



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

219 E NORTH STREET

Address

BLOUNT STREET

Historic District

Historic Property

194-16-MW

Certificate Number

12-28-2016

Date of Issue

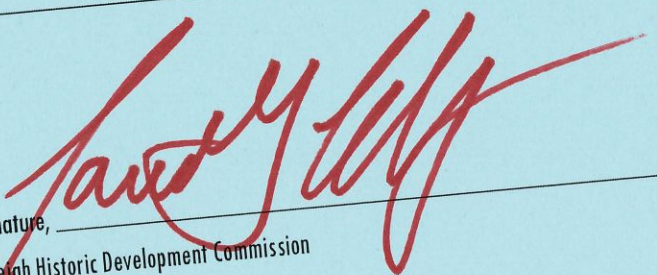
06-28-2017

Expiration Date

Project Description:

- Construct brick and concrete access ramp.

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, 
Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



DEVELOPMENT SERVICES DEPARTMENT

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 10 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval		For Office Use Only Transaction # <u>4810704</u> File # <u>194-16-MW</u> Fee <u>\$29.00</u> Amount Paid <u>\$29.00</u> Received Date <u>9-7-16</u> Received By <u>K.Pruitt</u>	
Property Street Address		219 E North Street, Raleigh, North Carolina 27601	
Historic District		Blount Street Historic District	
Historic Property/Landmark name (if applicable)		Ashley House	
Owner's Name		Francis Law Office	
Lot size	0.23 acres	(width in feet)	78 feet
		(depth in feet)	126 feet
For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys (Label Creator).			
Property Address		Property Address	

Complete 11/21/16

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant **Matthew Konar Architect**

Mailing Address **The Farmhouse, 611 W Club Boulevard**

City **Durham** State **North Carolina** Zip Code **27701**

Date **Tuesday, 30 August 2016** Daytime Phone **919.801.9736**

Email Address **matthewk@matthewkonar.com**

Applicant Signature 

Will you be applying for rehabilitation tax credits for this project? Yes No

Did you consult with staff prior to filing the application? Yes No

Office Use Only

Type of Work _____

59

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.05 / pg. 16	Walkways	Construction of new accessible ramp on west side of the structure. Refer to additional information, description and drawings attached.
3.08 / pg. 42	Entrances, Porches and Balconies	
3.11 / pg. 48	Accessibility	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 6/28/17. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) [Signature] Date 12/28/16

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2" x 11" or 11" x 17" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 10 copies</p>			/		
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	■		/		
2. Description of materials (Provide samples, if appropriate)	■		/		
3. Photographs of existing conditions are required. Minimum image size 4" x 6" as printed. Maximum 2 images per page.	■		/		
4. Paint Schedule (if applicable)	□	■			/
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	■	□	/		
6. Drawings showing existing and proposed work <ul style="list-style-type: none"> ■ Plan drawings ■ Elevation drawings showing the façade(s) ■ Dimensions shown on drawings and/or graphic scale (required) ■ 11" x 17" or 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 11" x 17" or 8-1/2" x 11" snap shots of individual drawings from the big sheet. 	■	□	/		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	□	■	/		
8. Fee (See <u>Development Fee Schedule</u>)	■		/		

Matthew Konar Architect

CERTIFICATE of APPROPRIATENESS application

Wednesday, 07 September 2016

to: Tania Tully
re: Exterior Ramp
Ashley House
219 E North Street
Raleigh, North Carolina 27601

PART 1 WRITTEN DESCRIPTION

The scope of work will be the construction of an accessible ramp on the side of the Ashley house. The new ramp and existing stair modification will be significantly recessed from the public right-of-way by re-using an existing adjacent paved pathway and side entrance to the house and, thus, will be minimally visible from the front of the house, the South elevation.

The ramp will be offset from the structure approximately 1'-0" and will be 8'-6" wide on the South elevation.

In order to provide the compliant slope for accessibility, the ramp will be 29'-0" long on the West elevation.

PART 2 DESCRIPTION OF MATERIALS

The ramp and modified stairway will be constructed of materials complimentary to the existing Ashley House.

The retaining walls of the ramp and stairway will be constructed of similar brick to match, to the extent possible, the existing brick that composes the base of the house. The brick retaining walls will have a ~~stone~~ ^{Painted} cap to match, to the extent possible, the existing stone cap that tops the existing retaining walls.

Painted
concrete →

The ramp and stairs will be constructed of poured-in-place concrete using the retaining walls as the forms for the concrete.

The handrail will be matte-finished aluminum. — see photo

In order to minimize the visual impact, the ramp and the modified stairway are designed in a manner that a guardrail will not be required and, therefore, not installed.

The Farmhouse
611 W Club Boulevard
Durham, North Carolina 27701
t.919.801.9736
matthewk@matthewkonar.com

Matthew Konar Architect

LETTER

Monday, 21 November 2016

to: John Anagnost
Raleigh Historic District Commission
City of Raleigh
Raleigh, North Carolina

re: transaction no. 486704 . responses to comments by City of Raleigh
Certificate of Appropriateness . 219 E North Street . exterior stair modification and accessible ramp

Dear John.

response Please provide an image showing the style and color of the handrail you propose to use.
Image of the proposed handrail is attached.

response A brick sample is needed along with a detail photo of the existing brick.
A brick sample will be delivered to the RHDC for review.

response Provide a closer photo of the area where the ramp is proposed.
An image of the area of the ramp and stair is attached.

response A section drawing of the brick wall portion of the ramp is needed.
Full-sized architectural sheet 0121 showing enlarged plans, elevations and a section detail is attached.

