



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

712 DOROTHEA DRIVE

Address

BOYLAN HEIGHTS

Historic District

Historic Property

150-16-MW

Certificate Number

09-12-2016

Date of Issue

03-12-2017

Expiration Date

Project Description:

- Paint front yard fence;
- replace front porch light fixture;
- paint mailbox and add house numbers
- add side yard gate.

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature _____
Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<p><input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy</p> <p><input type="checkbox"/> Major Work (COA Committee review) – 13 copies</p> <p style="margin-left: 20px;"> <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other </p> <p><input type="checkbox"/> Post Approval Re-review of Conditions of Approval</p>	<p style="text-align: center;">For Office Use Only</p> <p>Transaction # <u>485806</u></p> <p>File # <u>150-16-MW</u></p> <p>Fee <u>29.⁰⁰</u></p> <p>Amount Paid <u>29.⁰⁰</u></p> <p>Received Date <u>8/29</u></p> <p>Received By <u>P Best</u></p> <p><i>Complete & amended 9/2/16</i></p>
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Property Street Address 712 Dorothea Drive Raleigh NC 27603

Historic District Boylan Heights

Historic Property/Landmark name (if applicable)

Owner's Name: Kelsey and Coulter Brinkley

Lot size 3190 sf	(width in feet) 46	(depth in feet) 60.5
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For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant: Kelsey Brinkley

Mailing Address 712 Dorothea Drive

City Raleigh

State NC

Zip Code 27603

Date 8/28/16

Daytime Phone 704.614.1718

Email Address KelseyLBrinkley@gmail.com

Applicant Signature

Kelsey Brinkley

Office Use Only

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes No

Type of Work

35, 51, 46, 87

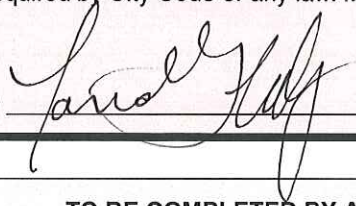
Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.7	Exterior Light on porch	Install a new front porch light and side entry light. We would like to paint our current mailbox bright white and affix vinyl house numbers on it. Prime and paint our existing front picket fence white. Install new side yard gate.
2.7	Side Entry Light	
2.7	Exterior Mail Box	
2.4	Fence Gate	
2.4	Paint Fence	Fence is change to previously approved COA 143-14-CA 165

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 3/12/17. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____



Date _____

9/12/10

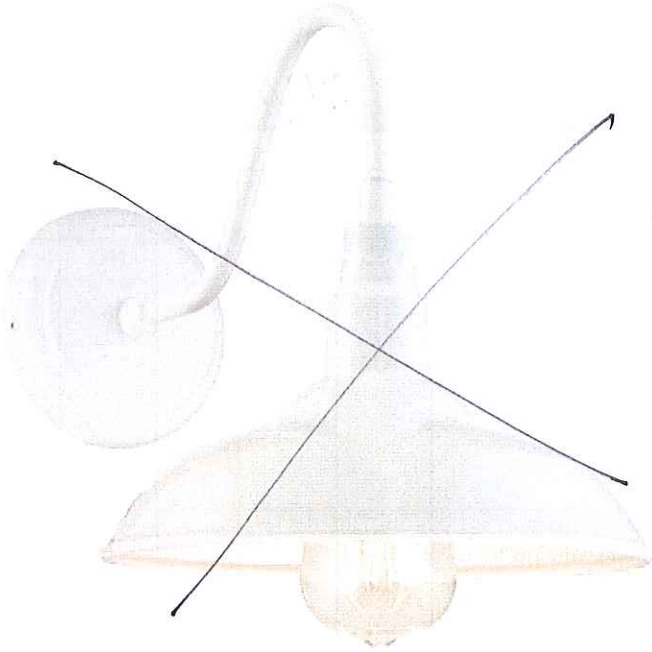
	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale <input type="checkbox"/> 8-1/2" x 11" or 11" x 17" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" or 11" x 17" snap shots of individual drawings on the big sheet. 	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				

Description Of Work

Item 1 and 2.

Replace current entry lamp and side entry light fixture with the fixture below.

