRUCTURE SOUTH BLDG - ZONING ELEVATIONS

Scale
1/8" = 1'-0"

A0.01

10/10/2018 5:30:05 PM \\gen\share\project\623\623-48\623-48-000 - Heritage Properties, Inc. - Morgan St Retail - 623 Hillsborough St, Raleigh, NC 27603

3.2.6.D2 - Accessory Structure Max Height of 25' - both buildings are less than this maximum height (refer to elevations)

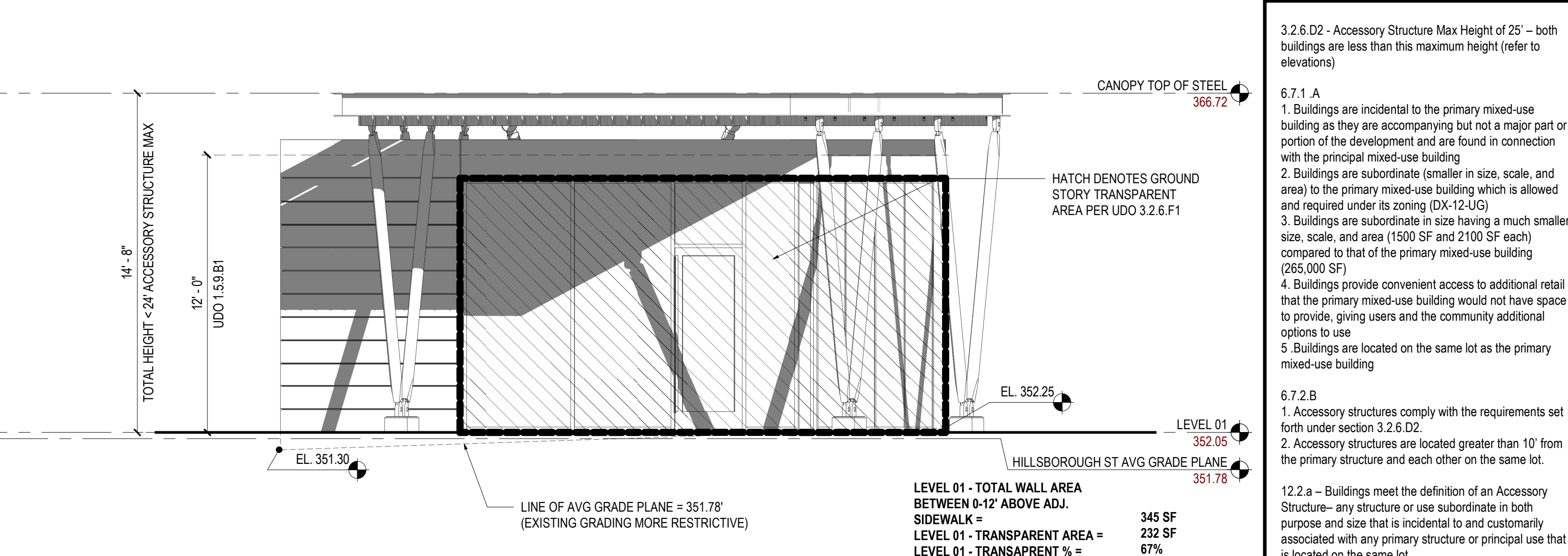
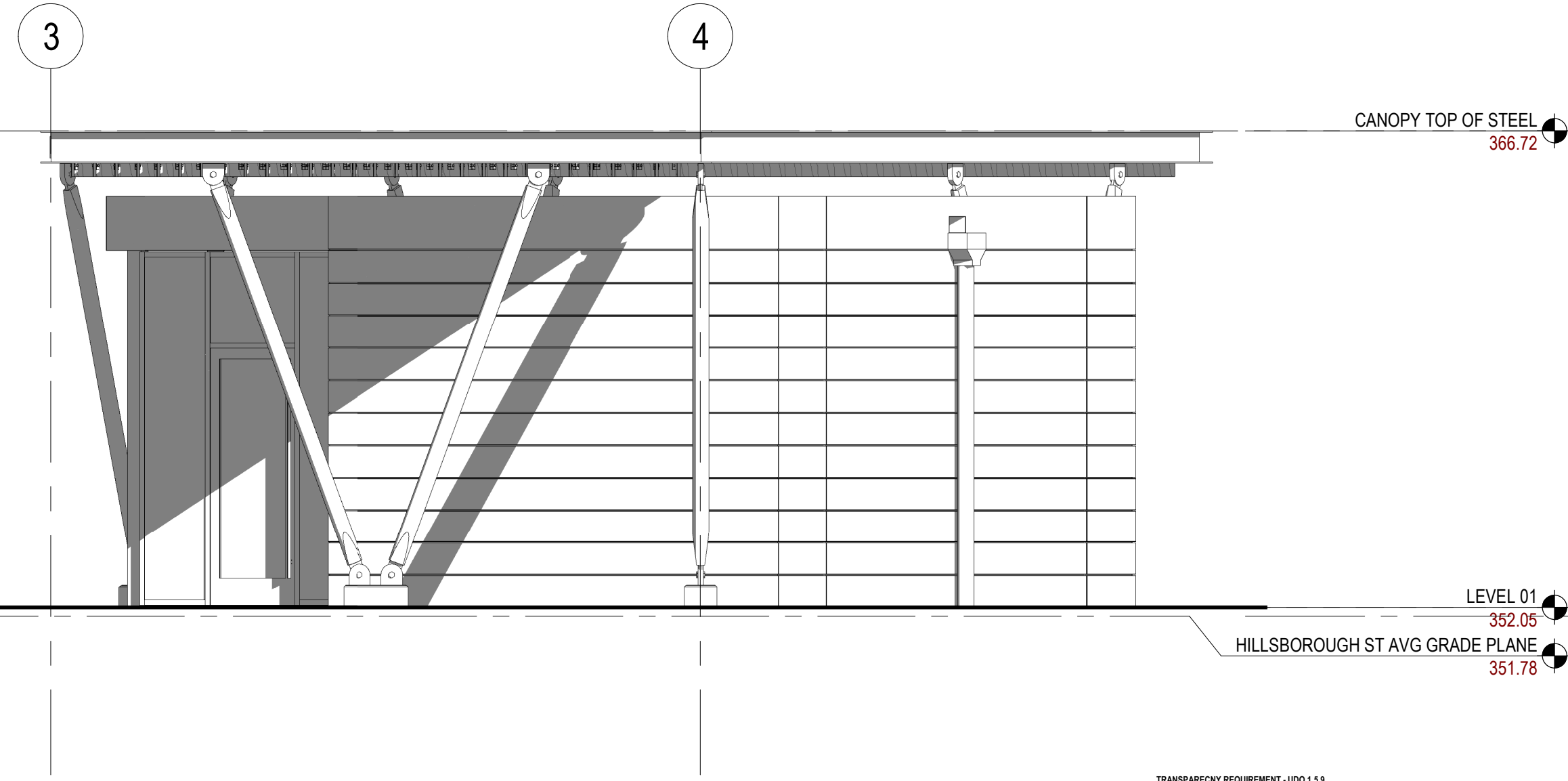
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5. Buildings are located on the same lot as the primary mixed-use building