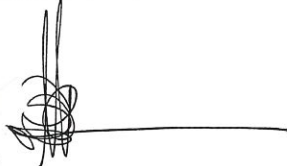
response It appears as though the cheek walls flanking the existing steps will remain. Is this correct?
The cheek walls will remain or be removed temporarily and re-built due to construction.

response Will the south portion of the existing steps remain? Or will they be removed and rebuilt adjacent the new
ramp that will replace a part of the steps?
The existing steps will be removed and re-built as shown on the attached full-sized architectural sheet A0121.

response The stone cap may not be appropriate for the ramp – a simple brick cap may be required. I suggest providing
a drawing of both for staff review.
~~The 'stone cap' will be a painted concrete slab to match the existing.~~
A painted concrete sample will be delivered to the RHDC for review.
Refer to the attached image of the area of the ramp and stair.

response Please provide large scale drawings of the elevation drawings with height dimensions noted also
(a graphic scale is also useful).
Full-sized architectural sheet 0121 showing enlarged plans, elevations and a section detail is attached.
The architectural drawings have both horizontal and vertical dimensions.
The architectural scale of the drawings are noted in the drawing description below each drawing.

Thank you for your prompt review.



Matthew Konar

The Farmhouse
611 W Club Boulevard
Durham, North Carolina 27701
t.919.801.9736
matthewk@matthewkonar.com

Anagnost, John

From: Matthew Konar Architect <matthewk@matthewkonar.com>
Sent: Monday, November 21, 2016 2:32 PM
To: Anagnost, John
Cc: Liz Grandchamp
Subject: Re: Minor Work COA Application for 219 E North St
Attachments: 0177_MKA_reply_161121.pdf; 0177_images_161121.pdf; 0177_A0121_160912.pdf; 0177_A0101_REV01_160914.pdf; 0177_A0201_160912.pdf

John.

Attached are the following per your comments:

1. formal response letter from Matthew Konar Architect addressing your questions
2. pdf of requested images
3. full-sized architectural sheet A0121 showing the enlarged plan, elevations and a section detail of the modified stairs and accessible ramp
4. full-sized architectural sheet A0101 showing the floor plan of the project, for reference
5. full-sized architectural sheet A0201 showing the elevations of the project, for reference

I plan to drop off the brick and painted concrete samples today.

Also, fyi, cc'ed on this email is Liz Grandchamp of Matthew Konar Architect who is assisting in the coordination of this historic renovation.

Thank you for your assistance and prompt review.
Konar.

Matthew Konar Architect

The Farmhouse
611 W Club Boulevard
Durham, North Carolina 27701

matthewk@matthewkonar.com
919.801.9736
@matthewkonar

On Nov 16, 2016, at 1:12 PM, Anagnost, John <John.Anagnost@raleighnc.gov> wrote:

Hi Matthew,

I will be in the office on November 23. You can bring the items to the reception area on the third floor. If no one is there, call my phone. I'll come and meet you.

Thanks,
John

*John Anagnost
Comprehensive Planning Division
Raleigh Department of City Planning
(919) 996-2638
1 Exchange Plaza, Floor #2*

From: Matthew Konar Architect [<mailto:matthewk@matthewkonar.com>]
Sent: Wednesday, November 16, 2016 11:14 AM
To: Anagnost, John
Subject: Re: Minor Work COA Application for 219 E North St

John.

Will you be in the office next Wednesday, 23 November 2016 in order for us to drop of all the samples, drawings and information requested below?

Thanks.
Konar.

Matthew Konar Architect

The Farmhouse
611 W Club Boulevard
Durham, North Carolina 27701

matthewk@matthewkonar.com
919.801.9736
[@matthewkonar](#)

On Sep 23, 2016, at 4:42 PM, Anagnost, John <John.Anagnost@raleighnc.gov> wrote:

Matthew: Thank you for submitting a Minor Work application for 219 E North St. I've reviewed the application and I have a few comments. Additional materials may be sent in by email.

- Please provide an image showing the style and color of the handrail you propose to use.
- A brick sample is needed along with a detail photo of the existing brick.
- Provide a closer photo of the area where the ramp is proposed.

- A section drawing of the brick wall portion of the ramp is needed.
- It appears as though the cheek walls flanking the existing steps will remain. Is this correct?
- Will the south portion of the existing steps remain? Or will they be removed and rebuilt adjacent the new ramp that will replace a part of the steps?
- The stone cap may not be appropriate for the ramp – a simple brick cap may be required. I suggest providing a drawing of both for staff review.
- Please provide large scale drawings of the elevation drawings with height dimensions noted also (a graphic scale is also useful).

Thanks,
John

*John Anagnost
Comprehensive Planning Division
Raleigh Department of City Planning
(919) 996-2638
1 Exchange Plaza, Floor #2*

"E-mail correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized City or Law Enforcement official."

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image of proposed handrail
219 E North Street
Certificate of Appropriateness from Raleigh Historic Districts Commission

Painted



image of existing brick at modified stair and accessible ramp location
219 E North Street
Certificate of Appropriateness from Raleigh Historic Districts Commission

THESE DRAWINGS AND SPECIFICATIONS AS INSTRUMENTS OF SERVICE SHALL REMAIN THE PROPERTY OF THE DESIGNER. THE CLIENT SHALL NOT REUSE OR MAKE ANY MODIFICATIONS TO THE PLANS OR SPECIFICATIONS WITHOUT THE PRIOR WRITTEN CONSENT OF RICHARD HALL DESIGNS.
C. 2001 RICHARD HALL DESIGNS.