<http://www.wayfair.com/1-Light-Wall-Lantern-BLLU1108.html?piid%5B0%5D=17857013>

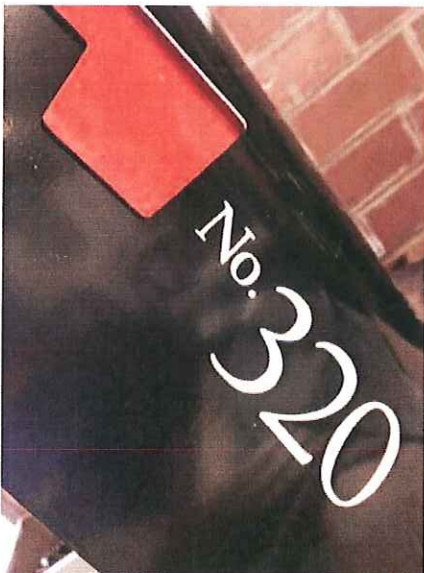


See amendment.

Item 3.

Paint current mailbox (picture on the right below) bright white with the house number in Brilliant Blue and place on the mailbox. It will say No. 712 (similar to image on left below).

https://www.etsy.com/listing/260973021/house-number-vinyl-decal-mailbox-vinyl?ga_order=most_relevant&ga_search_type=all&ga_view_type=gallery&ga_search_query=mailbox%20vinyl%20decal&ref=sr_gallery_4