6.7.2.B
1. Accessory structures comply with the requirements set forth under section 3.2.6.D2.
2. Accessory structures are located greater than 10' from the primary structure and each other on the same lot.

12.2.a - Buildings meet the definition of an Accessory Structure - any structure or use subordinate in both purpose and size that is incidental to and customarily associated with any primary structure or principal use that is located on the same lot.

LEVEL 01 - TOTAL WALL AREA BETWEEN 0'-12" ABOVE ADJ. SIDEWALK = 345 SF
LEVEL 01 - TRANSPARENT AREA = 232 SF
TRANSPARENCY % REQUIRED = 67%

BLANK WALL AREA COMPLIANCE - UDO 1.5.10
NO BLANK WALL AREAS THIS ELEVATION

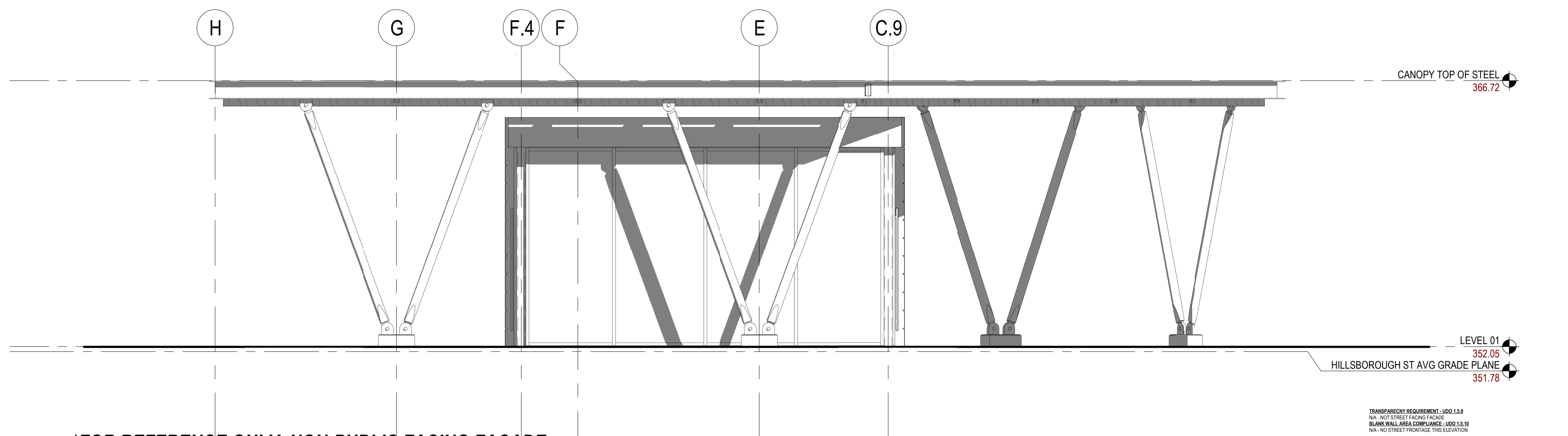


*FOR REFERENCE ONLY, NON-PUBLIC FACING FACADE

2 ACCESSORY STRUCTURE NORTH BLDG - SOUTH ELEV
SCALE: 1/4" = 1'-0"

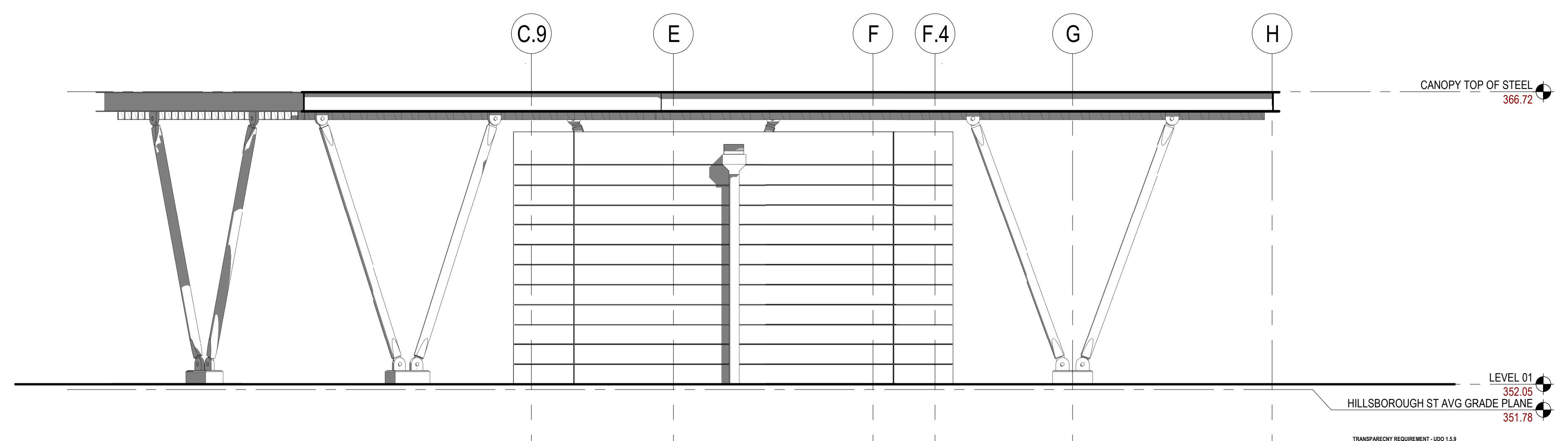
5 ACCESSORY STRUCTURE NORTH BLDG - NORTH ELEVATION (HILLSBOROUGH STREET)
SCALE: 1/4" = 1'-0"