1 Front Elevation (South)
EX-2 N.T.S.



2 Side Elevation (East)
EX-2 N.T.S.



3 Back Elevation (North)
EX-2 N.T.S.



4 Side Elevation (West)
EX-2 N.T.S.

RICHARD HALL DESIGNS

619 Tower Street
Raleigh, North Carolina 27607
919.834.9522 phone
919.833.3511 fax
Internet: hall2352@bellsouth.net

Consultants Seal

Project

Renovation for
The Francis Law Firm
215 E. North Street
Raleigh, NC 27601

Revision/Issue

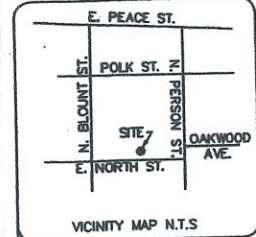
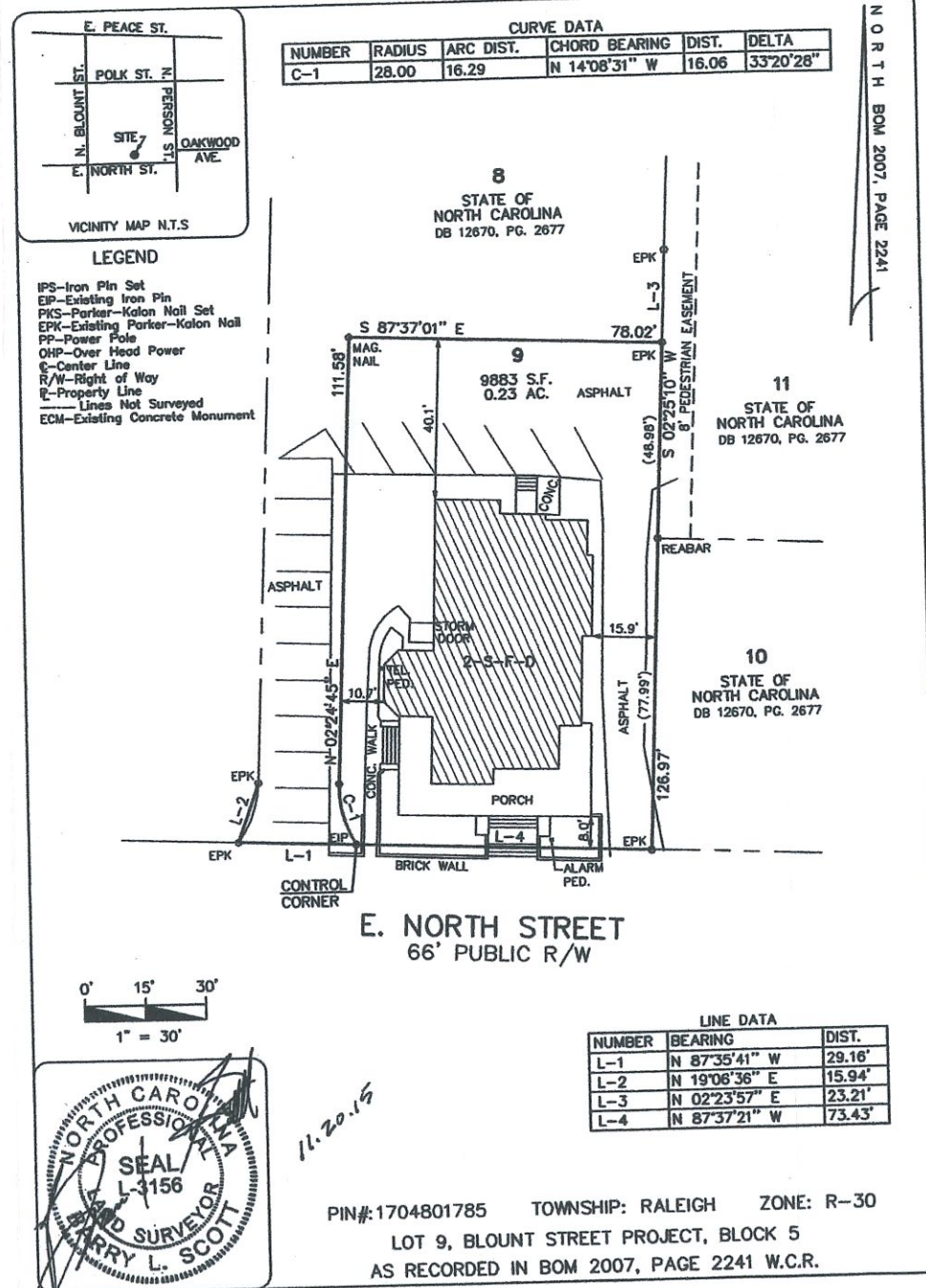
BANK PRICING SET
NOT FOR CONSTRUCTION

Drawing Name

Existing Exterior Elevations

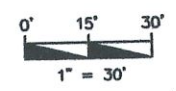
Date
April 18, 2016

EX-2



CURVE DATA					
NUMBER	RADIUS	ARC DIST.	CHORD BEARING	DIST.	DELTA
C-1	28.00	16.29	N 14°08'31" W	16.06	33°20'28"

