



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

914 N BOYLAN AVE

Address

GLENWOOD-BROOKLYN

Historic District

Historic Property

139-16-MW

Certificate Number

10-19-2016

Date of Issue

04-19-2017

Expiration Date

Project Description:

- Replace window sashes in 4 frames;
- remove non-historic siding;
- replace metal roof;
- alter front porch;
- construct low site wall.

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 13 copies <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center;">For Office Use Only</p> Transaction # <u>483600</u> File # <u>139-16-MW</u> Fee <u>29.00</u> Amount Paid <u>29.00</u> Received Date <u>8/12/16</u> Received By <u>ACH</u> <i>complete with 8/29/16 more 9/30/16 final 10/17/16</i>
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Property Street Address: 914 N. Boylan Ave., Raleigh, NC 27605

Historic District: HOD-S

Historic Property/Landmark name (if applicable)

Owner's Name: William Kwapil and Jane Craven

Lot size .161 Acres

(width in feet) 49.82'

(depth in feet) 140.41'

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant: William Kwapil and Jane Craven

Mailing Address: 501 N. Wilmington St., Apt. 126

City: Raleigh

State: North Carolina

Zip Code: 27604

Date: 8/11/2016

Daytime Phone: 919.602.2468

Email Address: cravenjc@hotmail.com

Applicant Signature

Office Use Only

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes No

Type of Work _____

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.4	Fences and Walls	<p>This project will involve the restoration of the front 50% of the existing residence at 914 N. Boylan Ave., Raleigh, NC 27605.</p> <p>Working with the design guidelines set by the RHDC, the existing exterior shingles will be removed to expose the original wood siding. All newly exposed siding will be reconditioned and receive a painted finish.</p> <p>The Existing metal roof will be replaced with a natural finish galvalume standing seam metal roof.</p> <p>The existing concrete driveway will be replaced in the existing location with new concrete.</p> <p>Porch to be restored with the replacement of the existing 4x4 plain posts with chamfered and painted 6x6 posts which respond to the historic character of the neighborhood. Existing wood floor to be refinished and receive a new finish. A new painted wood picket railing will be installed along the perimeter of the porch and a painted metal handrail will be installed on either side of the stairs.</p> <p>Existing 1 over 1 double hung wood windows will be replaced with similar wood windows in both size detail / trim.</p> <p>Front door to be replaced with identical wood door. (half door lite with two raised panels below)</p> <p>We will introduce a new 18" tall x 12" thick brick landscape wall along the front of the property which will flank the existing walkway to the residence.</p>
2.5	Walkways, Driveways, Off-street Parking	
3.0	Changes to the Building Exterior	
3.1	Wood	
3.2	Masonry	
3.3	Architectural Metals	
3.5	Roofs	
3.6	Exterior Walls	
3.7	Windows and Doors	
3.8	Entrances, Porches, and Balconies	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 12/19/17. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh) _____

Date _____

10/19/16

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 13 copies	<input checked="" type="checkbox"/>		✓		
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		✓		
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>		✓		
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
6. Drawings showing proposed work <input checked="" type="checkbox"/> Plan drawings <input checked="" type="checkbox"/> Elevation drawings showing the new façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale <input checked="" type="checkbox"/> 8-1/2" x 11" or 11" x 17" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" or 11" x 17" snap shots of individual drawings on the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
8. Fee (See Development Fee Schedule)	<input type="checkbox"/>		✓		



914 N. BOYLAN AVE.
EXTERIOR PHOTOGRAPHS



Written Description:

The nature of this project is to restore the first 50% of existing residence at 904 N. Boylan Ave., and add an 800 sq. ft., single story, addition onto the back.

Renovating this residence will include the following:

- Siding: Remove existing shingle siding to expose the original lap siding. The newly exposed siding will be evaluated, repaired to match existing where necessary, sanded and repainted.
- Windows: Remove 4 double hung wood windows. The Replacements will be double hung wood windows with 2" sill, 5" trim, 20" sill height from finished floor to match the existing conditions. *Amended to replace sash only. 8/29/16*
- Roofing: Remove existing metal roof and replace with Galvalume standing seam metal roof. 18" spacing between crimps.
- Porch: The porch will utilize the existing wood decking by resurfacing and applying new paint or stain. A simple picket railing will be incorporated between posts to maintain code compliance for safety. The existing post are simple 4x4's. These will be replaced by 6x6 wood columns with chamfered corners. (See attached drawings for profile). All exposed structure and trim will be resurfaced and painted/stained per owner's specification.
- Foundation: The existing brick foundation of the porch and existing residence will be evaluated and repointed where necessary. Any Brick modifications/repairs will match existing conditions.
- Front Door: ~~The existing wood front door will be removed and replaced with a new wood door. Door to be a half door lite with raised double panel below. (See attached drawings for elevation). 5" Trim to match existing conditions.~~ *Amended to replace door only. 8/29/16
rehab door*

Addition to Landscape: We have proposed the addition of a low brick landscape wall at the front of the property. (See attached plans for location and dimensions.)

Description of Materials:

- Galvalume standing seam metal roof. 18" spacing between crimps. Natural unpainted metal aesthetic.
- Wood double hung windows @ 20" sill height. 2" sill with 5" trim surround.
- Wood Door, ½ door lite with raised double panel below. 5" Trim to match existing.
- Existing wood siding, repaired to match where necessary. Sanded and repainted.
- 6x6 painted/stained porch posts. Chamfered corners in the middle with square base and crown. (see attached drawings for profile.)
- Metal stair handrail. Black wrought iron, attached to bottom stair riser and porch post.

- Existing concrete stairs to be patched and repaired
- New porch railing. 2"x2" wood pickets with wood top and bottom rail. Painted.

New Addition:

The new addition will be approximately 820 sq. ft. of enclosed space and will be located on the rear of the residence. In accordance with the outlined regulations for the HOD-S, the new addition will not be visible from the front elevation and reside below the existing roof peak elevation.

The new addition to the back of the residence will feature a galvalume standing seam metal roof, fiber cement siding panels with a painted finish, covered ipe/hardwood deck, Kawneer Versa Glaze storefront wall system, and JELD-WEN aluminum clad windows.

addition is not taller or wider than house & is not w/in 1st 50% of house

per 5.4.2.B.2.d. &
5.4.2.B.2.e.
~~this~~ no COA is
required for the
addition. TGT
9/1/16

VICINITY MAP NOT TO SCALE



10
N/F
GILLETT CALEN G P &
& GILLETT, CYNDRA M
DB 3185 PG 2536
REC: 0248312

LINE TABLE		
LINE	BEARING	LENGTH
L1	S5° 57' 53"W	49.98
L2	S1° 28' 03"W	159.39

N/F
WILLIAMSON, ROBIN VANCE
DB 2415 PG 472
REC: 0078004

CURRENT INFORMATION:
WILLIAMSON, ROBIN V
DB 2786 PG 588
REC: 0025335
PRL: 1704421803
ZONING: R-10

TIE TO MANHOLE NEAR
INTERSECTION OF DEVEREUX ST.

- LEGEND OF NOMENCLATURE**
- EP EXISTING IRON PIPE/ROD
 - 123 LOT NUMBER
 - 123 STREET ADDRESS
 - U UTILITY POLE
 - WM WATER METER
 - GA GAS ASSEMBLY
 - BOUNDARY
 - ADJONER OR R/W
 - FENCE
 - OH OVERHEAD UTILITY
 - CONCRETE

8
N/F
RIDDLE, NORMA P
TRUSTEE, NORMA P
RIDDLE LIVING TRUST
DB 15732 PG 1026
REC: 0046381

N/F
BOYD, RICHARD D
RODGERS, MARY K
DB 7708 PG 457
REC: 0047414

N/F
LIPOPOULOS, IOANNIS D
DB 1998 PG 813
REC: 0034245

N/F
SABA, ROY JOSEPH
POOLE, PATSY JEAN
DB 12830 PG 1
REC: 0032579

AREA
7021 SF
0.161 ACRES

NOTES:
1- ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS IN US SURVEY FEET.
2- METHOD OF COMPUTATION: AREA IS CALCULATED WITH CAD SOFTWARE METHODS.
3- THIS PROPERTY IS NOT LOCATED IN A FLOOD HAZARD AREA.
4- SURVEY WAS PERFORMED WITHOUT THE BENEFIT OF A TITLE COMMITMENT. THERE MAY BE EASEMENTS OR ENCUMBRANCES AFFECTING THE PROPERTY THAT ARE NOT SHOWN HEREON.

*THIS PROPERTY IS IN A PREVIOUSLY RECORDED SUBDIVISION AND IN THE INTEREST OF BEARING CONSISTENCY WITH PREVIOUSLY RECORDED PLATS, EXISTING BEARING CONTROL WAS USED. FOR THE PURPOSES OF 21 NCAC 56.1602 (g) SURVEYING PROCEDURES OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA, EXISTING BEARING CONTROL AND TIES TO APPROPRIATE NATURAL MONUMENTS REPLACE THE MANDATED TIE TO NORTH CAROLINA GRID.

TERRESTRIAL SURVEYING PC

Professional Land Surveying / License C-3903
3813 Woodowl Drive / Raleigh, North Carolina 27613
p. 919.219.4278 / e. info@TerrestrialSurveying.com



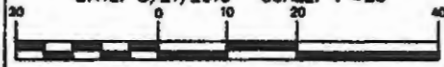
I certify that this map was drawn under my supervision from an actual survey made under my supervision (as recorded in Deed Book 2786, page 588); that the positional accuracy is 1/20,000'; and that this map meets the requirements of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600).
This 21st day of March, 2016.

Professional Land Surveyor L-4833



LOCATION SURVEY

PREPARED FOR
DUNCAN RAY
RALEIGH TWP., WAKE COUNTY, NC
DATE: 3/21/2016 SCALE: 1"=20'



BAR GRAPH 1 inch = 20 ft.
BOYLAN AVE--N-914.DWG

N. BOYLAN AVE.
40' PUBLIC R/W



DB 2786 PG 588

Little, Kyle

From: Little, Kyle
Sent: Thursday, August 18, 2016 1:41 PM
To: cravenjc@hotmail.com
Cc: Tully, Tania
Subject: Minor COA 914 N. Boylan Ave.

Hi Jane,

Listed below are the additional materials required for your Minor COA application at 914 N. Boylan Ave. to be considered complete Per Tania's guidance. Please provide:

- Digital versions of the images submitted. The hard copies are small.
- A photo of the house from the northeast
- A photo of the existing driveway that is proposed to be repaved
- Close-up photos of the windows proposed for replacement
- PDF of the drawings
- Section drawing of the new porch railing
- Evidence that the windows proposed for replacement are either already replacement windows or deteriorated beyond repair
- Section drawings and manufacturer information for the new windows
- Evidence that the door proposed for replacement is either already a replacement or deteriorated beyond repair
- Manufacturer specs for the door
- Specifications for the new metal roof: seam height and width; ridge detail; will it be hand formed on site or a pre-fab?
- Additional information on the new site wall. The plan shows the wall extending to the sides of the stairs, but the elevation drawings do not; what is the proposed treatment of the top of the wall? A larger scale drawing would help.
- It appears as though there is vinyl or aluminum on the eaves and soffits. Will this also be removed? If so, what is the plan?

Thank You,

Kyle Little
Planner I
Raleigh Department of City Planning
One Exchange Plaza, Suite 300
Raleigh NC, 27601
919-996-2180
<http://www.raleighnc.gov>

Tully, Tania

From: Little, Kyle
Sent: Monday, August 29, 2016 3:38 PM
To: Tully, Tania
Subject: FW: 914 N. Boylan Ave, Minor COA HOD-S
Attachments: CRAVEN_KWAPIL DRAWINGS.pdf; RHDC.pdf

Hi Tania,

The contractor for the Minor COA application at 914 N. Boylan Ave. has sent in the additional required materials. The only thing that I am not sure about is if section drawings will be required for the windows. They are proposing to keep the existing frames and add new glazing. I have attached the digital copies of the floor plans and elevations with section drawings to the email. Hardcopies have been placed in the case file. There should also be a link to Dropbox with the documents and photos in the forwarded email below.