Date	Description
2018.10.12	ASR SUBMISSION #2



*FOR REFERENCE ONLY, NON-PUBLIC FACING FACADE

3 ACCESSORY STRUCTURE NORTH BLDG - WEST ELEV
SCALE: 1/4" = 1'-0"



*FOR REFERENCE ONLY, NON-PUBLIC FACING FACADE

4 ACCESSORY STRUCTURE NORTH BLDG - EAST ELEV
SCALE: 1/4" = 1'-0"

Seal / Signature

NOT FOR CONSTRUCTION

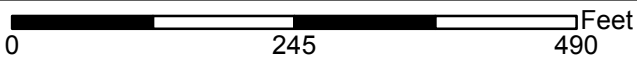
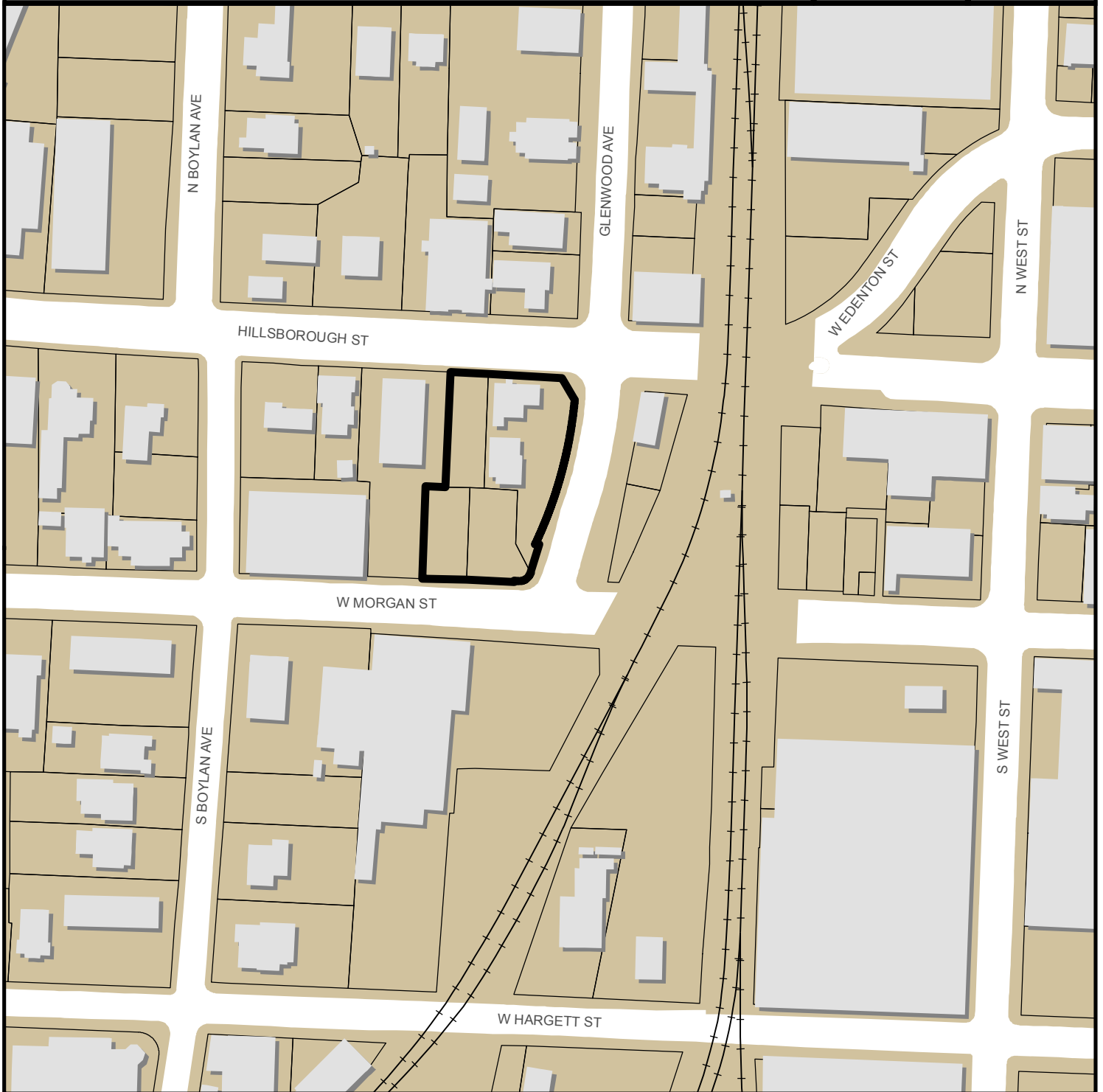
Project Name
HILLSBOROUGH STREET RETAIL BUILDING
Project Number
90.0279.000
Description
ACCESSORY STRUCTURE NORTH BUILDING - ZONING ELEVATIONS