LEGEND
 IPS—Iron Pin Set
 EP—Existing Iron Pin
 PK—Parker-Kalon Nail Set
 EPK—Existing Parker-Kalon Nail
 PP—Power Pole
 OHP—Over Head Power
 C—Center Line
 R/W—Right of Way
 P—Property Line
 --- Lines Not Surveyed
 ECM—Existing Concrete Monument



LINE DATA		
NUMBER	BEARING	DIST.
L-1	N 87°35'41" W	29.16'
L-2	N 19°06'36" E	15.94'
L-3	N 02°23'57" E	23.21'
L-4	N 87°37'21" W	73.43'



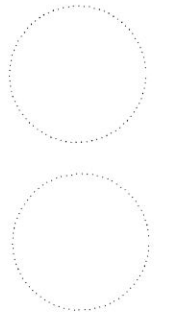
PIN#: 1704801785 TOWNSHIP: RALEIGH ZONE: R-30
 LOT 9, BLOUNT STREET PROJECT, BLOCK 5
 AS RECORDED IN BOM 2007, PAGE 2241 W.C.R.

I, Barry L. Scott, certify that this plot was drawn under my supervision from (an actual survey made under my supervision) (see description recorded in Book 12670, page 2677, etc.) (other), that the ratio of precision as calculated by latitude and departures is 1/10,000, that the boundaries not surveyed are shown as broken lines plotted from information found in (SEE REFERENCE).
 Witness my original signature, registration number and seal this 20th day of November, A.D. 2015

PROPERTY OF
 STATE OF
 NORTH CAROLINA
 215 E. NORTH ST. WAKE COUNTY RALEIGH, N.C.
 SCALE: 1" = 30'
 DATE: 11-20-15
 BOOK: M513/15
B. L. SCOTT
 LAND SURVEYING
 PROFESSIONAL LAND SURVEYORS
 N. C. REG. NO. 11111 - 11111, 11111, 11111, 11111, 11111

Matthew Konar Architect
 The Farmhouse
 611 W Club Boulevard
 Durham
 North Carolina
 27701
 matthewk@matthewkonar.com
 919.881.9736
 www.matthewkonar.com
 @matthewkonar

PERMIT SET



Architectural Plot Plan

MKA project no. 0177
 PROJECT
 Francis Law Firm Office
 ADDRESS
 219 E North Street
 Raleigh
 North Carolina
 27601