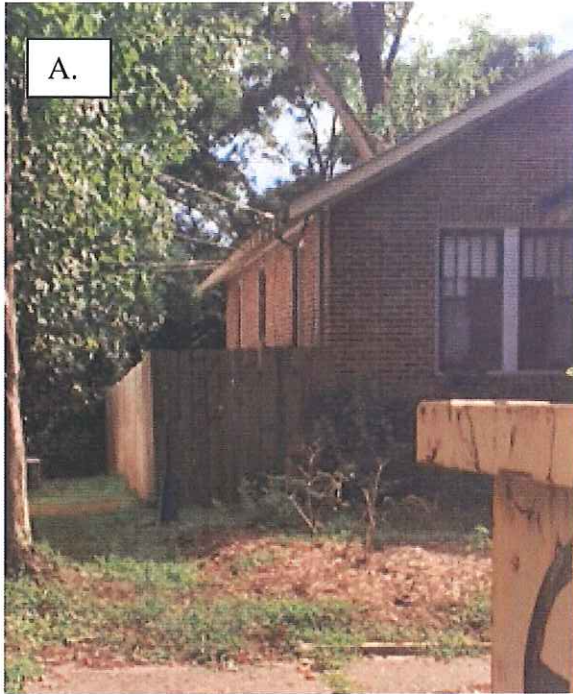


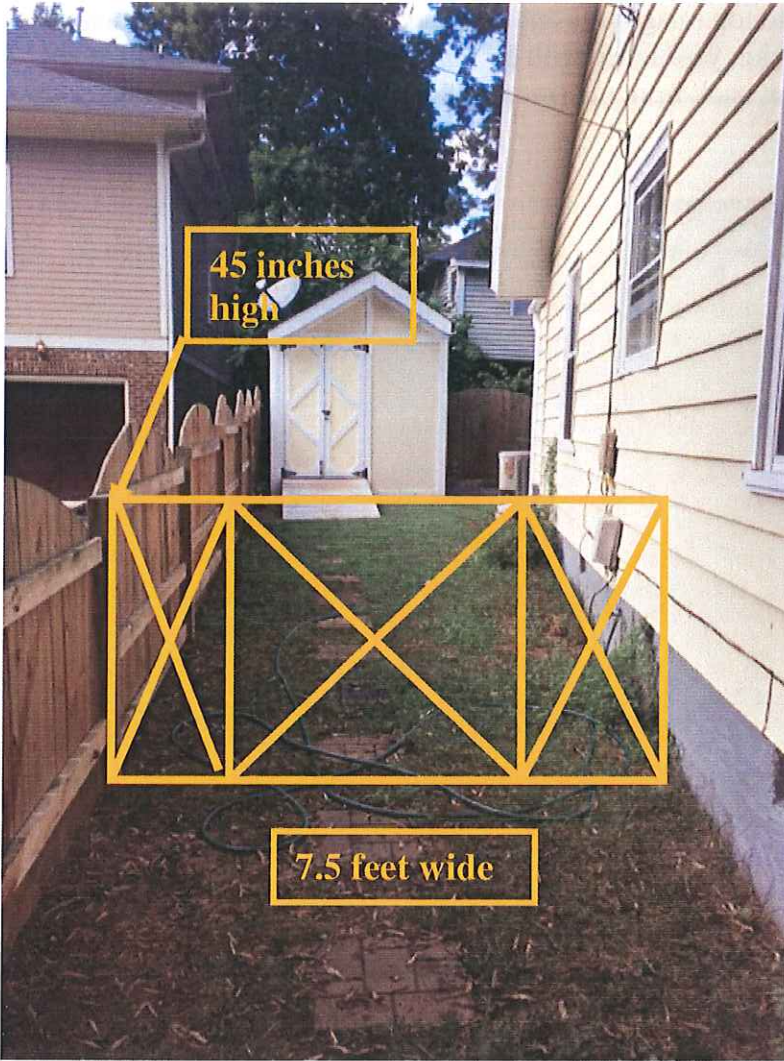
Brilliant Blue



Item 4.

Install fence and gate in side yard that looks similar to top image (A.) and (B). Fence and gate to be 45 inches tall and 7.5 feet wide. Board will match the existing side yard fence with 5 ¼ inch wide pieces of wood spaced ¼ inch apart. The fence and gate will be located 9 feet back from the front of the house. The fence that the gate and front fence will be affixed to is 45 inches high.





Item 4.

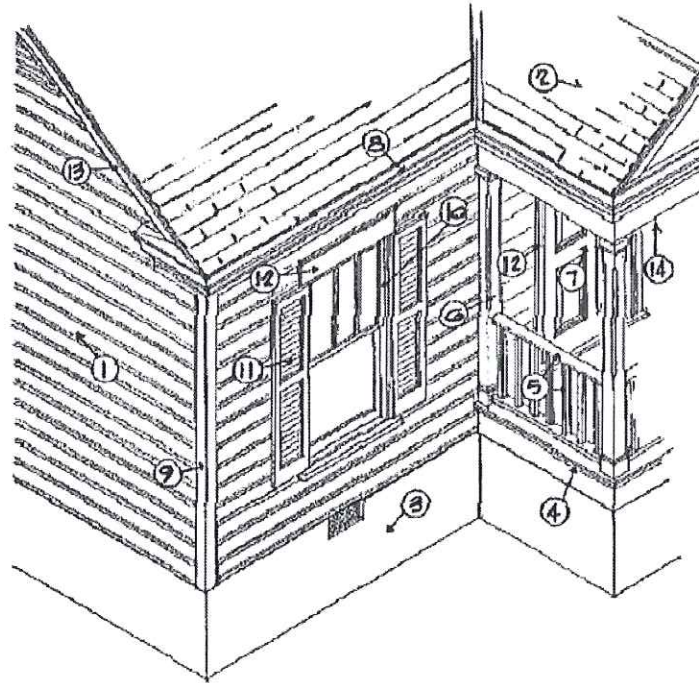
Paint picketed part of fence white.



Mock up of what white fence would look like.



Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



Applicant Kelsey Brinkley

Address 712 Dorothea Drive Raleigh NC 27603

Paint Manufacturer (Please submit color chips with this schedule) Sherwin Williams

SW 7006
Extra White

257-C1

Color Schedule

1	Body of House
2	Roofing
3	Foundation
4	Porch Floor
5	Railing
6	Columns
7	Entrance Door
8	Cornice
9	Corner Boards
10	Window Sash
11	Shutter
12	Door & Window Trim
13	Rake
14	Porch Ceiling
15	Other Fence: ProMar® Exterior Latex Barn Paint in SW 7006 Extra White Locator Number: 257-C1

<http://www.sherwin-williams.com/home-builders/color/find-and-explore-colors/paint-colors-by-family/SW7006-extra-white/#/7006/?s=coordinatingColors&p=PS0>

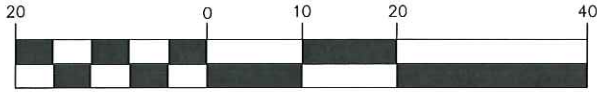
FLOOD CERTIFICATION

THIS WILL CERTIFY THAT THE SUBJECT PROPERTY
 () IS or (X) IS NOT located in a SPECIAL FLOOD HAZARD AREA
 as determined by the Department of Housing and Urban
 Development, or as shown on the FLOOD INSURANCE RATE MAP.