Scale
1/4" = 1'-0"

A0.02

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ONE GLENWOOD SR-45-2016



Zoning: **DX-12-UG**

CAC: **Hillsborough**

Drainage Basin: **Rocky Branch**

Acreage: **0.79**

Units: **242,128**

Planner: **Meade Bradshaw**

Phone: **(919) 996-2664**

Applicant: **Glenwood HPI, LLC**

Phone: **919-769-6139**





Administrative Action Administrative Site Review

City of Raleigh
Development Plans Review Center
One Exchange Plaza
Raleigh, NC 27602
(919) 996-2626
www.raleighnc.gov

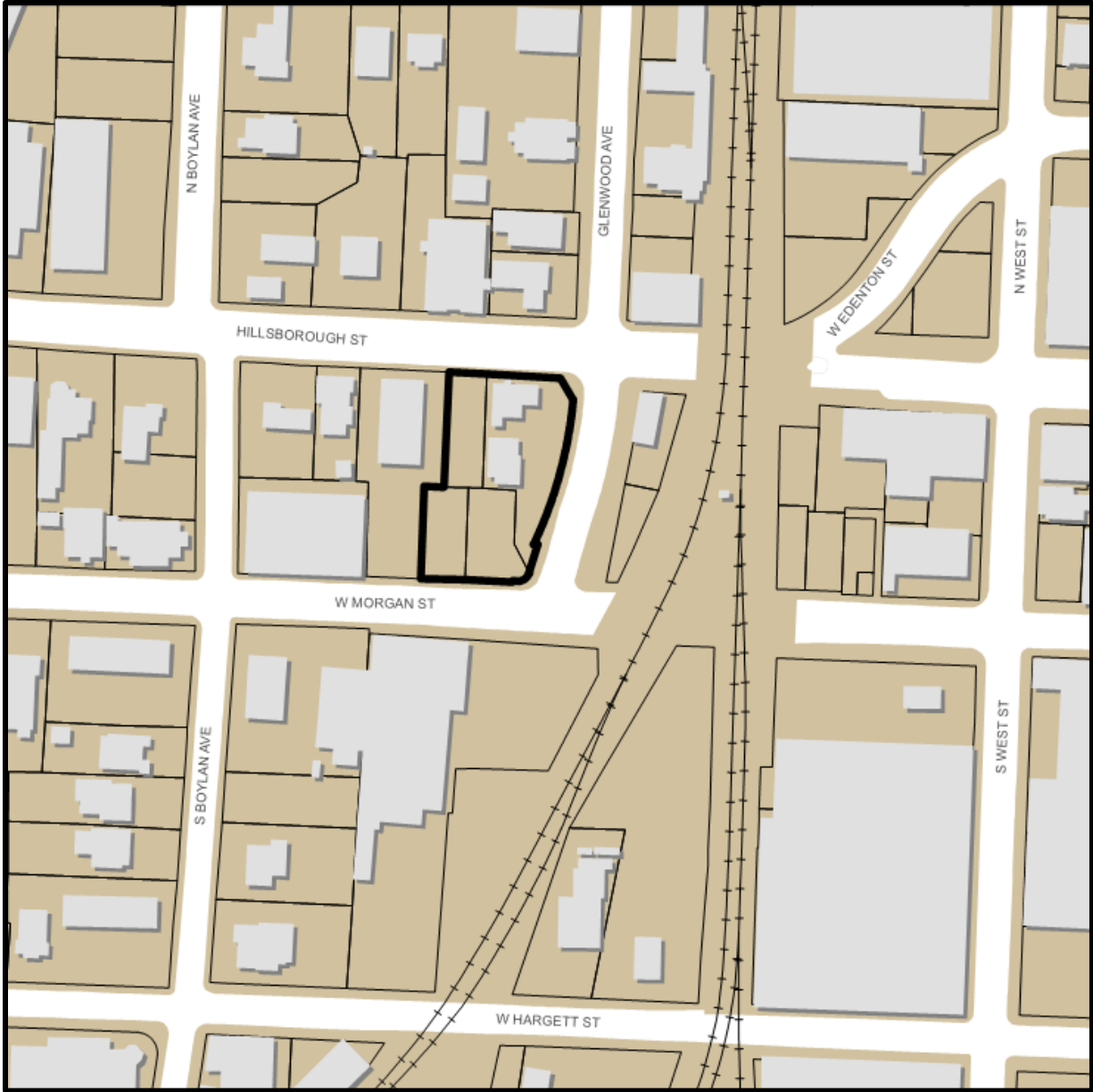
Case File / Name: SR-45-16, One Glenwood