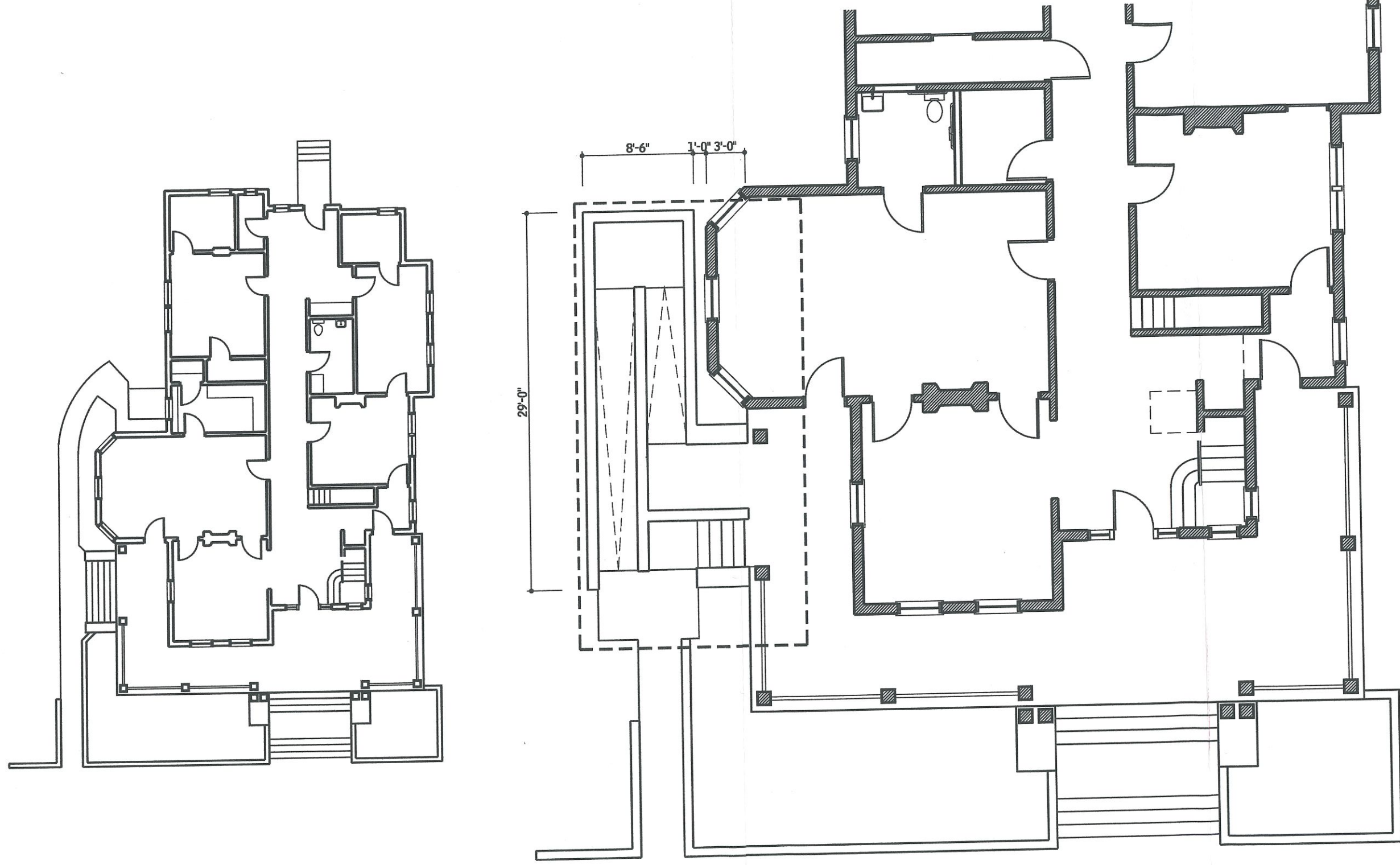
REVISED

SCALE

DATE
 Friday 08 July 2016

A0100

01 Architectural Plot Plan . Proposed
 scale: not to scale; refer to scale on survey



DRAWING
Plans . Existing and Proposed

PROJECT
Ashley House . Exterior Ramp

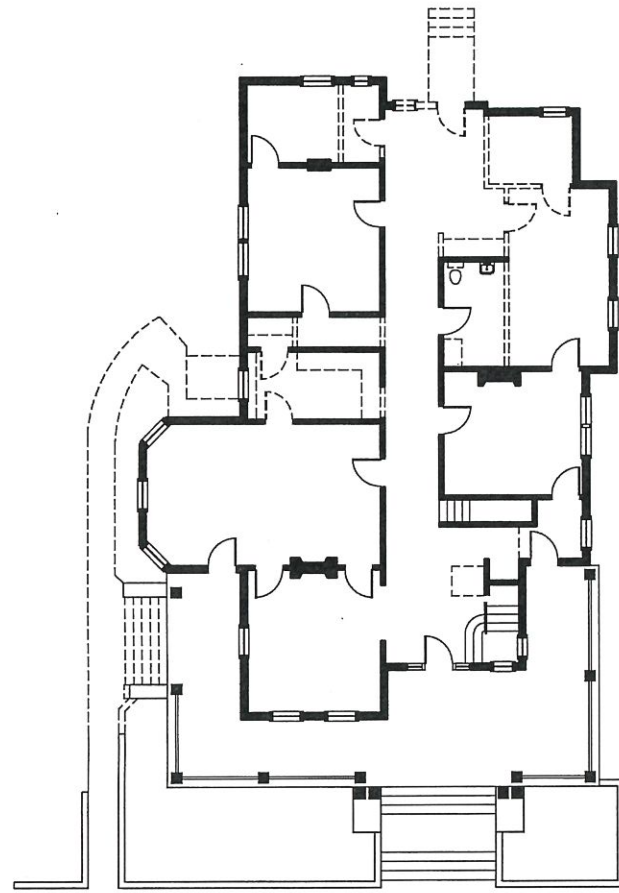
ADDRESS
Francis Law Office
219 E North Street
Raleigh, NC 27601

SCALE
1/8" = 1'-0"

DATE
Wednesday 07 Sept 2016



RHDCI



00 Architectural Demolition Plan - Ground Level - FOR REFERENCE ONLY
scale: 1/8" = 1'-0"

- GENERAL CONSTRUCTION NOTES**
1. Protect all existing doors, walls, and trim with masking.
 2. Patch and repair all cracked or falling plaster on walls and ceilings. Finish with vinyl ester to match existing plaster finish.
 3. Block and repair rot and severely damaged trim.
 4. Cleanly clean all walls and trim and as necessary prepare for new paint or wood finish.
 - Paint all new and existing painted trim with Semi-Gloss, color TBD
 - Paint all ceilings with flat, color TBD
 - Paint all exterior walls with flat or eggshell, color TBD
 - Paint all existing doors with Satin, color TBD
 5. Clean existing wall building on wood floors. Carefully repair any damaged floors. Provide new top finish coat.
 6. Clean & repair fireplace surround, hearth, and mantel. Replace missing tiles & grout as necessary, match existing.
 7. Clean, repair or replace any damaged custom window panes above existing doors.
 8. If feasible, remove existing doors as needed.
 9. Examine and repair all door hardware to ensure latches and locks operate efficiently. Clean and service all lock, door and window hardware.
 10. Provide new window, pane and mesh in doors or dismount on site with Owner.
 11. Provide new crown molding and quarter round at base board in Reception, Waiting, Conference, Main Hall, Side Entry, and Attorney Offices on first floor. (Owner EC finishing ECR Panels in Corridor Office, ECR Panels elsewhere). When new trim, casing, base board, etc. is provided, match existing.
 12. Provide new electrical, phone, and cable wiring and connections as necessary and as determined on site with Owner/Designer. All bulbs shall be in base board or wall. There shall be no surface mounted boxes. Re-finish and replace base board as necessary.
 13. Provide new light fixtures throughout. Type to be selected by Owner/Designer.
 14. New fixtures or fixtures to be selected by Owner.
 15. Remove any unused piping, wiring, and ductwork.
 16. Repair / replace any access panels as necessary.
 17. Insulate under all crawl spaces.
 18. Repair or replace existing windows with new windows as needed. Match pattern to match existing.
 19. Per Owner request, First Floor Corridor to be leveled to consistent finished floor elevation from Front to Rear, as structurally feasible. FFE to be indicated to provide accessible route as required.

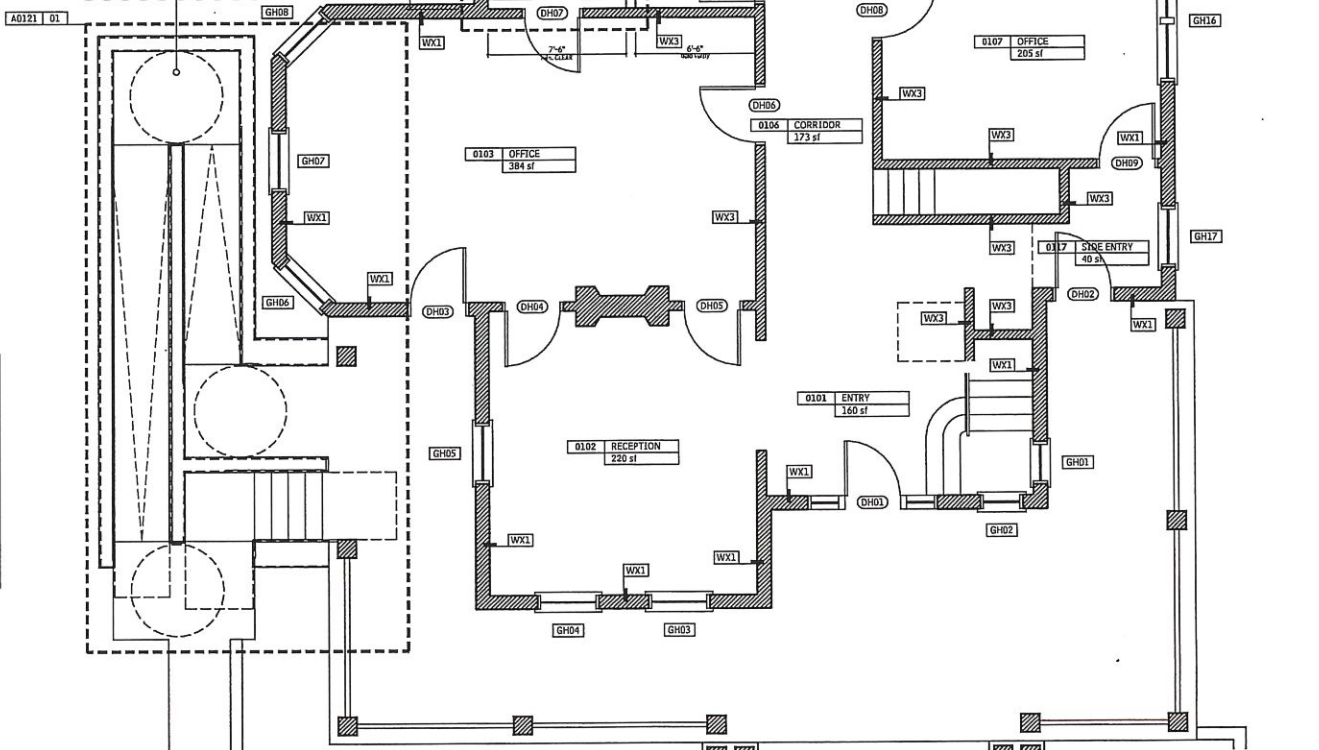
- EXTERIOR CONSTRUCTION NOTES**
1. Contractor to repair all holes and existing chimeers as needed. Grout to match existing in color and texture. Match existing joint detail.
 2. Block foundation to be painted, color TBD
 3. Existing wood siding to be repaired, cleaned and sanded as necessary to provide for new exterior paint finish. Repair and/or replace any damaged or rotten siding.
 4. At Front Porch, repair or replace wood stairs, wood deck, columns, railings, wood ceiling as needed. Sweep, clean and sand as necessary to prepare for new exterior paint finish.
 5. All new wood trim to match existing.
 6. Provide new exterior electrical light fixtures as approved by Owner/Designer.
 7. Contractor to carefully examine existing roof and repair and replace any roofing components as needed including but not limited to flashing, counterflashing, building felt, roof sheathing.
 8. Contractor to install new asphalt shingle roof, color and type TBD
 9. Existing windows to be repaired or replaced as needed. Match existing window style.
 10. Existing exterior doors to be repaired or replaced as needed. Match existing as approved by Owner/Designer. Prepare for new exterior paint finish.
 11. Examine and repair all window hardware to ensure proper operation. Clean and service all window hardware, repair and replace any damaged window panes.
 12. Contractor to provide new foundation at all utility spaces.

SECRETARY OF THE INTERIOR STANDARDS FOR REHABILITATION

The Standards Department of Interior regulations 26 CFR 671 pertain to historic buildings of all materials, construction types, sizes, and occupancy and encompasses the exterior and the interior, including landscape features and the building site and endowments as well as attached, adjacent, or related new construction. The Standards are to be applied to specific rehabilitation projects in a reasonable manner, giving due consideration to economic and technical feasibility.

1. A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and endowment.
2. The historic character of a property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize a property shall be avoided.
3. Each property shall be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other buildings, shall not be undertaken.
4. Most properties change over time; those changes that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes, and construction techniques or materials of craftsmanship that characterize a property shall be preserved.
6. Deteriorated historic features shall be repaired rather than replaced. Where the safety of deterioration requires replacement of a distinctive feature, the new feature shall match the old in design, color, texture, and other visual qualities and, where possible, materials. Replacement of missing features shall be undertaken by documentary, physical, or pictorial evidence.
7. Character or physical features, such as walling, that stress, damage or destroy historic materials shall be used. The surface character of structures, if appropriate, shall be undertaken using the greatest means possible.
8. Significant architectural resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations, or related new construction shall not destroy historic materials that characterize the property; the new work shall be differentiated from the old and shall be compatible with the massing, scale, style, and architectural features to protect the historic integrity of the property and its environment.
10. New additions and exterior alterations or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

IMPERVIOUS CALCULATIONS
Existing: 7,558 sf
Proposed: 7,600 sf
Delta: +42 sf
Percentage: +0.6%



01 Architectural Floor Plan - Ground Level - Proposed
scale: 1/4" = 1'-0"

Matthew Konar Architect
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611 W Club Boulevard
Durham
North Carolina
27701
matthewk@matthewkonar.com
919.803.9726
www.matthewkonar.com
@matthewkonar

PERMIT SET



Architectural Floor Plan
Ground Level

MKA project no. 0177
PROJECT
Francis Law Firm Office
ADDRESS
219 E North Street
Raleigh
North Carolina
27601

POSITION

SCALE

DATE
Wednesday 14 September 2016

A0101



DRAWING
Elevation . South . Existing

PROJECT
Ashley House . Exterior Ramp

ADDRESS
Francis Law Office
219 E North Street
Raleigh, NC 27601

SCALE
1/8" = 1'-0"

DATE
Wednesday 07 Sept 2016



RHDC2



DRAWING
 Elevation . South . Proposed

PROJECT
 Ashley House . Exterior Ramp

ADDRESS
 Francis Law Office
 219 E North Street
 Raleigh, NC 27601

SCALE
 1/8" = 1'-0"

DATE
 Wednesday 07 Sept 2016



RHDC3



DRAWING
Elevation . West . Existing

PROJECT
Ashley House . Exterior Ramp

ADDRESS
Francis Law Office
219 E North Street
Raleigh, NC 27601

SCALE
1/8" = 1'-0"

DATE
Wednesday 07 Sept 2016



RHDC4



DRAWING
Elevation . West . Proposed

PROJECT
Ashley House . Exterior Ramp

ADDRESS
Francis Law Office
219 E North Street
Raleigh, NC 27601

SCALE
1/8" = 1'-0"

DATE
Wednesday 07 Sept 2016



RHDC5



01 Architectural Elevation . South . Proposed
scale: 1/4" = 1'-0"



02 Architectural Elevation . West . Proposed
scale: 1/4" = 1'-0"

Matthew Konar Architect
The Farmhouse
611 W Club Boulevard
Durham
North Carolina
27701
matthewk@matthewkonar.com
919.801.9736
www.matthewkonar.com
@matthewkonar

PERMIT SET



Architectural Elevations . Proposed
South and West

MKA project no. 0177

PREPARED BY
Francis Law Firm Office

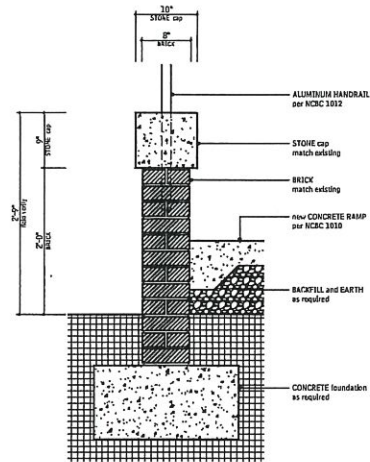
ADDRESS
219 E North Street
Raleigh
North Carolina
27601