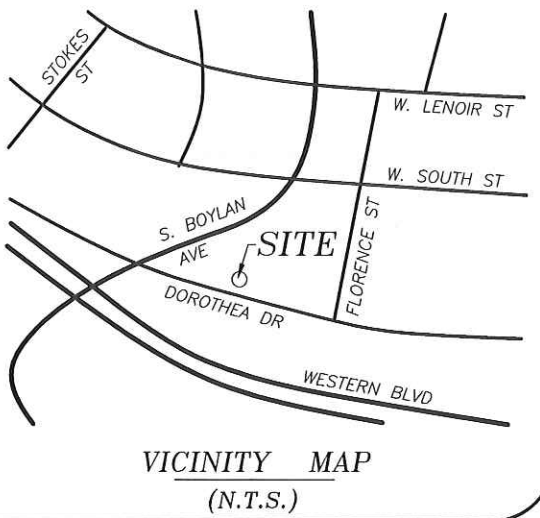
370243 1703 J
 COMMUNITY # PANEL SUFFIX

Jeffrey H. Davis, PLS
 PROFESSIONAL LAND SURVEYOR

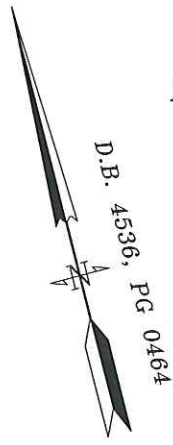
SCALE



(IN FEET)
 1 inch = 20 ft.



VICINITY MAP
 (N.T.S.)



N/F JAMES S. JELICORSE
 BRENDA LEE JELICORSE
 DB 11470, PG 1312

N/F JOANNA F. NICHOLS
 DANIEL T. DOUGLAS
 DB 14375, PG 052

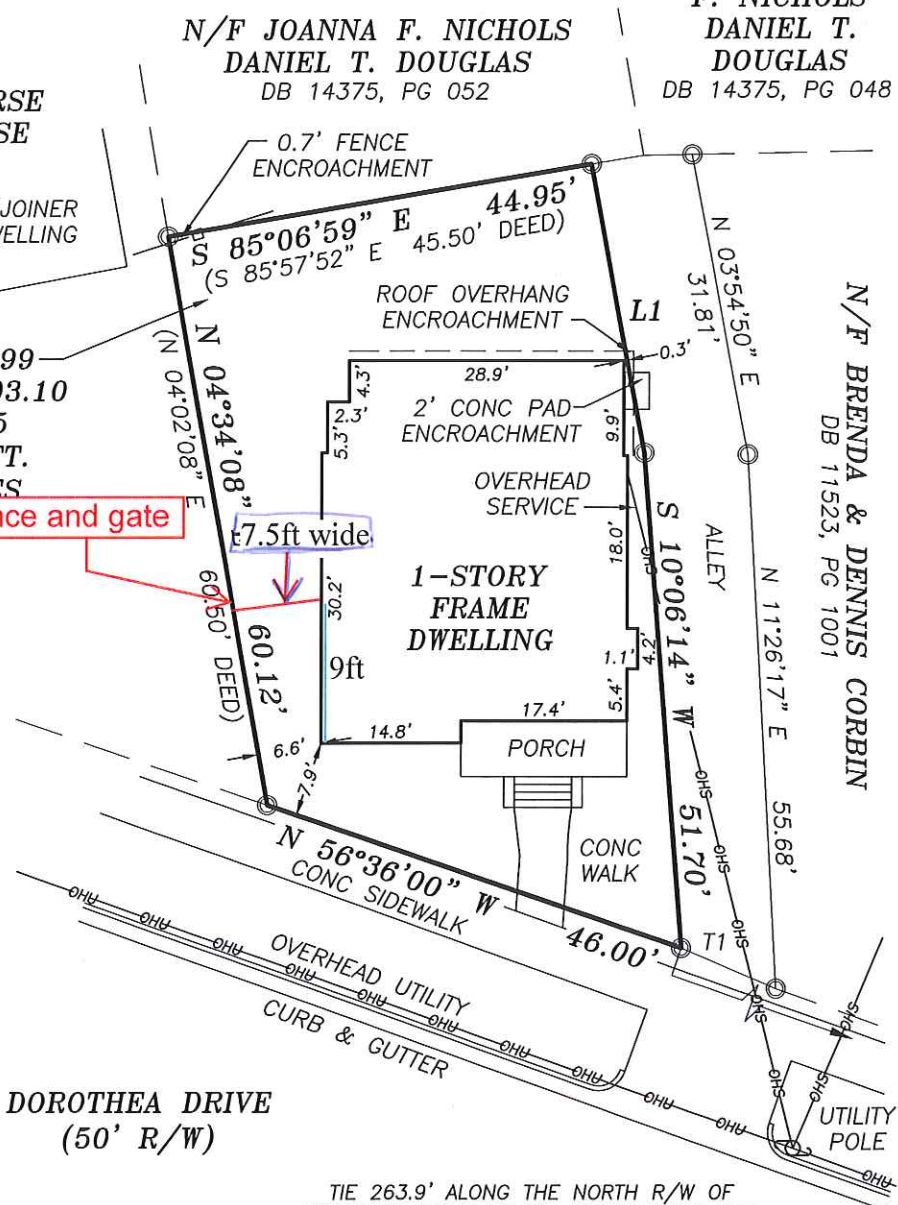
N/F JOANNA
 F. NICHOLS
 DANIEL T.
 DOUGLAS
 DB 14375, PG 048