General Location: This site is located on the west side of Glenwood Avenue, between Hillsborough Street, and W. Morgan Street and is within the city limits.

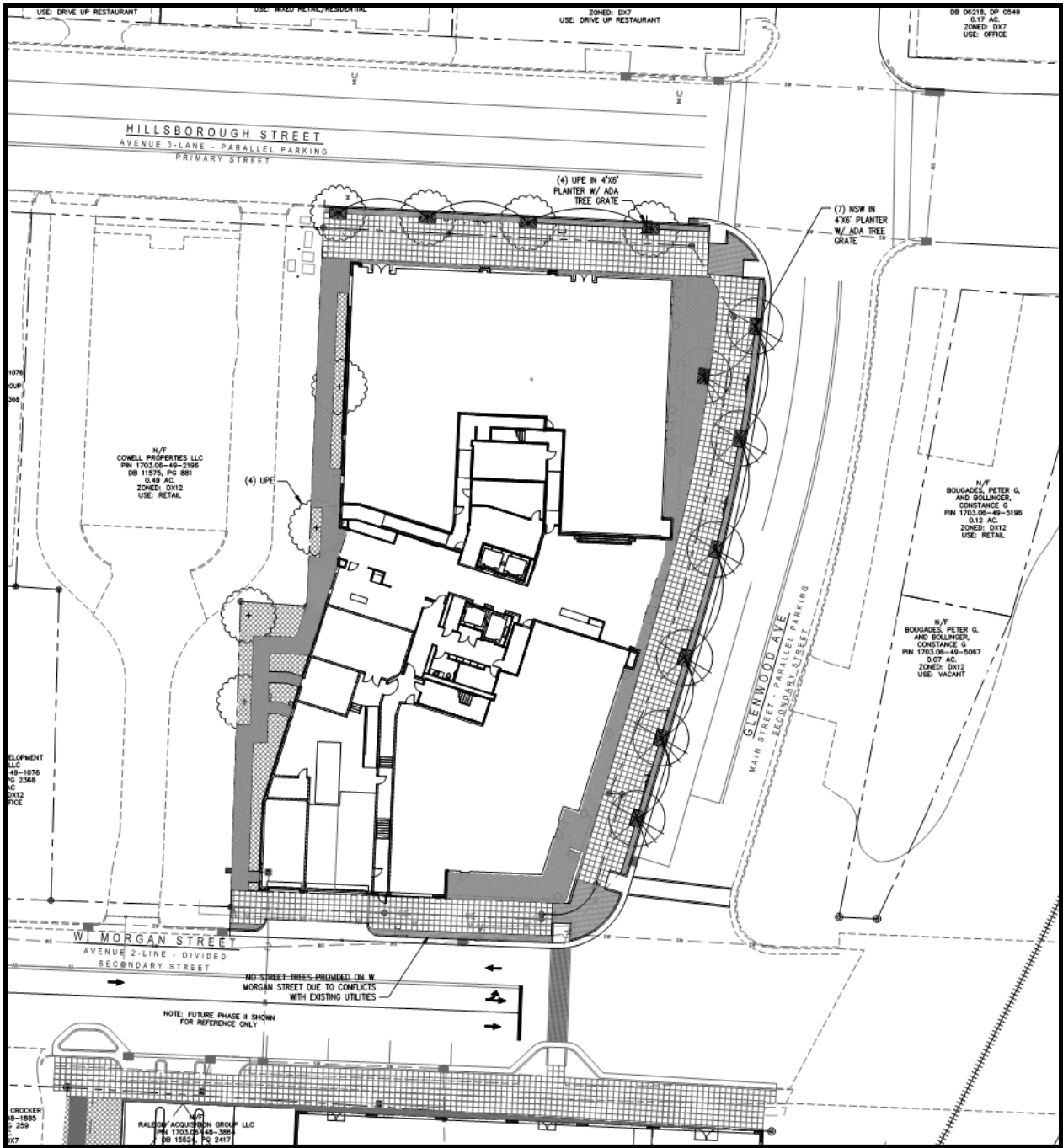
CAC: Hillsborough

Request: Development of a .79 acre tract zoned DX-12-UL, and DX-12-UG into a 242,128 square foot, ten story mixed use (office and retail) building.

Cross-Reference: TR# 478399, SR-92-16



SR-45-16 Location Map



SR-45-16 Preliminary Site Plan

Code Conformance:		Code Section(s)
Zoning District:	DX-12-UL, and DX-12-UG	3.1
Overlay District:	NA	5.1
Parking:	Required / proposed; 444 spaces / 444 spaces (off site) Bicycle Short term + long term = 28 / 30	7.1.2
Street Type(s):	Glenwood is classified as a main street Hillsborough Street is classified as an Avenue 3-Lane W. Morgan Street is classified as an Avenue 2-Lane, Divided	8.4
Streetscape:	Mixed Use Streets cape (Per the Urban Limited frontage requirement and consistent with the required streetscape installed with the Citrix project (SP-32-2012) and the Urban Limited compliant (UDO 8.5.2.B), a 14' streetscape will be required along the W Morgan Street frontage).	8.5
Setbacks/Frontage:	Front 3' Side 3' Rear 0 and 6'	3.4 , 3.2 , 2.2
Neighborhood Transitions:	NA	3.5
Transitional Protective Yards:	NA	7.2.4
Storm water:	Storm water compliance with water quality and water quantity being shown with a sand filter, one-time nitrogen offset payment and underground detention.	9.2
Tree Conservation:	This site is less than two acres in size and therefore exempt from Article 9.1, Tree Conservation.	9.1

<p>Variances, Design Adjustments, Administrative Alternates:</p>	<p>AAD-10-16 , An Approved Administrative Alternate (10.2.17) for alternative building massing standard (3.3.3 D)</p>	
<p>Other:</p>	<p>Request to consider dedicating a 15x20' transit easement along Glenwood Avenue And to providing an ADA accessible transit shelter, or the incorporation of a shelter into the face of the building. (Policies T4.1, T4.2, T4.8, T4.15, and LU6.4).</p>	

OFFICIAL ACTION: Approval with conditions

CONDITIONS OF APPROVAL:

Prior to issuance of a mass land disturbing permit for the site:

1. That in accordance with Part 10A Section 9.4.4, a surety equal to of the cost of clearing, grubbing and reseeding a site, shall be paid to the City;

Prior to the issuance of any site permits, infrastructure construction plans or concurrent review process, whichever is applicable?

2. That a nitrogen offset payment must be made to a qualifying mitigation bank;
3. That a storm water control plan with a storm water operations and maintenance manual and budget shall be approved by the Storm water Engineer in compliance with Part 10A Chapter 9 of the Unified Development Ordinance, including the designation of buffer areas and open space areas for storm water purposes prior to grading or the approval of construction drawings whichever event comes first;

Prior to issuance of building permits:

4. That a recombination of all applicable parcels be submitted for review and recorded in the Wake County Register of Deeds;
5. That the owner/developer of this property provides proof of an offsite parking easement agreement within 660 feet of the building entrance on this lot for required parking in accordance with UDO Sections 7.1.5 B and 6.4.7 C. If the offsite parking is to be shared with another use, the grantor of the parking easement shall agree in writing to provide the required off-street parking as long as the principal use of the subject property remains and the grantor shall agree that the use of the parking shall not conflict with parking requirements for the offsite properties;