REVISIONS

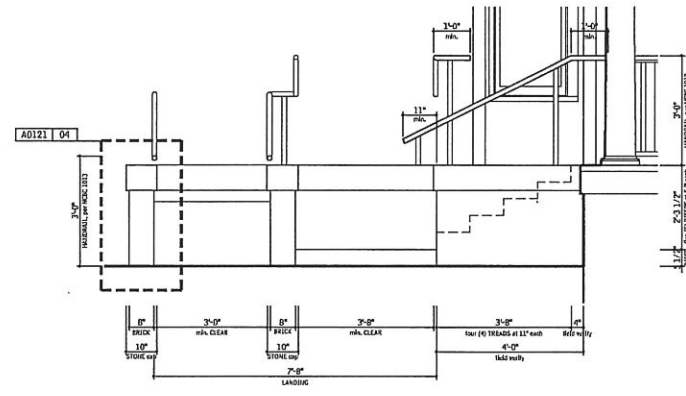
SCALE

DATE
Monday 12 September 2016

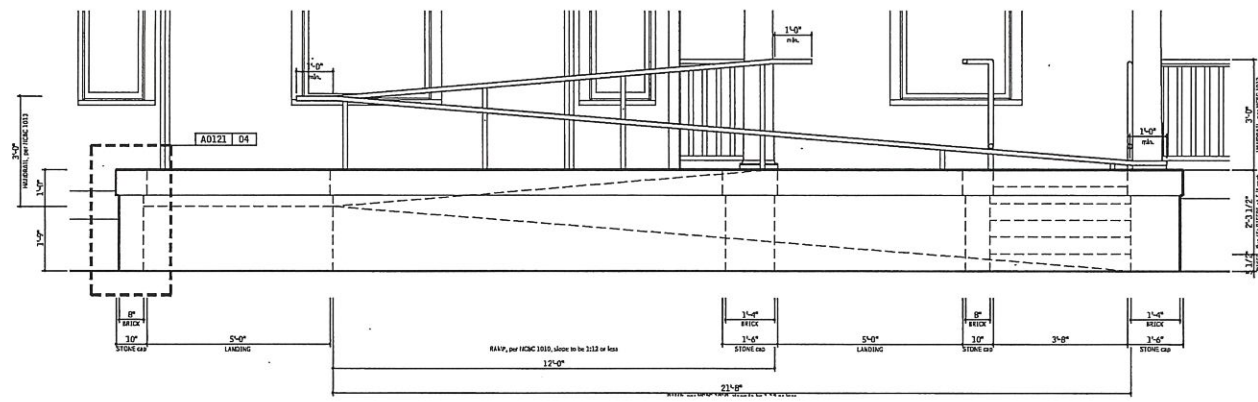
A0201



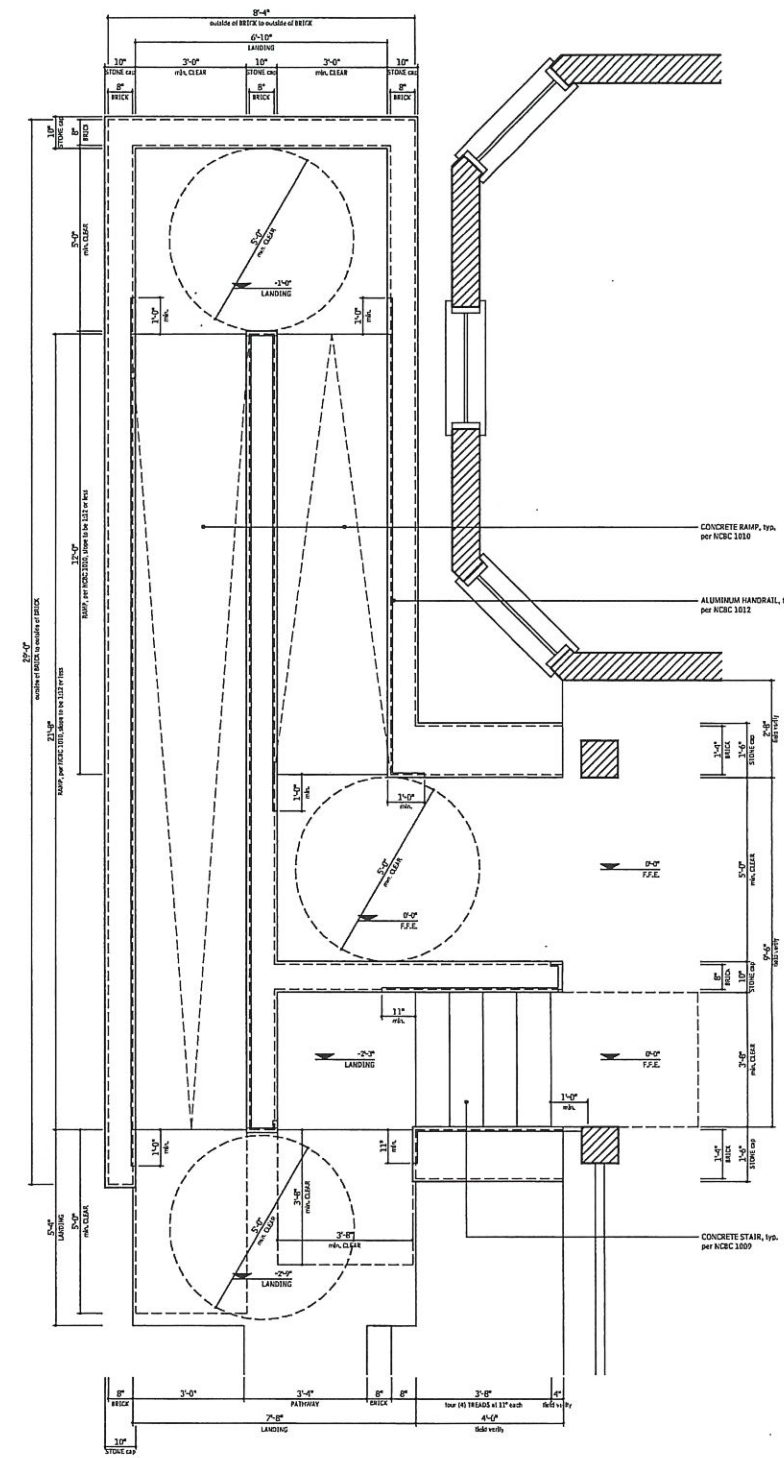
04 Architectural Wall Section, Typical, Exterior Ramp
scale: 1" = 1'-0"



02 Architectural Enlarged Elevation, South, Exterior Ramp
scale: 1/2" = 1'-0"



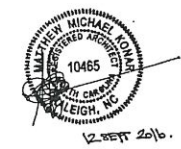
03 Architectural Enlarged Elevation, West, Exterior Ramp
scale: 1/2" = 1'-0"



01 Architectural Enlarged Floor Plan, Exterior Ramp
scale: 1/2" = 1'-0"

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PERMIT SET



Exterior Ramp and Stairs
Enlarged Floor Plan
Enlarged Elevations
Enlarged Wall Section

MKA project no. 0177

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REVISIONS

SCALE

DATE
Monday 12 September 2016

A0121