PARCEL 3999
 TAX MAP 1703.10
 BLOCK 35
 3,141 SQ.FT.
 0.07 ACRES

Fence and gate

T1 ← S 52°11'36" E
 10.75'

L1 ← S 03°56'12" W
 30.61' (31.65' DEED)



N/F BRENDA & DENNIS CORBIN
 DB 11523, PG 1001

LEGEND

- EXISTING IRON PIPE
- NEW IRON PIPE
- × COMPUTED CORNER

NOTE:

THIS PROPERTY DOES NOT LIE WITHIN
 2000' OF A N.C.G.S. MONUMENT.

THIS SURVEY IS OF AN EXISTING PARCEL
 OR PARCELS OF LAND.

UTILITIES SHOWN ARE FOR REPRESENTATION
 ONLY AND NOT TO BE USED FOR
 PROPERTY LINE LOCATION

ALL CREEKS, EASEMENTS, BUFFERS,
 FLOOD LIMITS & SETBACKS TAKEN
 FROM BOM 1920, PG 242

DOROTHEA DRIVE
 (50' R/W)

TIE 263.9' ALONG THE NORTH R/W OF
 DOROTHEA DRIVE TO ITS INTERSECTION WITH
 THE WEST R/W OF FLORENCE STREET

I, Jeffrey H. Davis, PLS, certify this map was drawn under my supervision from an actual survey made under my supervision;
 and that the error of closure as calculated by latitudes and departures is 1/ 10,000+; that the boundaries not surveyed
 are shown as broken lines plotted from information found in Book ; Page ; that this map was prepared in
 accordance with G.S. 47-30 amended.

Witness my original signature registration number and seal this



Tully, Tania

From: Tully, Tania
Sent: Thursday, September 01, 2016 4:52 PM
To: 'kelseybrinkley@gmail.com'
Subject: COA Application for 712 Dorothea Drive

Follow Up Flag: Follow up
Flag Status: Flagged

Kelsey –

First of all, welcome to Boylan Heights!

Thank you for submitting the COA application. I have a few comments and questions.

1. Can you send an electronic version of page 4 so I can click on the links?
2. For the gate, staff can typically only approve fences 42" or lower. In this case, though I'm going to consider this a change to a previously approved COA – the recently(ish) approved rear yard fence.
3. Light – The proposed fixture is of an industrial/commercial character and not appropriate for the front of a house. It is attractive, and I understand why you chose it, but it is not characteristic of a house in the district. Please provide another selection.