6. That the final design of open space on the Glenwood Avenue Frontage be submitted to the Planning Director for review and approval (AAD-10-16);
7. That a surety in an amount of 125% of the cost of construction for the 6' sidewalk and streetscape trees installed on Hillsborough, W. Morgan, and Glenwood Avenue is to be paid to the Public Works Department in accordance with code section 8.1.3 of the UDO.
8. That ½ of the required 76' right of way along W. Morgan Street is dedicated to the City of Raleigh and a copy of the recorded plat be provided to the City prior to building permit issuance;
9. That ½ of the required 90' right of along Hillsborough Street is dedicated to the City of Raleigh and a copy of the recorded plat be provided to the City prior to building permit issuance;
10. That any offsite varying width temporary construction easement on all applicable parcels are obtained either by deed or map;
11. That the developer shall pay to the City a storm water facility replacement Fund payment equal to twenty-four percent (24%) of the estimated cost of Constructing all storm water control facilities shown on the development plans;
12. That all storm water control measures and means of transporting storm water runoff to and from any nitrogen and storm water runoff control measures shall be shown on all plats for recording as private drainage easements and the plats shall contain the following note: "All private storm drainage easements & storm water measures will be maintained by the property owners association;
13. That in accordance with Part 10A Section 9.2.2, a surety equal to 125% of the cost of construction of a storm water device shall be paid to the City;
14. That an encroachment agreement for any plantings, planters, awnings or storm water drainage systems that carry private drainage to be located within the public right-of-way is approved by the City Council by separate action. An application for encroachment into the public ROW for the landscaping located within the right of way as indicated on the preliminary plan, shall be submitted to the City's Encroachment Coordinator in the Public Works Department for review, and that the City Council approve the encroachment request. Following City Council approval of the encroachment, an encroachment agreement, prepared in accordance with Raleigh City Code Sections 12-1001 and 12-1021(a), shall be filed with the Public Works Department, and the encroachment agreement is to be recorded with the Wake County Register of Deeds. Maintenance of the encroachment shall be the responsibility of the owner;

Prior to issuance of a certificate of occupancy:

15. That a certificate of occupancy be issued for the associated parking facility at 607 W. Morgan Street (SR-92-16, Two Glenwood);
16. That in accordance with Part 10A Section 9.2.2, an as-built plan and certification any storm water control device shall be reviewed and accepted by the City prior to final storm water inspection approval or certificate;

I hereby certify this administrative decision.

Signed:

(Planning Dir.)

Ken Brown (C. Brown)

Date:

1-3-17

Staff Coordinator:

Michael Walters

SEE LAST PAGE FOR IMPORTANT INFORMATION ON THE NEXT STEP IN THE PROCESS.

FINDINGS:

City Administration finds that this request, with the above conditions being met, conforms to the Unified Development Ordinance. This approval is based on a preliminary plan dated 11/17/16, submitted by JDavis Architects

EXPIRATION DATES:

The expiration provisions of UDO Section 10.2.8 E, including the ability to request extensions in the expiration date, apply to this site plan. If significant construction has not taken place on a project after administrative site review approval, that approval may expire and be declared void, requiring re-approval before permits may be issued. To avoid allowing this plan approval to expire the following must take place by the following dates:

3-Year Expiration Date: 1/3/2020

Obtain a valid building permit for the total area of the project, or a phase of the project.

4-Year Completion Date:

Within four years after issuance of the first building permit for the site plan, the construction of the entire site plan must be completed unless an applicant has been granted vested rights. Failure to complete construction within this specified time frame shall automatically void the approved site plan for which no building permits have been issued.

WHAT NEXT?:

- MEET ALL CONDITIONS OF APPROVAL.
- COMPLETE INFRASTRUCTURE CONSTRUCTION DRAWINGS FOR ANY PUBLIC IMPROVEMENTS Streets, Utility lines to be owned and maintained by the City.
- HAVE A REGISTERED SURVEYOR PREPARE FINAL PLATS FOR RECORDING. These also must be submitted to the City for authorization signature prior to recording with the Wake County Register of Deeds.
- MEET THE REQUIREMENTS OF THE EXPIRATION THRESHOLDS AS NOTED ABOVE.