Thanks

Kyle Little
Planner 1
Raleigh Department of City Planning
One Exchange Plaza, Suite 300
Raleigh NC, 27601
919-996-2180
<http://www.raleighnc.gov>

From: Phillip Smith [mailto:phillip@louischerry.com]
Sent: Monday, August 29, 2016 2:40 PM
To: Little, Kyle
Subject: 914 N. Boylan Ave, Minor COA HOD-S

Mr. Little,

My name is Phillip Smith and I work for Louis Cherry Architecture. Jane Craven and William Kwapil are our clients at 914 N. Boylan Ave. We got your email with the comments and requests for more information from you and Tania. Below you will find a link for our Dropbox which has all the necessary information for you to move forward with the COA. Should you need anything else please contact me directly to expedite the process and transfer of information.

Thank You,

Phillip

914 N. Boylan Ave

--
Phillip Smith

rev'd
8/29/16

RHDC – MINOR COA, HOD-S

914 N. Boylan Ave, Raleigh, NC 27605

Louis Cherry Architecture

516 Euclid Street, Raleigh, NC 27604

919.971.2299

Submittal of additional documentation:

- This project will use the existing window frames. New glazing will be installed along with new sash kits to match the existing windows. *Amendment*
- The existing door and frame will be reused and refinished. *Amendment*
- Soffit drawings have been included in the PDF drawings. The aluminum/vinyl will be removed and replaced with wood T&G "v" notch with a painted finish.
- Landscape wall has been articulated in the PDF drawings. It is a Brick veneer over cmu block with rowlock brick cap.
- Additional photos have been added which include the NE portion of the residence and the existing driveway. The original photos submitted are also in digital format.
- The new standing seam metal roof will be Galvalume with a natural finish and have hand formed seams @ 15" o.c.

↑ note that seams should be low - close to existing - and that the pans must be flat w/no striations.

TGT
9/1/16



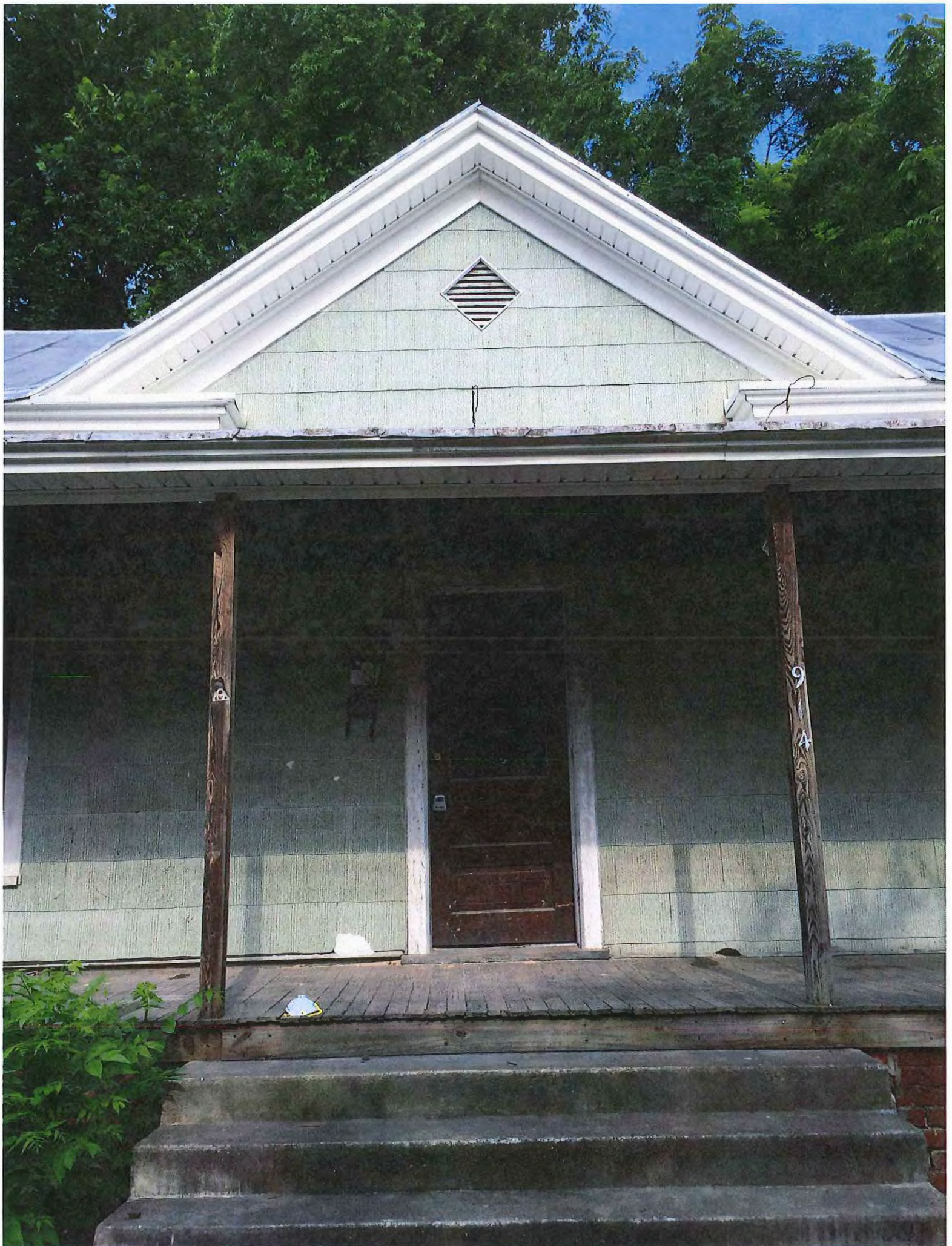


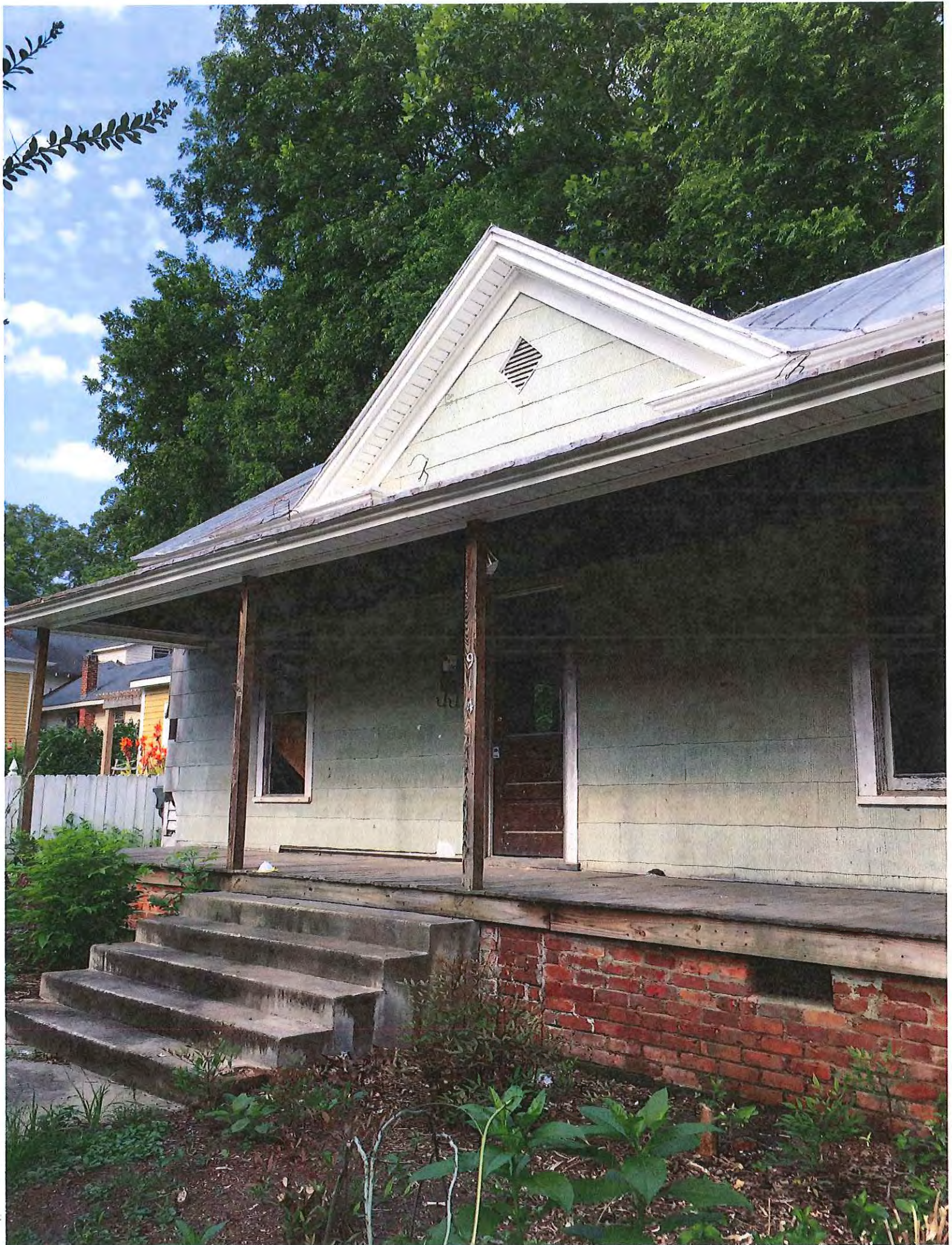
NO PARKING
EXCEPT BY PERMIT
11PM-7AM
←

JOB 111

STANDARD
METER
MAY BE USED
UNTIL 11PM











O
H.





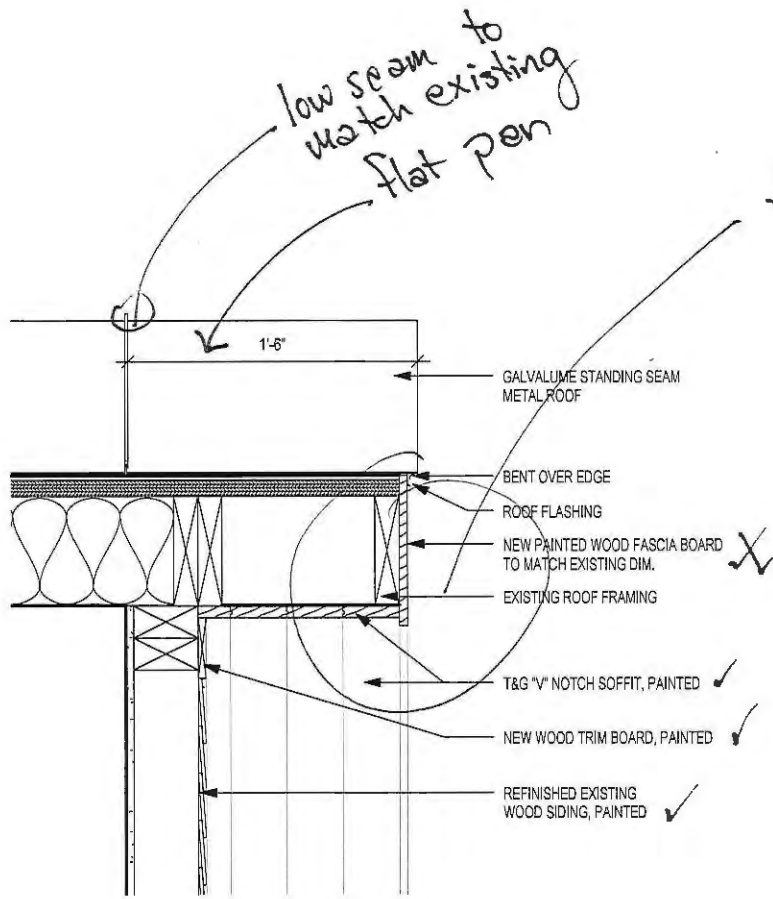




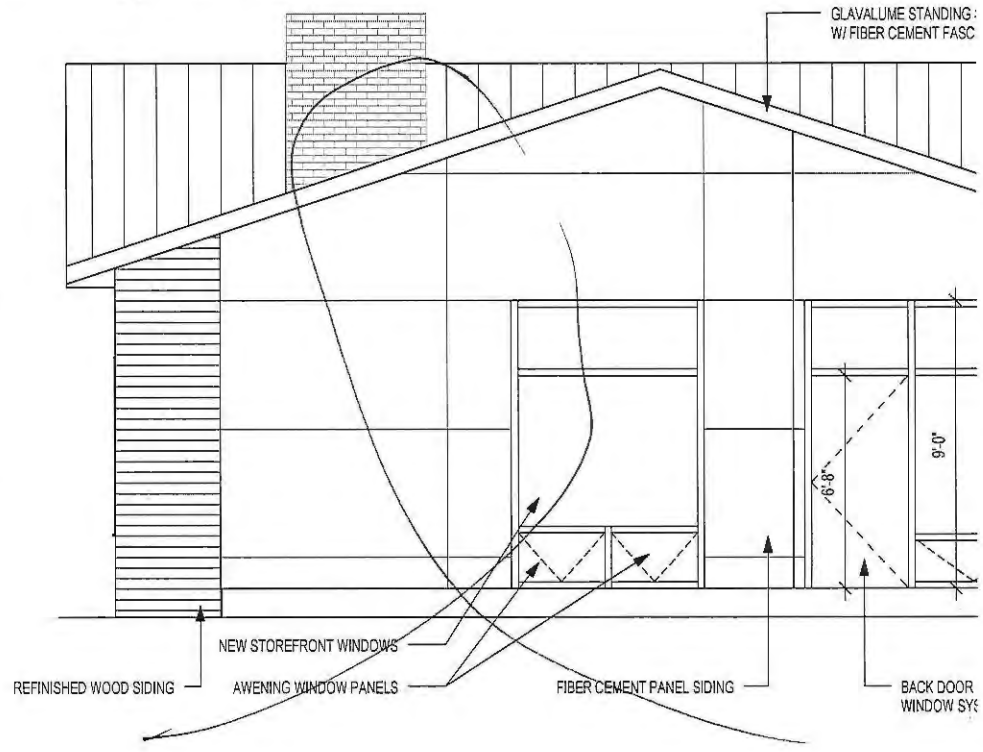








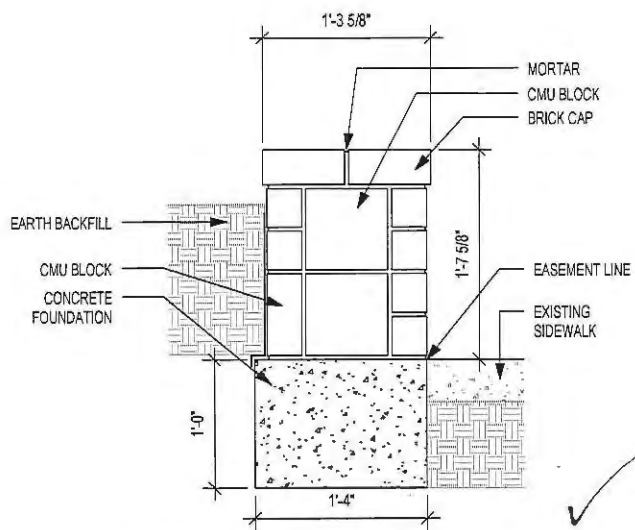
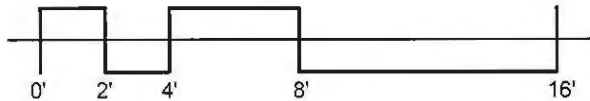
this removes current historic detailing.



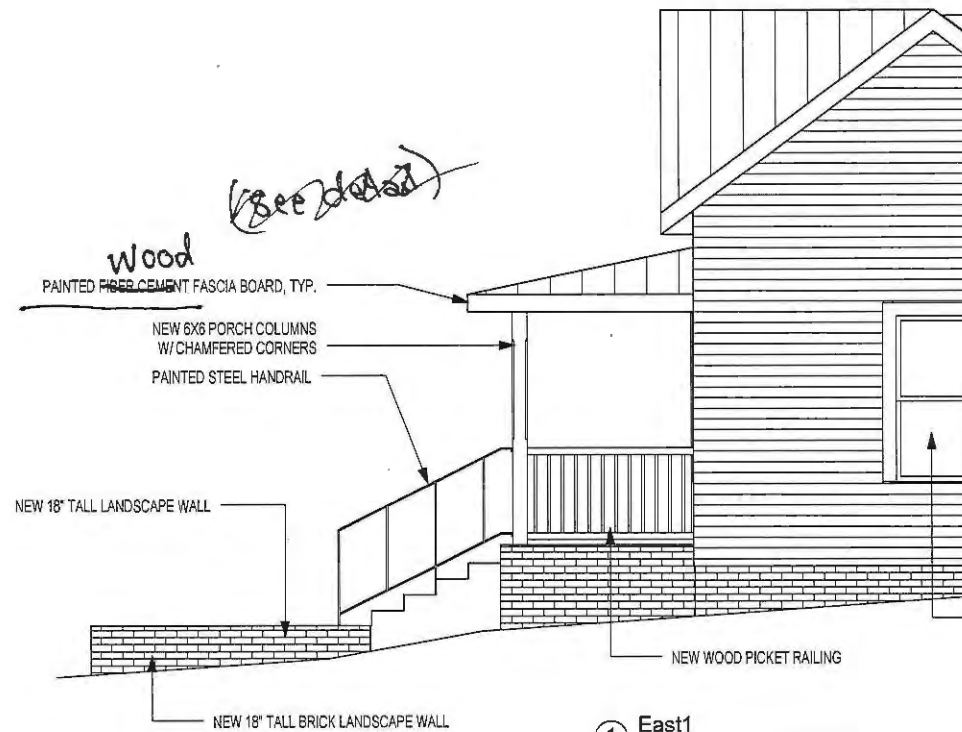
⑤ ROOF/SOFFIT SECTION
1 1/2" = 1'-0"

② North1
1/4" = 1'-0"

do not know where section is taken

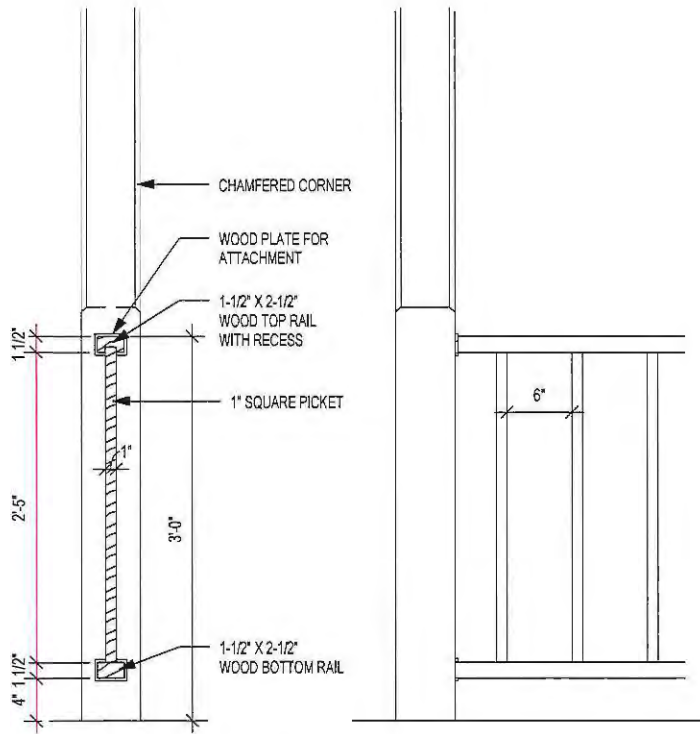


Blank Copy 1
1" = 1'-0"

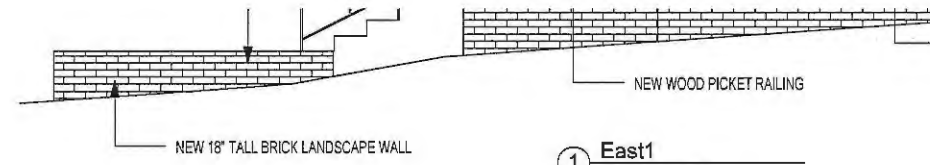


East1
1/4" = 1'-0"

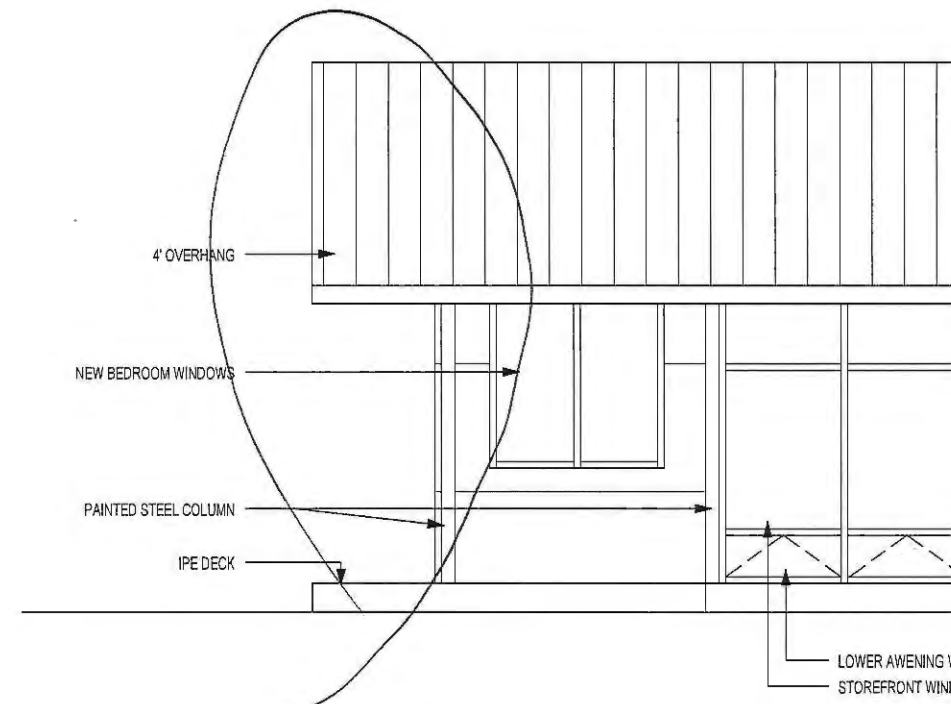
Blank Copy 1
1" = 1'-0"



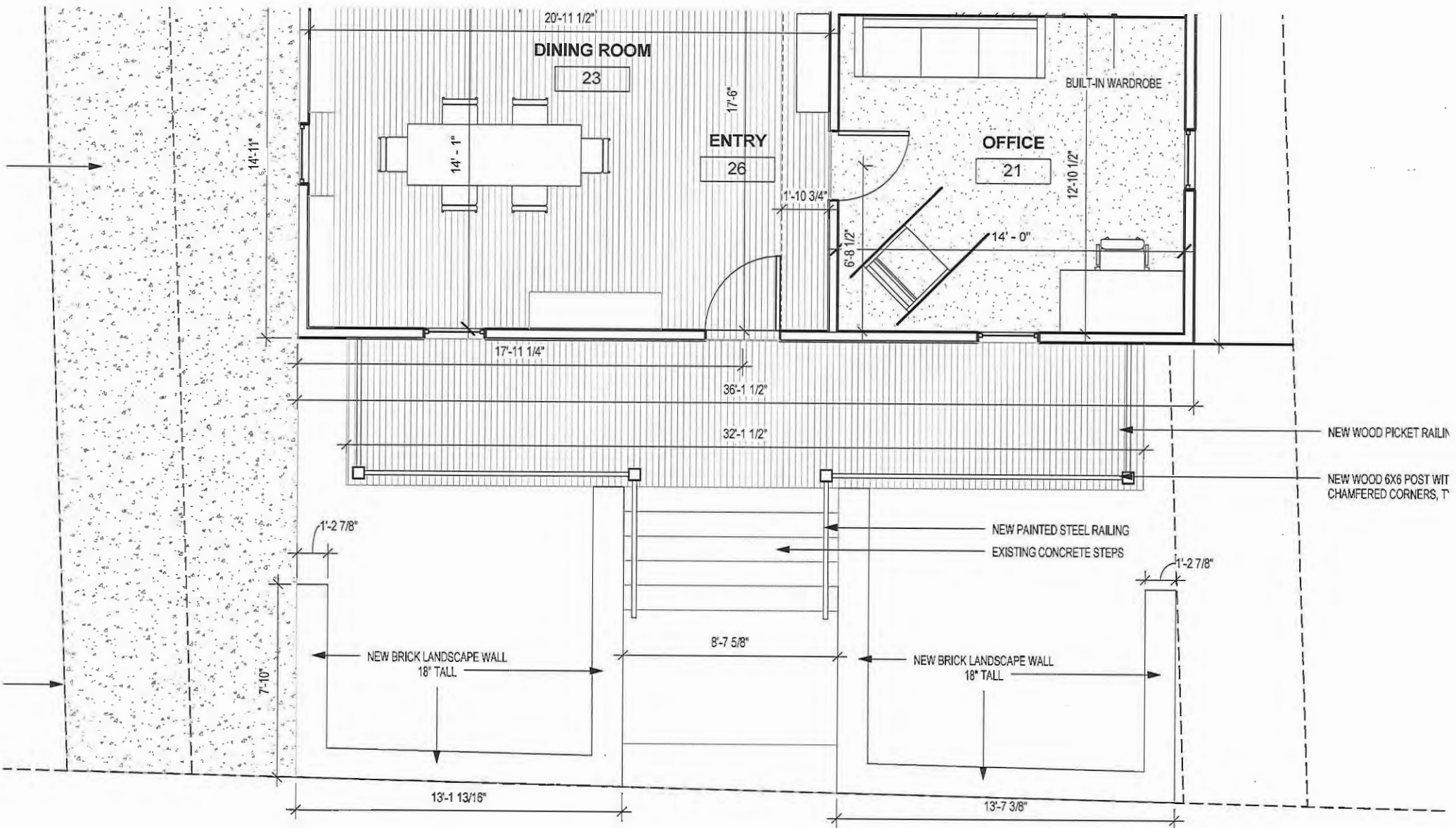
RAILING SECTION
1" = 1'-0"



1 East1
1/4" = 1'-0"



4 West1
1/4" = 1'-0"



20'-11 1/2"

DINING ROOM

23

14'-1"

ENTRY

26

OFFICE

21

BUILT-IN WARDROBE

12'-10 1/2"

1'-10 3/4"

6'-8 1/2"

14'-0"

17'-11 1/4"

36'-1 1/2"

32'-1 1/2"

1'-2 7/8"

NEW PAINTED STEEL RAILING

EXISTING CONCRETE STEPS

1'-2 7/8"

NEW BRICK LANDSCAPE WALL
18" TALL

8'-7 5/8"

NEW BRICK LANDSCAPE WALL
18" TALL

14'-11"

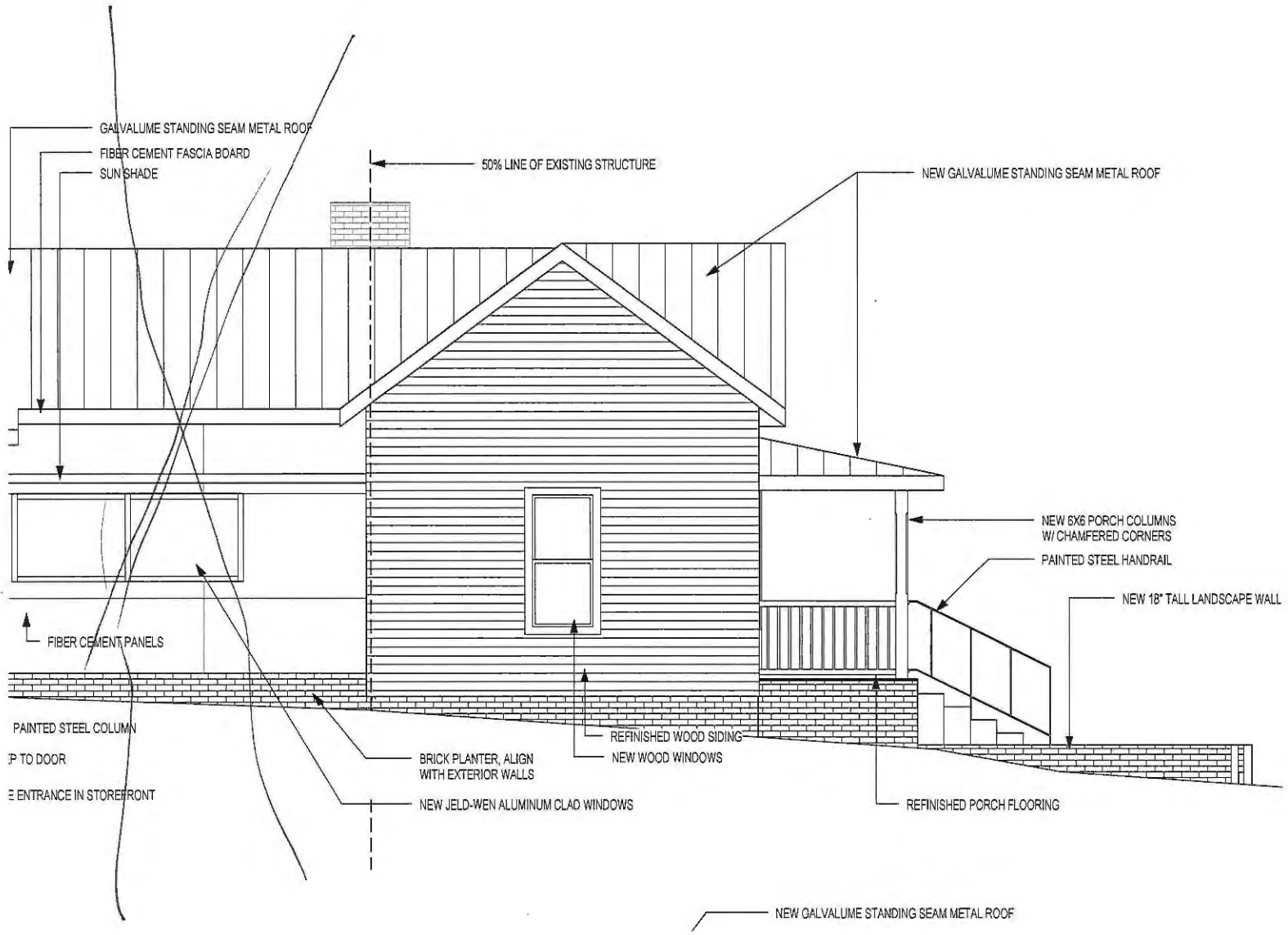
7'-10"

13'-1 13/16"

13'-7 3/8"

NEW WOOD PICKET RAILIN

NEW WOOD 6X6 POST WIT
CHAMFERED CORNERS, T



914 N. BOYLAN AV.
 RALEIGH, NC 27605

Structural Engineer

PME ENGINEER

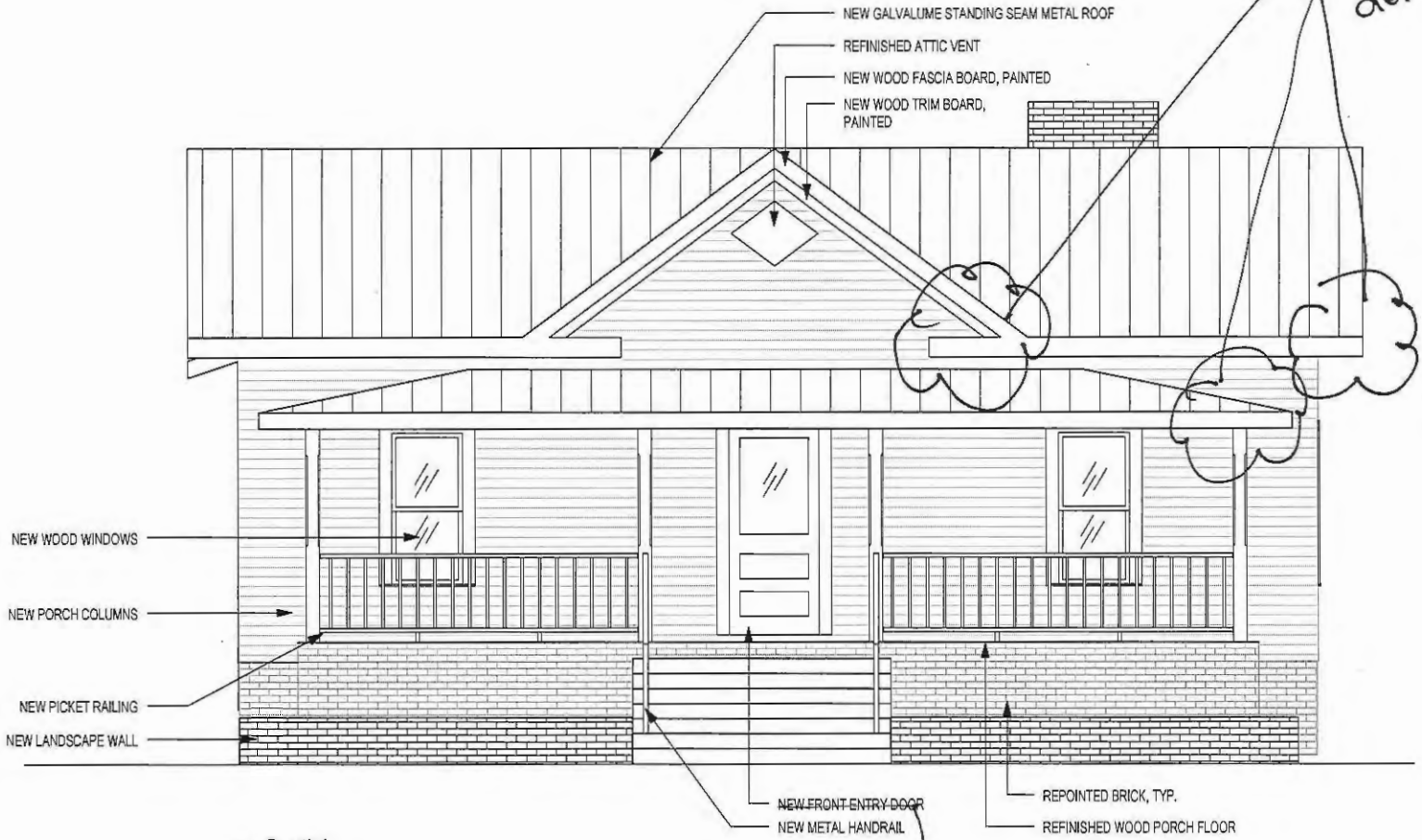
CIVIL ENGINEER

LANDSCAPE ARCHITECT

JANE CRAVEN & BI
 KWAPIL
 914 N. BOYLAN AVE.

See 9/30/16
amendment

eave/cornice details
must emulate current
detail.



③ South 1
1/4" = 1'-0"

reuse
existing

SHEET ISSUE
REISSUE

PHASE:

CHECKED BY:

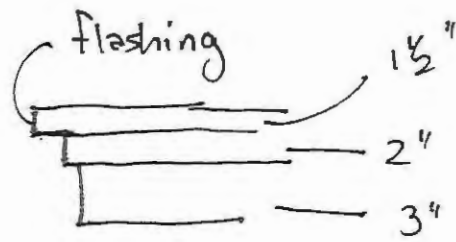
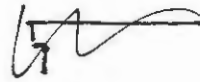
APPROVED BY:

PROJECT NO.: 1616

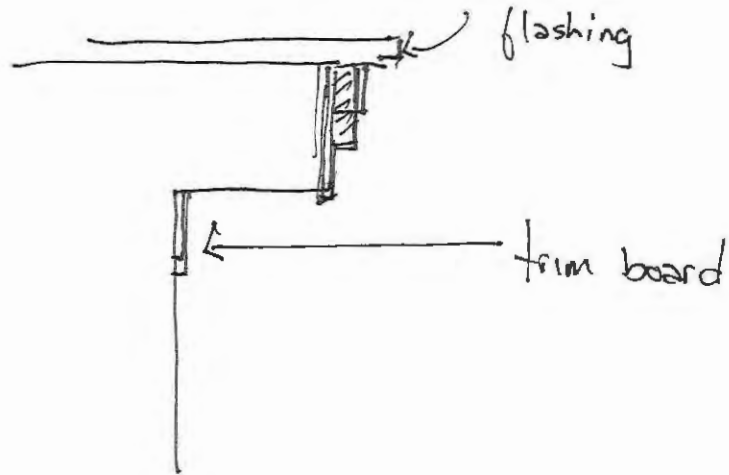
EXTERIOR ELEVATIONS

A-201





guesses
needs to be
measured.



Tully, Tania

From: Tully, Tania
Sent: Thursday, September 01, 2016 4:30 PM
To: jane craven (cravenjc@hotmail.com)
Cc: 'Phillip Smith'
Subject: COA for 914 N Boylan Avenue
Attachments: 914NBoylanEaves.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Jane –

Thank you for having your architect send additional information; I've now reviewed the application. It is almost ready for approval. Here are my comments and requests:

- ✓ Front Door: As I understand the new information, the application is no longer proposing to replace the front door.
- ✓ Window Replacement: The new summary also clarifies that it is only the window sashes that are proposed for replacement and not the frames or exterior trim and sill nosing.
- ✓ Window Replacement: It appears as though there are just 4 windows in the section of the house subject to COA review. Photos of only 3 windows were provided. Please include a photo of the 4th. The photos aren't labeled so I don't know which one is missing.
- ✓ Window Replacement: The previously requested section drawings and manufacturer information for the new windows is still needed.
- Roof: For the standing seam metal roof, it appears from the drawing that the seams are short (similar to the existing), and the pan is flat (no ridges or striations). Please confirm.
- Eaves: Based on the new information and the drawing, the profile of the historic eaves is proposed to be eliminated and replaced with a simple flat fascia. This is not approvable by staff (Guidelines 3.5.4 and 3.5.5). To clearly meet the guidelines and be approvable by staff the eave detail under the aluminum/vinyl needs to be kept or replaced with similar details. See the attached where I made a rough sketch and guesses as to the dimensions based on the photo. A similar sketch with the caveat that exact dimensions to be determined once the vinyl/aluminum is removed will suffice.
- Porch eaves: See above.
- Site Wall: Low walls of various heights are seen in Glenwood-Brooklyn, but as in the other Historic Districts, it is unusual for the wall to turn the corner and flank the front walkway leading to the front steps. With the information available, as staff I can approve the wall provided that it stops at the walk without lining the walk. That being said, if you know of other historic walls in the district please send addresses and photos and I'll take another look.

All else has the needed level of information and meets the Guidelines.

Best,
Tania

Tania Georgiou Tully, Planner II
Historic Preservation
Urban Design Center
919.996.2674
919.516.2684 (fax)

Tully, Tania

From: Phillip Smith <phillip@louischerry.com>
Sent: Thursday, September 01, 2016 4:46 PM
To: Tully, Tania
Cc: jane craven (cravenjc@hotmail.com)
Subject: Re: COA for 914 N Boylan Avenue

Tania,

Thank you for the comments. I will turn this around very quickly. Our intention is to recreate the soffit details as they exist today with new wood materials (eliminate the plastic/vinyl etc). I will update the drawings to reflect the built up fascia details.

I will label and provide the 4 window photos.

Our contractor will provide us the sash kit details to forward to you and I will reach out to him by tomorrow.

We will re-investigate the landscape walls.

Thank you for your time and energy,

Best,

Phillip

On Thu, Sep 1, 2016 at 4:30 PM, Tully, Tania <Tania.Tully@raleighnc.gov> wrote:

Jane –

Thank you for having your architect send additional information; I've now reviewed the application. It is almost ready for approval. Here are my comments and requests:

- Front Door: As I understand the new information, the application is no longer proposing to replace the front door.
- Window Replacement: The new summary also clarifies that it is only the window sashes that are proposed for replacement and not the frames or exterior trim and sill nosing.
- Window Replacement: It appears as though there are just 4 windows in the section of the house subject to COA review. Photos of only 3 windows were provided. Please include a photo of the 4th. The photos aren't labeled so I don't know which one is missing.

“E-mail correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized City or Law Enforcement official.”

--

Phillip Smith

Phone: 919.961.5795

Email: phillip@louischerry.com

Louis Cherry Architecture

Louischerryarchitecture.com

Tully, Tania

From: Phillip Smith <phillip@louischerry.com>
Sent: Friday, September 30, 2016 9:23 AM
To: Tully, Tania
Subject: 904 N Boylan

Follow Up Flag: Follow up
Flag Status: Flagged

Categories: COA Processing

Tania,

I wanted to check in with you and make sure you received the updated information for the COA review. Let me know if anything is still outstanding on our end.

This is the link that you should have to our last submission.

[904 N. Boylan COA](#)

Thanks

--

Phillip Smith

Phone: 919.961.5795
Email: phillip@louischerry.com

Louis Cherry Architecture

Louischerryarchitecture.com

STOCK

Building Supply

Stock Building Supply
 3000 Yonkers Road
 Raleigh, NC 27604
 Phone: (910) 617-4265



QUOTE BY: Hunter Warwick
SOLD TO: Artisan Crafted Homes
 Duncan Ray

QUOTE #: JGHW00133
SHIP TO:

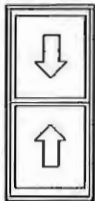
PROJECT NAME:

PO#:

REFERENCE:

Ship Via: Ground/Next Truck

LINE NO.	LOCATION SIZE INFO	BOOK CODE DESCRIPTION	QTY
Line-1	A	SPDHSP2428 Siteline D-Series Wood Double Hung, Auralast Pine, Sash Replacement Kit, D-Series Sash Opening= 28 X 62 Primed Sash, Natural Interior, With-Plow Ivory Jambliner, Chestnut Bronze Hardware, Insulated Low-E 366 Annealed Glass, Neat, Preserve Film, Argon Filled, GlassThick=0.756, U-Factor: 0.29, SHGC: 0.20, VLT: 0.47, CPD: JEL-N-779-02644- 00001 PEV 2016.3.2.1472/PDV 6.277 (08/21/16) NW	1



Viewed from Exterior. Scale: 1/4" = 1'

Total Units:

1



Protect yourself when you choose JELD-WEN® Auralast® pine products backed by a limited lifetime warranty against wood rot and termite damage.

It is the responsibility of the Builder/Purchaser to ensure that all windows and doors in the quote above are in accordance with, but not limited to, the following:

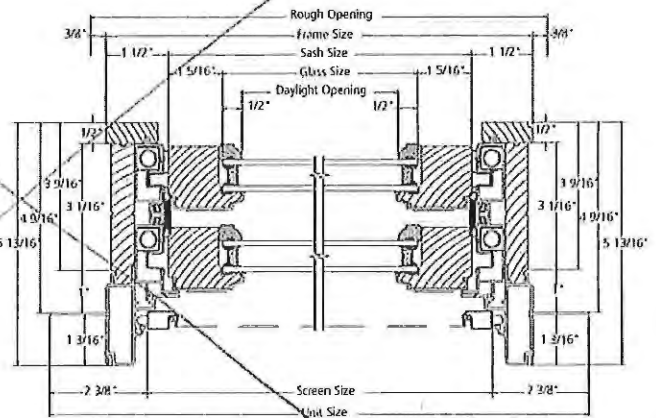
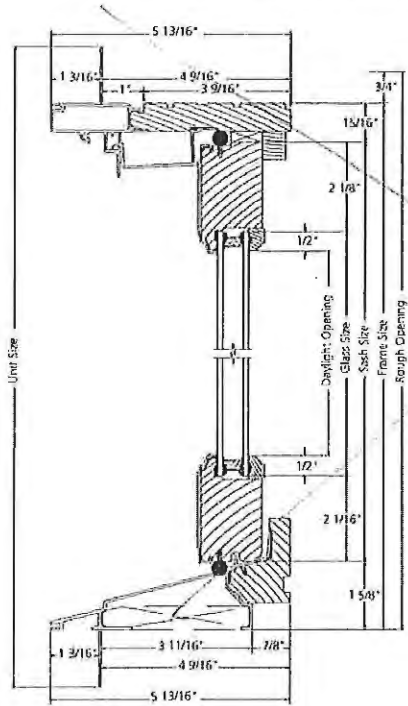
1. All current Zoning requirements.
2. All current Fire Regulations.
3. All current Building Standard Regulations, including, but not limited to, the Local Building code.

Presented by: _____ Date: _____

Purchaser: _____ Date: _____

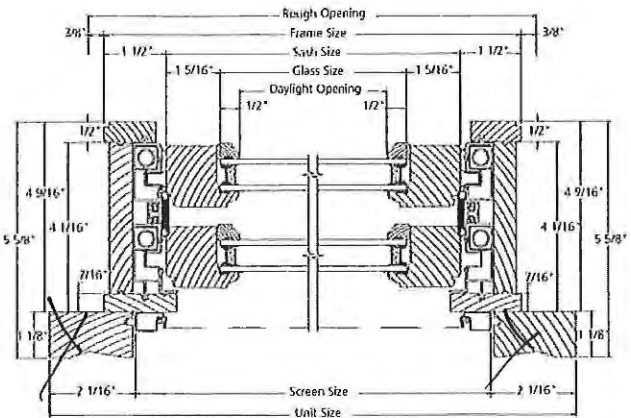
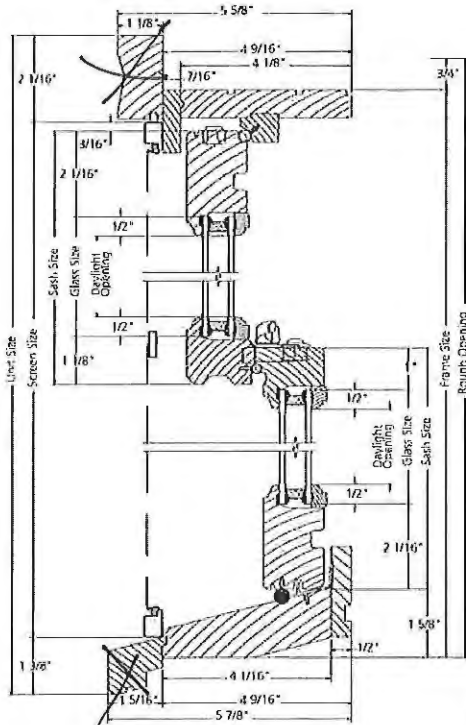
DOUBLE-HUNG WINDOWS

CLAD SECTION DETAILS AND DIMENSIONS FOR OPERATING UNITS



DOUBLE-HUNG

WOOD SECTION DETAILS AND DIMENSIONS FOR OPERATING UNITS



* TGT note
 trim and sills ~~are~~ exist and
 are not being replaced.



North Window



East Window Right



East Window South



South Window

Amended
9/30/16

LOUIS CHERRY
ARCHITECTURE

LOUIS CHERRY, FAIA
516 LUKLID STREET,
RALEIGH, NORTH CAROLINA 27604
919.971.2299
LOUIS@LOUISCHERRY.COM



LOUIS CHERRY ARCHITECTURE
Registered Architectural Corporation
North Carolina

OWNER
JANE CRAVEN & BILL KWAPIL
914 N. BOYLAN AV.
RALEIGH, NC 27605

Structural Engineer

PME ENGINEER

CIVIL ENGINEER

LANDSCAPE ARCHITECT

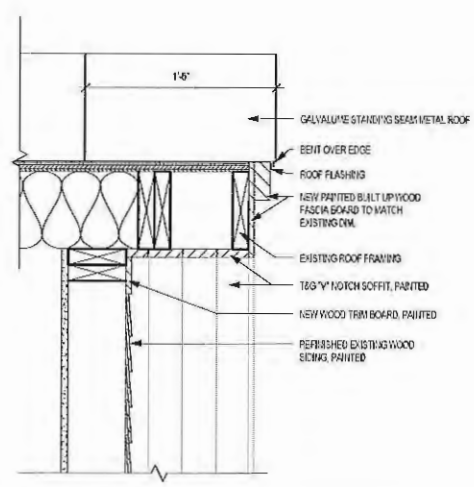
JANE CRAVEN & BILL
KWAPIL
914 N. BOYLAN AVE.

SHEET ISSUE
REISSUE

PHASE:
CHECKED BY:
APPROVED BY:
PROJECT NO.: 1616

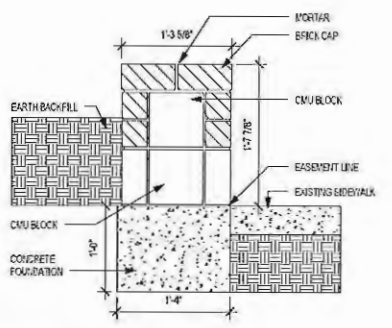
EXTERIOR ELEVATIONS

A-201

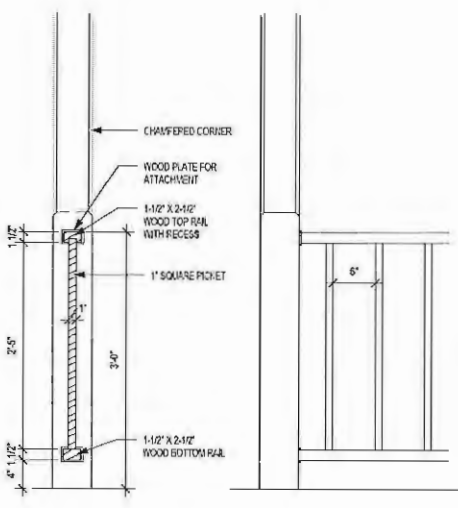


6 ROOF/SOFFIT DETAIL
1 1/2" = 1'-0"

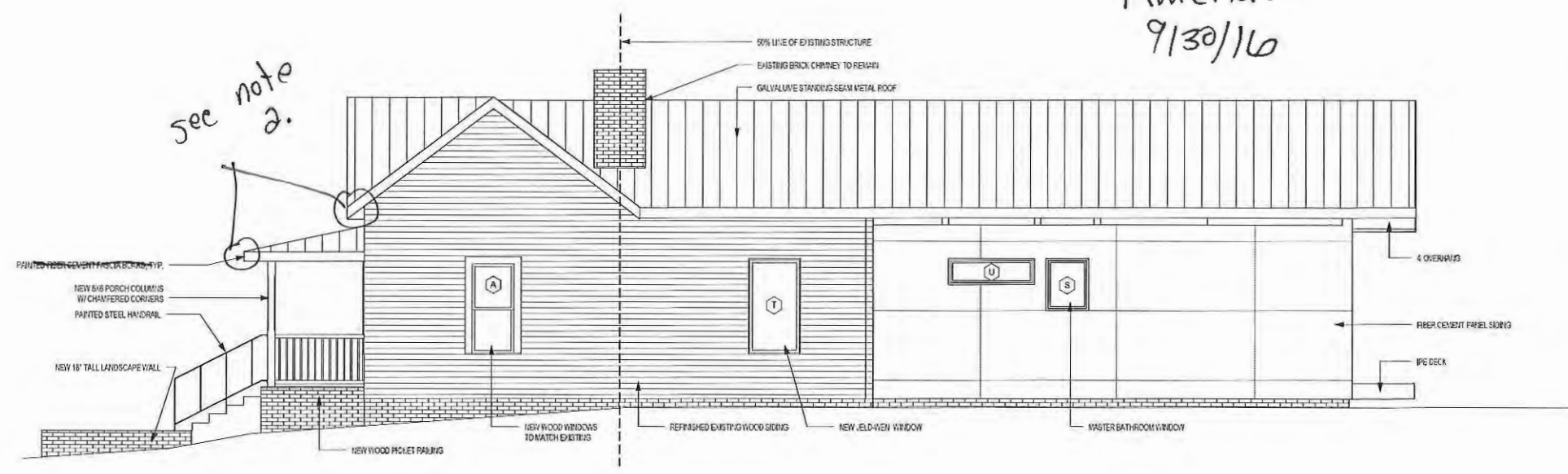
(note 2)



5 LANDSCAPE WALL DETAIL
1" = 1'-0"

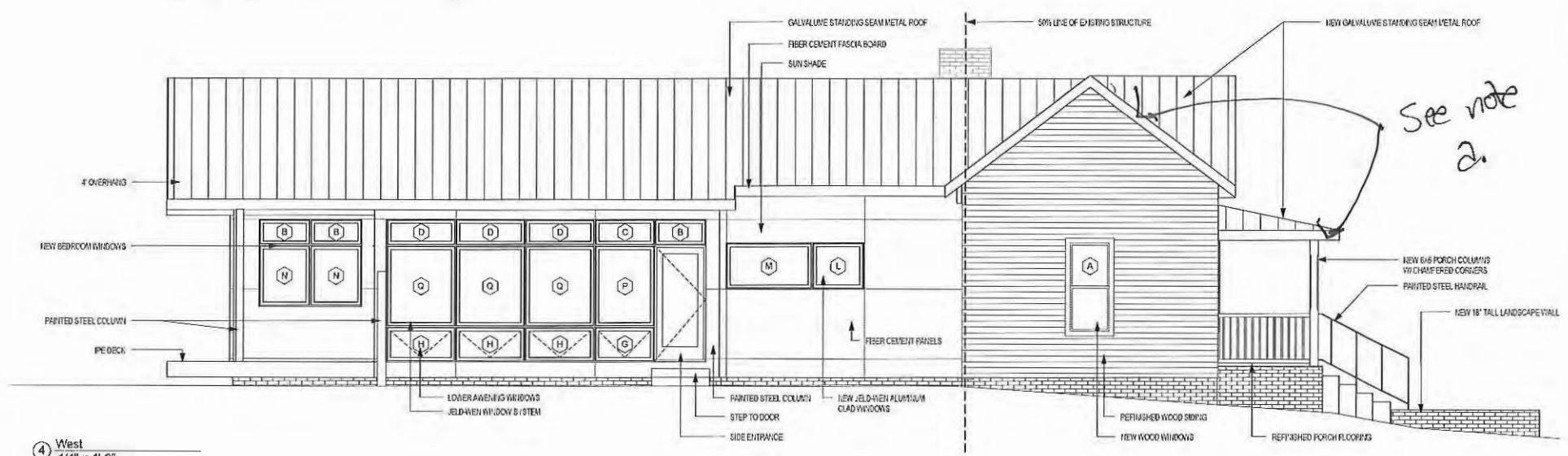


RAILING SECTION
1" = 1'-0"



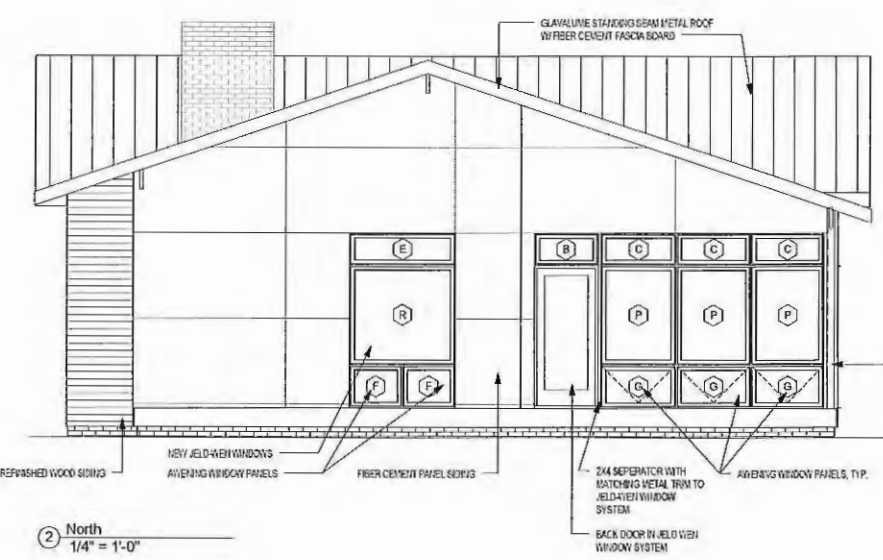
1 East
1/4" = 1'-0"

see note 2.

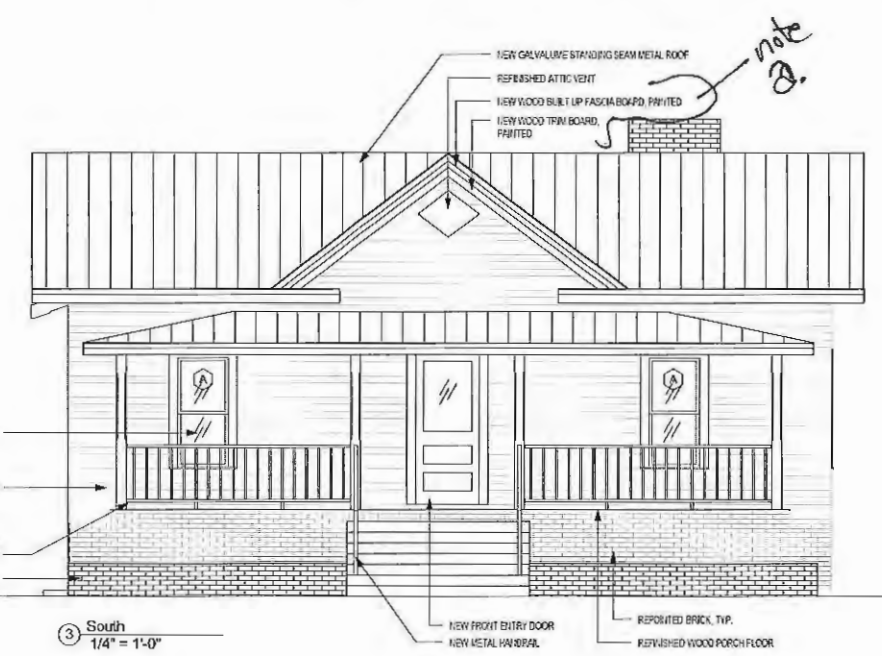


4 West
1/4" = 1'-0"

See note 2.

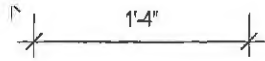


2 North
1/4" = 1'-0"



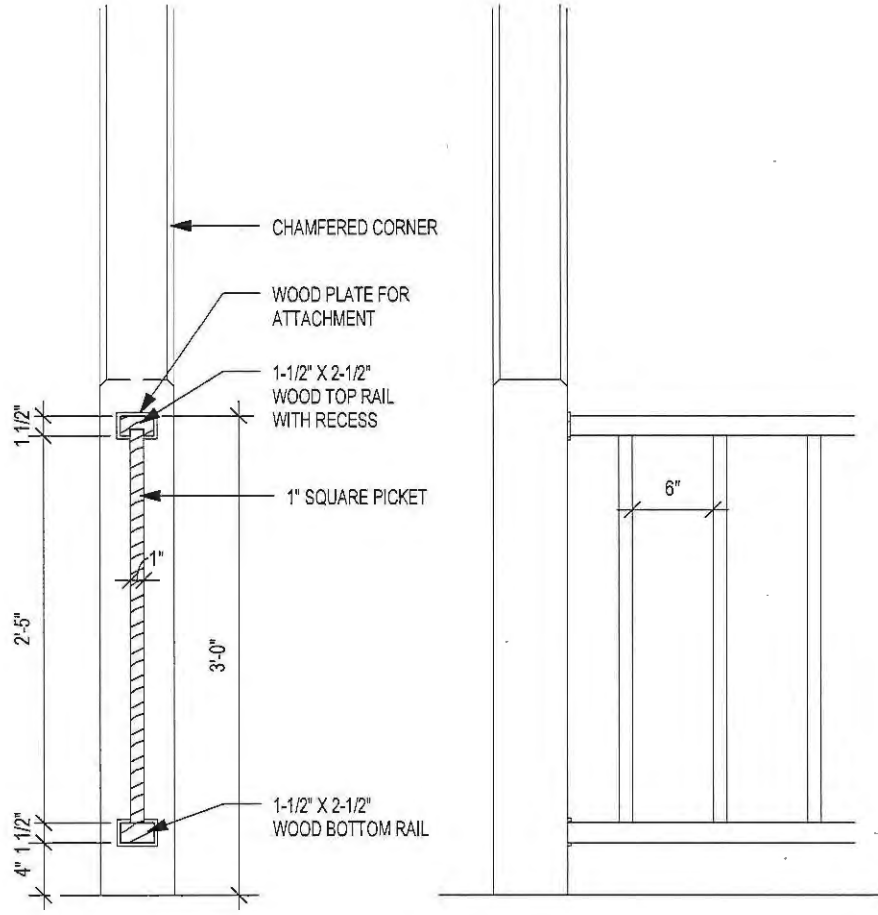
3 South
1/4" = 1'-0"

see note 2.



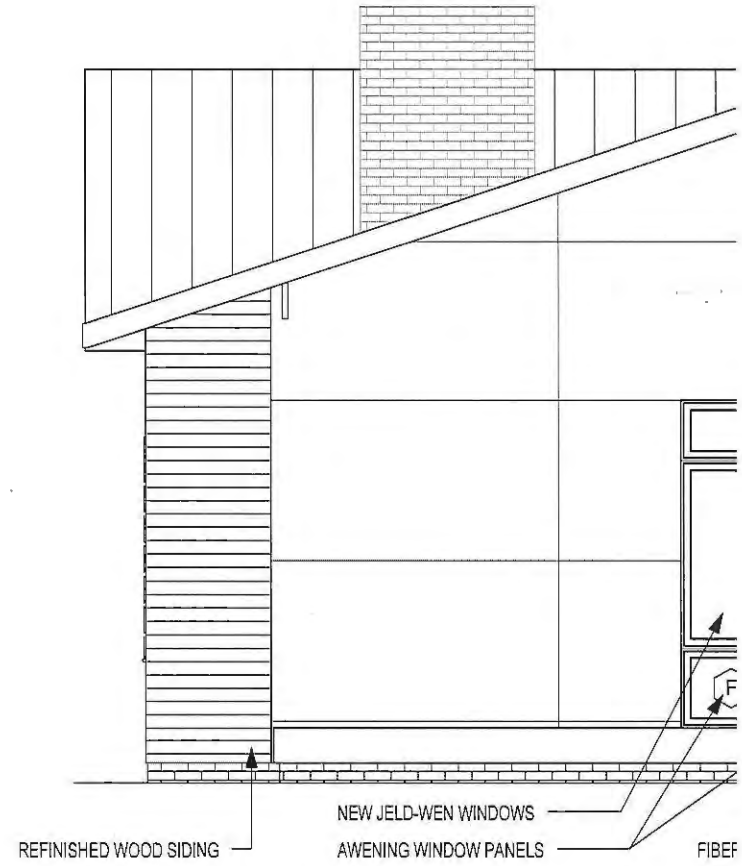
9/30/16

⑤ LANDSCAPE WALL DETAIL
1" = 1'-0"



○ RAILING SECTION
1" = 1'-0"

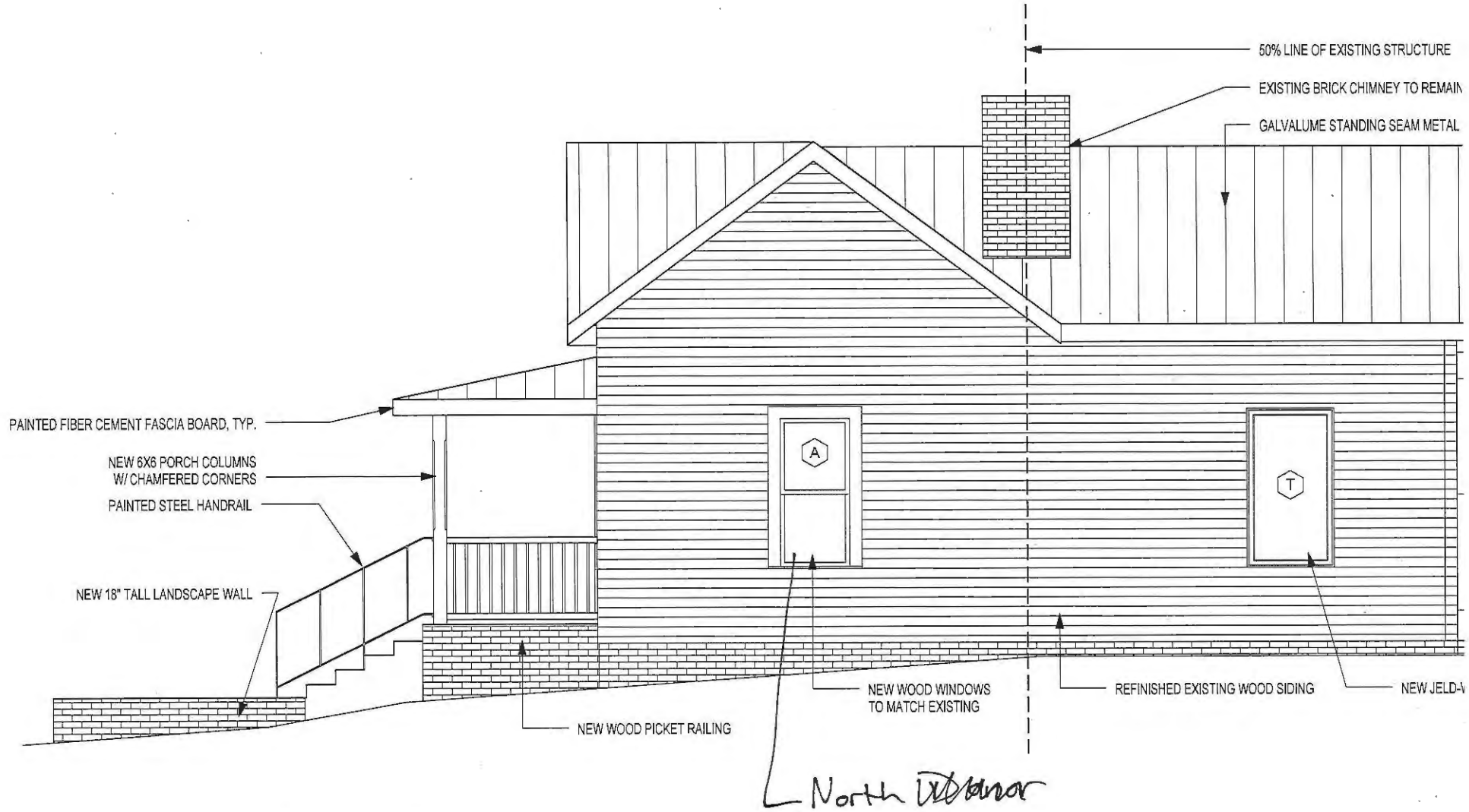
④ West
1/4" = 1'-0"



② North
1/4" = 1'-0"

9/30/16

ROOF



PAINTED FIBER CEMENT FASCIA BOARD, TYP.

NEW 6X6 PORCH COLUMNS
W/ CHAMFERED CORNERS

PAINTED STEEL HANDRAIL

NEW 18" TALL LANDSCAPE WALL

NEW WOOD PICKET RAILING

NEW WOOD WINDOWS
TO MATCH EXISTING

REFINISHED EXISTING WOOD SIDING

NEW JELDA

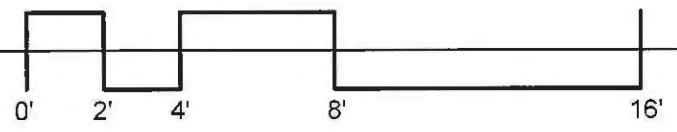
50% LINE OF EXISTING STRUCTURE

EXISTING BRICK CHIMNEY TO REMAIN

GALVALUME STANDING SEAM METAL

North Window

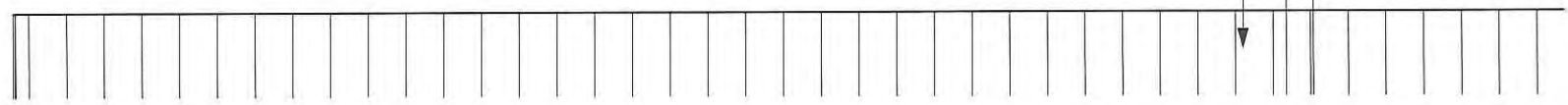
① East
1/4" = 1'-0"



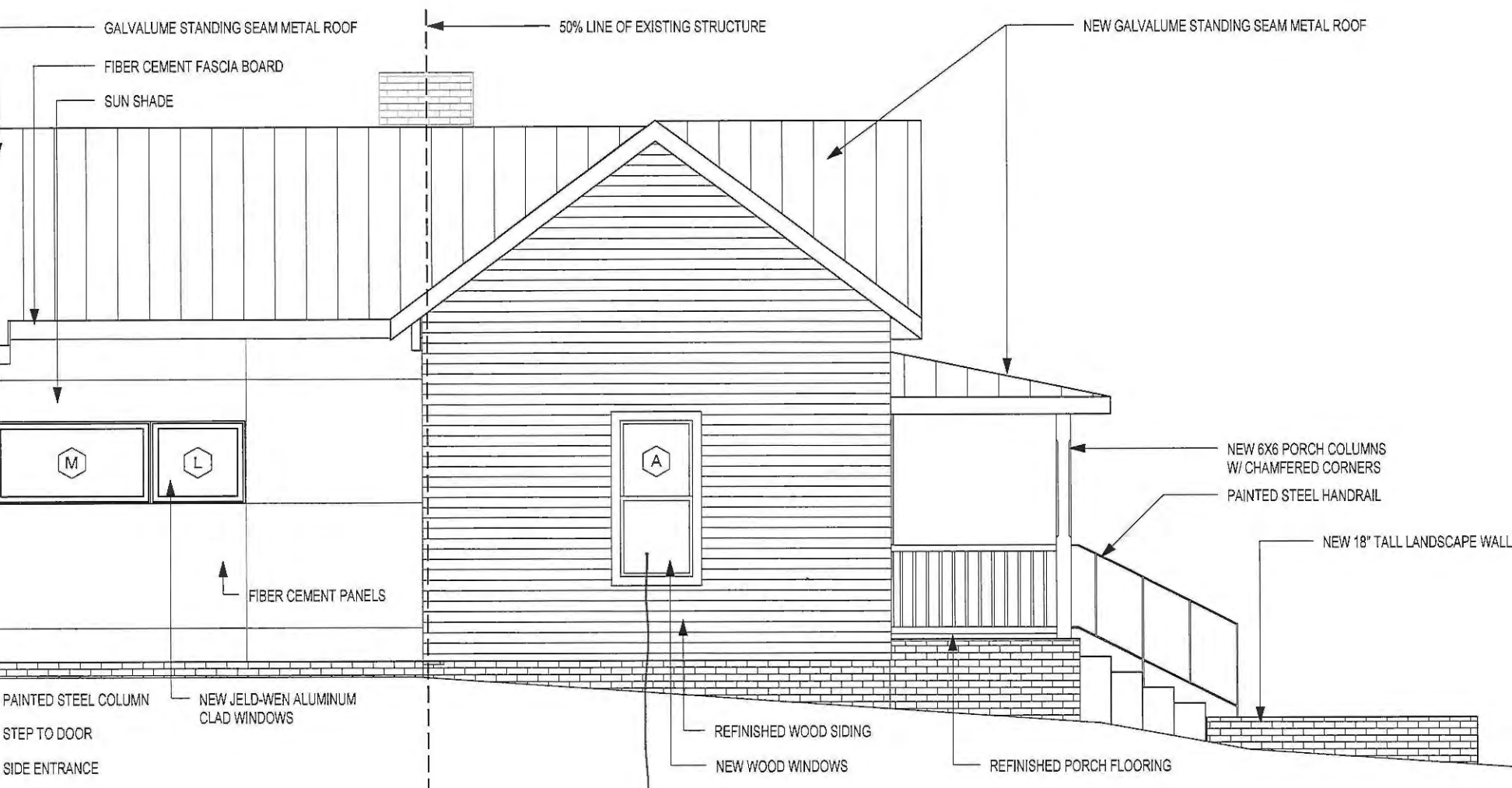
GALVALUME STANDING SEAM

FIBER CEMENT FASCIA BOA

SUN SHADE



9/30/16



GALVALUME STANDING SEAM METAL ROOF
 FIBER CEMENT FASCIA BOARD
 SUN SHADE

50% LINE OF EXISTING STRUCTURE

NEW GALVALUME STANDING SEAM METAL ROOF

M L

FIBER CEMENT PANELS

A

NEW 6X6 PORCH COLUMNS
 W/ CHAMFERED CORNERS
 PAINTED STEEL HANDRAIL

NEW 18" TALL LANDSCAPE WALL

PAINTED STEEL COLUMN
 STEP TO DOOR
 SIDE ENTRANCE

NEW JELD-WEN ALUMINUM
 CLAD WINDOWS

REFINISHED WOOD SIDING
 NEW WOOD WINDOWS

REFINISHED PORCH FLOORING

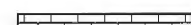
South Window

NEW GALVALUME STANDING SEAM METAL ROOF

REFINISHED ATTIC VENT

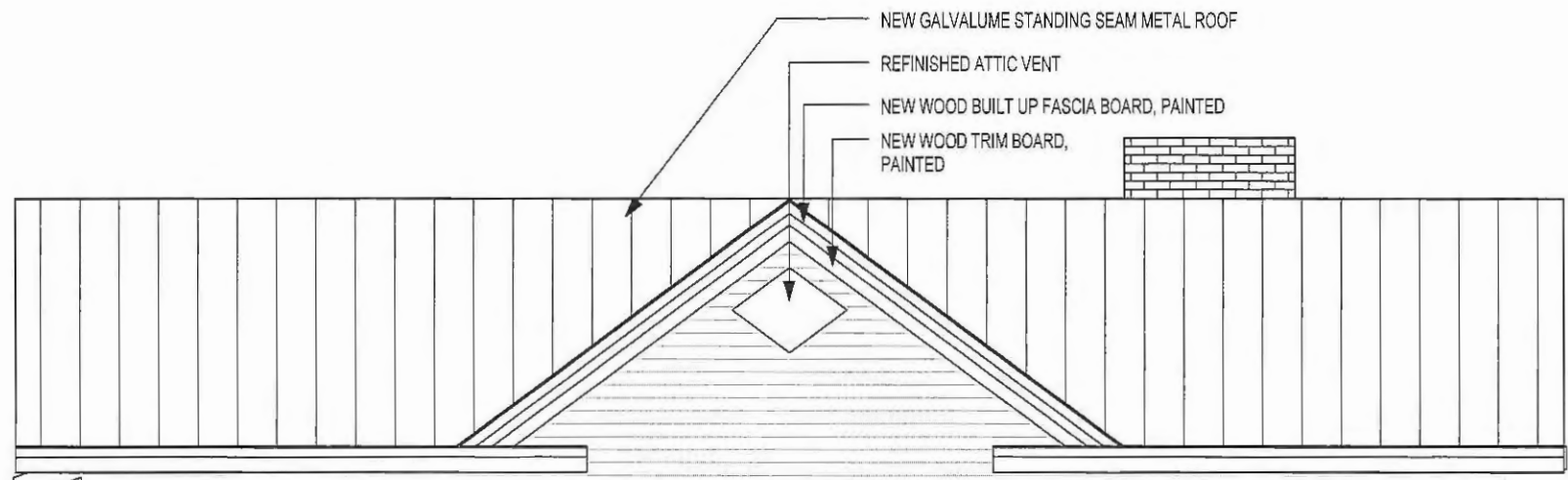
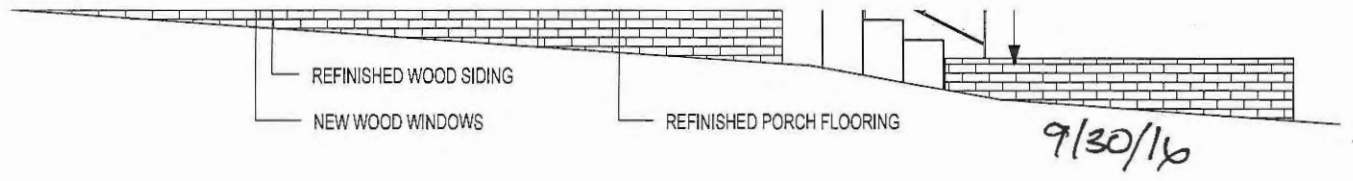
NEW WOOD BUILT UP FASCIA BOARD, PAINTED

NEW WOOD TRIM BOARD.



PAINTED STEEL COLUMN
 STEP TO DOOR
 SIDE ENTRANCE

NEW JELD-WEN ALUMINUM
 CLAD WINDOWS



NEW WOOD WINDOWS
 - HSS 4X4 COLUMN
 NEW PORCH COLUMNS
 NEW PICKET RAILING
 NEW LANDSCAPE WALL

③ South
 1/4" = 1'-0"

NEW FRONT ENTRY DOOR
 NEW METAL HANDRAIL

REPOINTED BRICK, TYP.
 REFINISHED WOOD PORCH FLOOR

East Window South

East Window Right

S
 F
 F
 C
 A
 F
 I

Tully, Tania

From: Tully, Tania
Sent: Friday, October 14, 2016 11:48 AM
To: 'Phillip Smith'
Subject: RE: 904 N Boylan

Phillip –

Thanks for re-sending. I don't have record of having received this information.

I am responding to applications and emails in the order received. You're is close to the top. ☺

Best,
Tania

Tania Georgiou Tully, Planner II
Historic Preservation
Urban Design Center
919.996.2674
919.516.2684 (fax)
tania.tully@raleighnc.gov

COA process information is available [here](#).

From: Phillip Smith [mailto:phillip@louischerry.com]
Sent: Friday, September 30, 2016 9:23 AM
To: Tully, Tania
Subject: 904 N Boylan

Tania,

I wanted to check in with you and make sure you received the updated information for the COA review. Let me know if anything is still outstanding on our end.

This is the link that you should have to our last submission.

[904 N. Boylan COA](#)

Thanks

--
Phillip Smith

Phone: 919.961.5795
Email: phillip@louischerry.com

Louis Cherry Architecture
Louischerryarchitecture.com

Tully, Tania

From: Tully, Tania
Sent: Wednesday, October 19, 2016 3:55 PM
To: 'Phillip Smith'
Cc: jane craven (cravenjc@hotmail.com)
Subject: RE: COA for 914 N Boylan Avenue
Attachments: 904 N Boylan

Hi Phillip –

I reviewed the documents provided via the 9/30/16 email. With the additional information it is clear that the 4 window sash proposed for replacement are either deteriorated beyond repair or missing. All that remains are responses to the following from my prior email:

- 1) Roof: For the standing seam metal roof, it appears from the drawing that the seams are short (similar to the existing), and the pan is flat (no ridges or striations). **Please confirm.**
- 2) Site Wall: Low walls of various heights are seen in Glenwood-Brooklyn, but as in the other Historic Districts, it is unusual for the wall to turn the corner and flank the front walkway leading to the front steps. With the information available, as staff I can approve the wall provided that it stops at the walk without lining the walk. That being said, if you know of other historic walls in the district please send addresses and photos and I'll take another look.

With a response to 1, I can approve the application except for the site wall. Do you want me to await more on the site wall, or amended the application to remove that request?

Best,
Tania

Tania Georgiou Tully, Planner II
Historic Preservation
Urban Design Center
919.996.2674
919.516.2684 (fax)
tania.tully@raleighnc.gov

COA process information is available [here](#).

From: Phillip Smith [mailto:phillip@louischerry.com]
Sent: Thursday, September 01, 2016 4:46 PM
To: Tully, Tania
Cc: jane craven (cravenjc@hotmail.com)
Subject: Re: COA for 914 N Boylan Avenue

Tania,

Thank you for the comments. I will turn this around very quickly. Our intention is to recreate the soffit details as they exist today with new wood materials (eliminate the plastic/vinyl etc). I will update the drawings to reflect the built up fascia details.

I will label and provide the 4 window photos.

Tully, Tania

From: Phillip Smith <phillip@louischerry.com>
Sent: Wednesday, October 19, 2016 4:09 PM
To: Tully, Tania
Subject: Re: COA for 914 N Boylan Avenue
Attachments: CRAVEN RESIDENCE_site plan.pdf; IMG_1436[1].JPG

Tania,

The roof will be low seams with a flat pan. I have included an image which will illustrate the intentions. Attached is the site plan which includes the site walls. The walls no longer flank the walk way. I hope this clarifies any missing information.

Please let me know if there is anything else I can provide you.

Thank you for your time and patience.

Best,

Phillip

On Wed, Oct 19, 2016 at 3:55 PM, Tully, Tania <Tania.Tully@raleighnc.gov> wrote:

Hi Phillip –

I reviewed the documents provided via the 9/30/16 email. With the additional information it is clear that the 4 window sash proposed for replacement are either deteriorated beyond repair or missing. All that remains are responses to the following from my prior email:

- 1) Roof: For the standing seam metal roof, it appears from the drawing that the seams are short (similar to the existing), and the pan is flat (no ridges or striations). **Please confirm.**
- 2) Site Wall: Low walls of various heights are seen in Glenwood-Brooklyn, but as in the other Historic Districts, it is unusual for the wall to turn the corner and flank the front walkway leading to the front steps. With the information available, as staff I can approve the wall provided that it stops at the walk without lining the walk. That being said, if you know of other historic walls in the district please send addresses and photos and I'll take another look.

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