Best,
Tania

Tania Georgiou Tully, Planner II
Historic Preservation
Urban Design Center
919.996.2674
919.516.2684 (fax)
tania.tully@raleighnc.gov

COA process information is available [here](#).

Tully, Tania

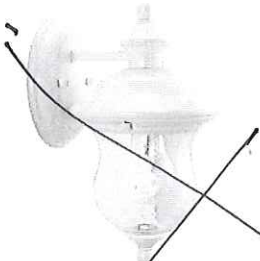
From: Kelsey Brinkley <kelseybrinkley@gmail.com>
Sent: Friday, September 02, 2016 6:21 PM
To: Tully, Tania
Subject: Re: COA Application for 712 Dorothea Drive
Attachments: COAApplicationBrinkley.doc

Follow Up Flag: Follow up
Flag Status: Flagged

Hello Tania,

I have attached the word document so you can click the links. Thank you for considering the fence as an change!

Would this exterior light work



<http://www.wayfair.com/Design-House-Highland-1-Light-Outdoor-Downlight-Wall-Lantern-502906-503839-VFJ1488.html?piid%5B0%5D=7225108>

Or this one?



<http://www.wayfair.com/Design-House-Maple-Street-1-Light-Outdoor-Downlight-Wall-Lantern-VFJ1453.html?piid%5B0%5D=7225010>

Thank you so much for considering our application so quickly!!
Kelsey Brinkley

On Thu, Sep 1, 2016 at 4:51 PM, Tully, Tania <Tania.Tully@raleighnc.gov> wrote:

Kelsey –



Find anything for your home...



Idea Boards

Account



Departments

Rooms

Inspiration

Sale

FREE Shipping over \$49*

Furniture

Décor

Rugs

Bed & Bath

Lighting

Kitchen

Storage

Outdoor

Home Improvement

Baby & Kids

Seasonal

Lighting > Outdoor Lighting > Outdoor Wall Lights > Design House > SKU: VFJ1453

Share:

Maple Street 1 Light Outdoor Sconce by Design House

★★★★★ 1 Review | Ask the First Question

\$32.99

After this purchase, you'll unlock FREE shipping with NO MINIMUM on all orders through Oct 6

Free Shipping on orders over \$49.00

Get it by Mon, Sep 12

Select Finish: White



Quantity: 1

Add to Cart

Save to Idea Board

Shop more from Maple House

Interested in this item? Save it to a board to come back to it later.

Need a personal shopper? Get free help from our lighting experts. 1-800-541-6097

Product Information:

- 10+ in Stock
- Overall: 8.75" H x 6.75" D
- Overall Product Weight: 1.43lbs

Customers Also Viewed



Maple Street 1 Light Outdoor Sconce — \$32.99

\$127.99



\$33.99



Add to Cart

MAPLE STREET Downlight (8-3/4" H)

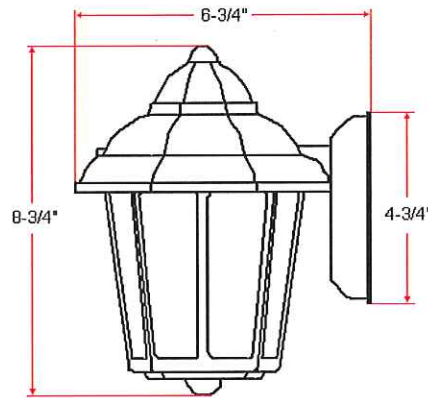


Specifications

Material Construction:	Die Cast Aluminum
Lens:	Beveled glass
Lamp Type & Wattage:	One 60W, medium base incandescent lamp
Mounting:	Wall mounted
Finish:	Wash Copper/Black/White
Voltage:	120V
Weight:	1.43 lbs
Companion Fixtures:	Post Light, Uplight and Downlight



Dimensions



Warranty & Compliances

Warranty	10 Year Limited Warranty
UL	UL/cUL; Suitable for damp locations
ADA	N/A
EnergyStar	N/A



Companion Fixtures

	Wash Copper	Black	White
Downlight (8-3/4" H)	511501	507475	507483
Post Light		507509	
Uplight	511485	507566	507574
Downlight (17" H)	511469	507541	507558

Type:

Job:

Order Code:

Approvals: