



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

Project Description:

213 N BLOODWORTH STREET

Address

OAKWOOD

Historic District

Historic Property

114-16-MW

Certificate Number

7/18/2016

Date of Issue

1/18/2017

Expiration Date

- Construct 128 SF shed;
- construct 3' tall fence and utility screen;
- construct brick retaining wall;
- add planting beds;
- add new gravel walk.

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



DEVELOPMENT SERVICES DEPARTMENT

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495



RALEIGH HISTORIC DEVELOPMENT COMMISSION

eFax 919-996-1831

<p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p> <p style="padding-left: 40px;">Additions Greater than 25% of Building Square Footage</p> <p style="padding-left: 40px;">New Buildings</p> <p style="padding-left: 40px;">Demo of Contributing Historic Resource</p> <p style="padding-left: 40px;">All Other</p> <p>Post Approval Re-review of Conditions of Approval</p>	<p style="text-align: center;">For Office Use Only</p> <p>Transaction # <u>474750</u></p> <p>File # <u>114-16-00A MW</u></p> <p>Fee <u>\$29 -</u></p> <p>Amount Paid <u>\$29 -</u></p> <p>Received Date <u>6/3/14</u></p> <p>Received By <u>Roc Daw</u></p> <p>Complete <u>6/29/14</u></p>
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Property Street Address: 213 North Bloodworth Street

Historic District: Oakwood

Historic Property/Landmark name (if applicable)

Owner's Name: 213 N Bloodworth LLC

Lot size	51.69'	70.00'
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For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

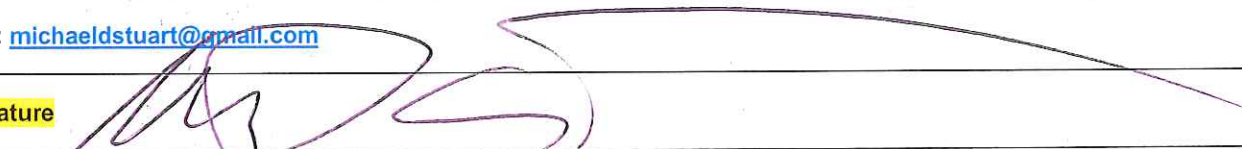
Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant: Michael Stuart

Mailing Address: 501 Oakwood Avenue

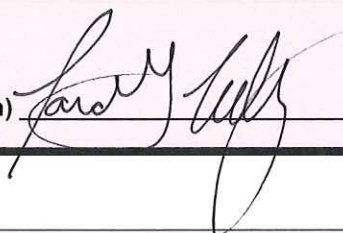
City: Raleigh	State: North Carolina	Zip Code: 27601
Date: 1 June 2016	Daytime Phone: 919 808-5321	
Email Address: michaeldstuart@gmail.com		
Applicant Signature 		

<p>Will you be applying for state or federal rehabilitation tax credits for this project?</p> <p style="text-align: center;">No</p>	<p style="text-align: center;">Office Use Only</p> <p>Type of Work _____</p> <p style="text-align: center;"><u>35, 10, 83</u></p> <p>_____</p>
---	---

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).		
Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
2.4	Fences and Walls: Guidelines	See attached.
2.6	Garages and Accessory Structures	
3.2	Masonry Guidelines	
3.4	Paint and Paint Color Guidelines	

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 7/18/17. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

Signature (City of Raleigh)  Date 7/18/16

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 13 copies	X				
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	X				
2. Description of materials (Provide samples, if appropriate)	X				
3. Photographs of existing conditions are required.	X				
1. <u>Paint Schedule</u> (if applicable)		X			

<p>1. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.</p>	X				
<p>6. Drawings showing proposed work</p> <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s) <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale <input type="checkbox"/> 8-1/2" x 11" or 11" x 17" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" or 11" x 17" snap shots of individual drawings on the big sheet. 	X				
<p>7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the Label Creator to determine the addresses.</p>		X			
<p>8. Fee (See Development Fee Schedule)</p>	\$29				

see additional info in
6/25/16 email d 7/13/16 &
7/18/16

Yard COA Application Details

This application consists of the following details to be implemented in phases over the summer 2016: 1) Small retaining wall and garden boarder, 2) fence around side yard, 3) corral to contain garbage/recycling cans and air conditioning units 4) bike storage shed for 6 bikes.

Small Retaining Wall *Amended*

Wall will replace existing block boarder and build a short retaining structure for the side yard. The front garden, to the south of the front steps will consist of a single layer of ~~engineered stone~~ and top cap to provide a board for the garden. The north garden will be housed with a single layer at the steps and sufficient layers at the north edge to provide a level, two tiered garden. This garden structure will be divided with a rock path suitable for allowing trash/recycling cans and bike access. ~~Engineered stone to be used is referenced in the attached Versa-lok retaining wall systems. Each block will have a face of width 16" x height 6" and a top cap 14" width x 3-5/8" high.~~

brick wall w/ concrete cap see amendment.

Fence Around Side Yard

Simple picket fence will boarder side yard with a double gate to allow bike and trash/recycling can access. Attached image shows intended french gothic fence pickets. Fence will be painted white trimmed to 3 feet high.

Corral to Contain Garbage/Recycling Cans and Air Conditioning Units

Using the same slats as the boarder fence 3.5 feet high mounted without spaces, a corral will be created to hide the necessary building infrastructure and cans. width 3' X length 20'

Enclosed Bike Storage Shed for 6 Bikes

Matching the building in all finishes and materials, a 6 bike storage building will be built between the first two set of trees at the yard boarder. The attached building design will be modified to have two double doors for easy bike access and will not include side windows. width 8' x length 16'

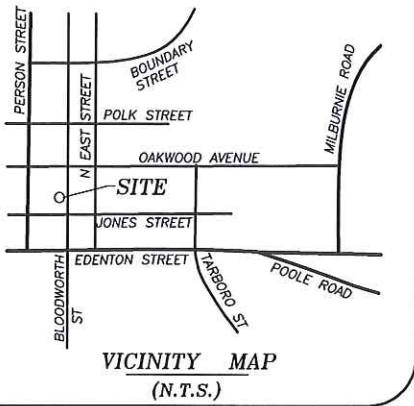
*this means wood siding; wood doors; etc..
see drawings*

114-16-MW notes per staff or amendments.

TGT

* hand dig piers

- 5' max width gravel path
- Wood siding
- no vinyl on windows or doors
- amended wall location
- unpainted brick wall w/ concrete cap
- gravel needs to be grey w/ little to no white/brown pea gravel.
- corrugated metal roof



FLOOD CERTIFICATION

THIS WILL CERTIFY THAT THE SUBJECT PROPERTY () IS or (X) IS NOT located in a SPECIAL FLOOD HAZARD AREA as determined by the Department of Housing and Urban Development, or as shown on the FLOOD INSURANCE RATE MAP.

370243 1704 J
COMMUNITY # PANEL SUFFIX

J.H.D. PLS
PROFESSIONAL LAND SURVEYOR

LEGEND

- EXISTING IRON PIPE
- NEW IRON PIPE
- × COMPUTED CORNER

NOTE:

THIS PROPERTY DOES NOT LIE WITHIN 2000' OF A N.C.G.S. MONUMENT.

THIS SURVEY IS OF AN EXISTING PARCEL OR PARCELS OF LAND.

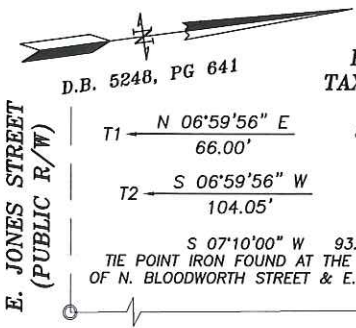
UTILITIES SHOWN ARE FOR REPRESENTATION ONLY AND NOT TO BE USED FOR PROPERTY LINE LOCATION

ALL CREEKS, EASEMENTS, BUFFERS, FLOOD LIMITS & SETBACKS TAKEN FROM TAX MAP 1704.20, BLOCK 80.

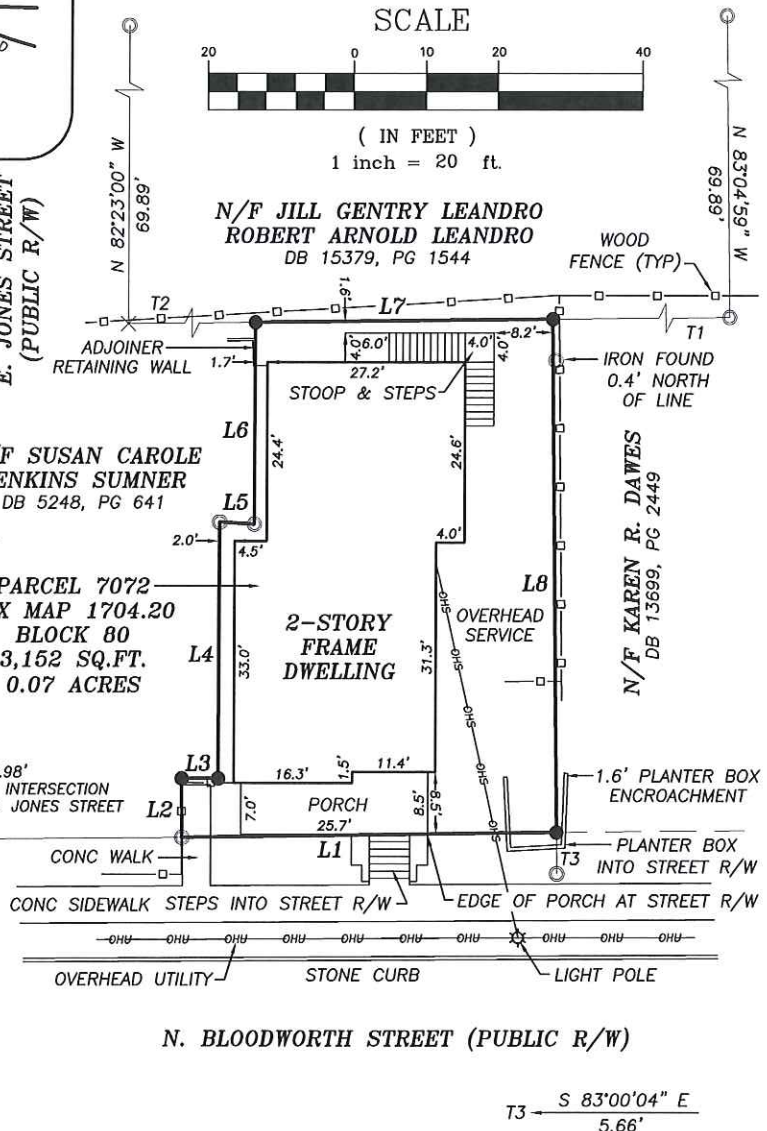
E. JONES STREET (PUBLIC R/W)

N/F SUSAN CAROLE JENKINS SUMNER
DB 5248, PG 641

PARCEL 7072
TAX MAP 1704.20
BLOCK 80
3,152 SQ.FT.
0.07 ACRES



LINE TABLE		
LINE	LENGTH	BEARING
L1	51.69'	S06°48'27"W
L2	8.05'	N82°48'43"W
L3	5.03'	N07°38'40"E
L4	34.96'	N82°17'02"W
L5	4.82'	N11°03'12"E
L6	27.56'	N82°16'35"W
L7	41.04'	N06°59'56"E
L8	70.00'	S83°00'04"E



I, Jeffrey H. Davis, PLS, certify this map was drawn under my supervision from an actual survey made under my supervision; and that the error of closure as calculated by latitudes and departures is 1/10,000+; that the boundaries not surveyed are shown as broken lines plotted from information found in Book -; Page -; that this map was prepared in accordance with G.S. 47-30 amended.

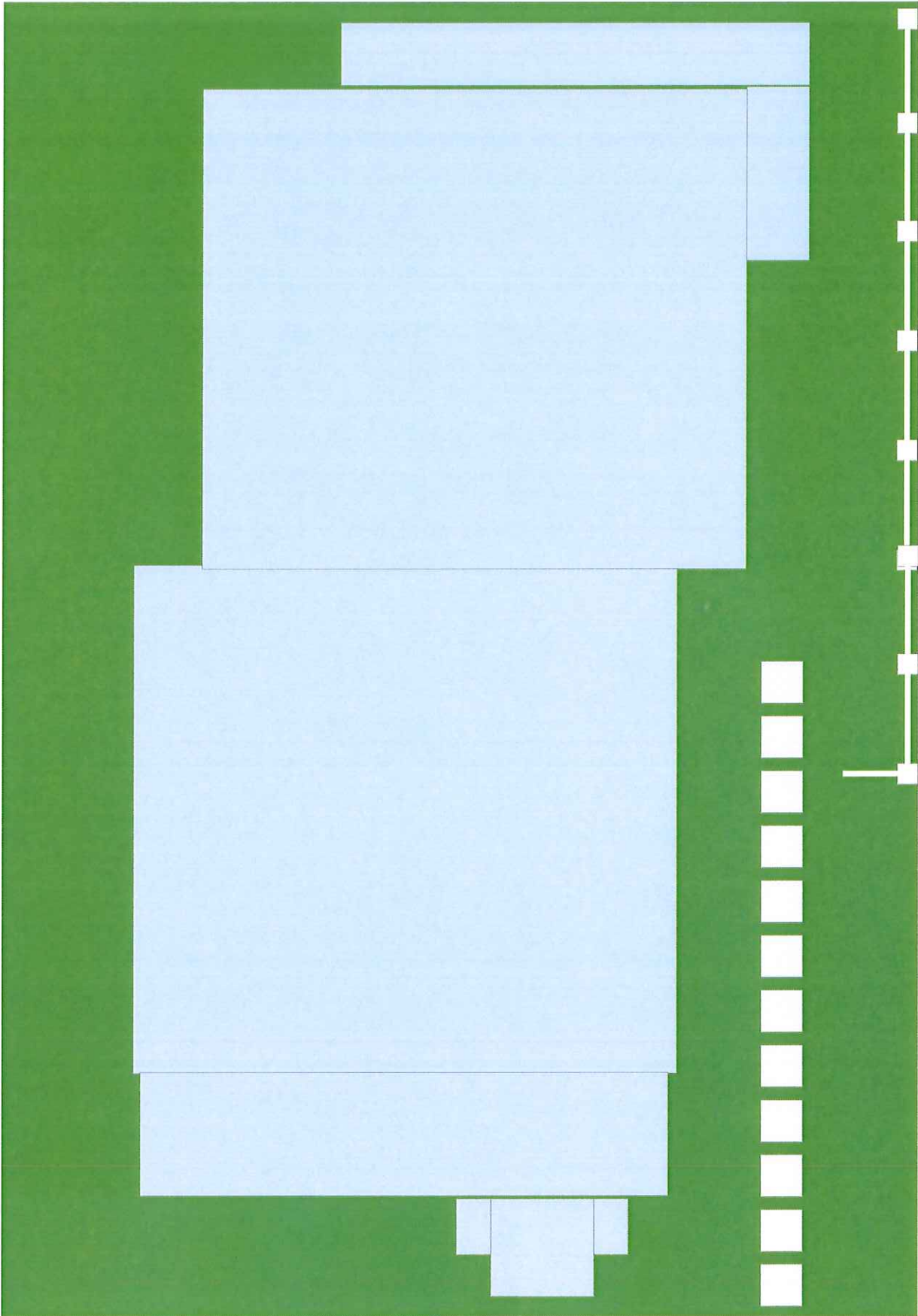
Witness my original signature, registration number and seal this 27TH day of JANUARY 2015.
Signed *J.H.D.*



C.N. = 22221
B.O.M. D.B. 15057
PAGE 581
WAKE CO. REG.

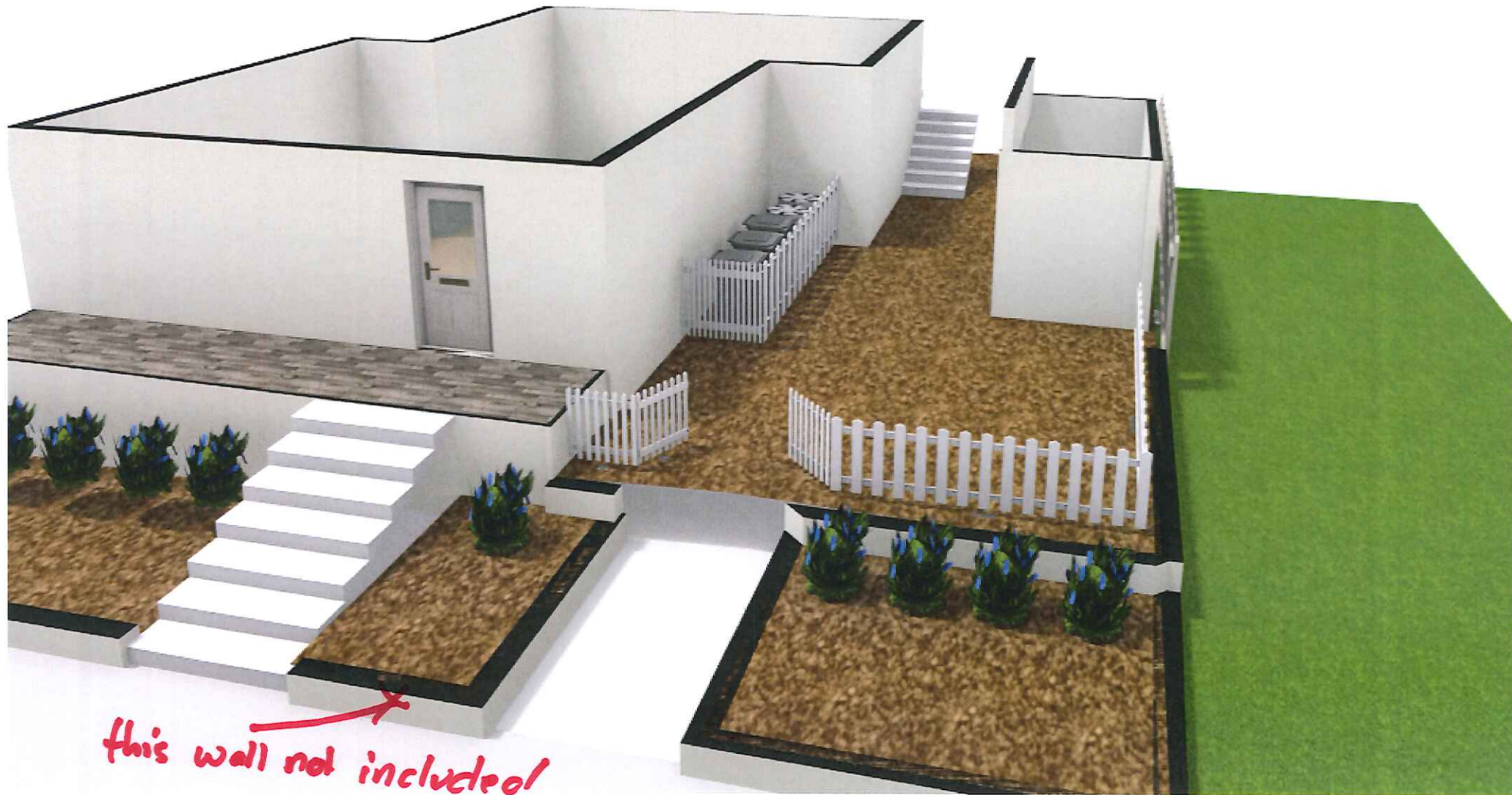
**MOLLY STUART
MICHAEL STUART**
PARCEL 7072
TAX MAP 1704.20, BLOCK 80
213 N. BLOODWORTH STREET
RALEIGH NORTH CAROLINA
DATE: 01-27-2015 DWG. NO. A-18724
SCALE: 1" = 20'

TURNING POINT SURVEYING PLLC
4113 JOHN S. RABOTEAU WYND
RALEIGH, NORTH CAROLINA 27612
FAX (800)948-0213 PH (919)781-0234
License No: P-0121



Existing

See 7/13/16
amendment



→
this wall not included



7/13/16
amendment

Tully, Tania

From: michaeldstuart@gmail.com
Sent: Monday, July 18, 2016 11:40 AM
To: Tully, Tania
Cc: Anagnost, John; Molly Stuart
Subject: Re: COAs for 213 N Bloodworth Street & 501 Oakwood Avenue

Follow Up Flag: Follow up
Flag Status: Flagged

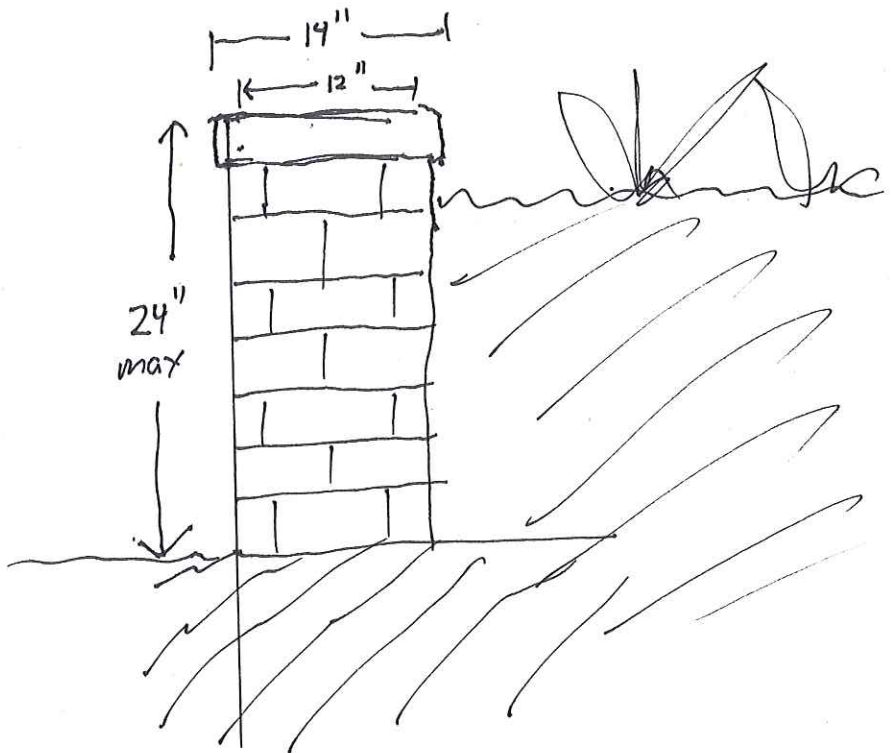
For the wall, I'm thinking painted brick with a cement top cap to match the porch steps (please see attached). Plan B would be simple poured concrete forms.

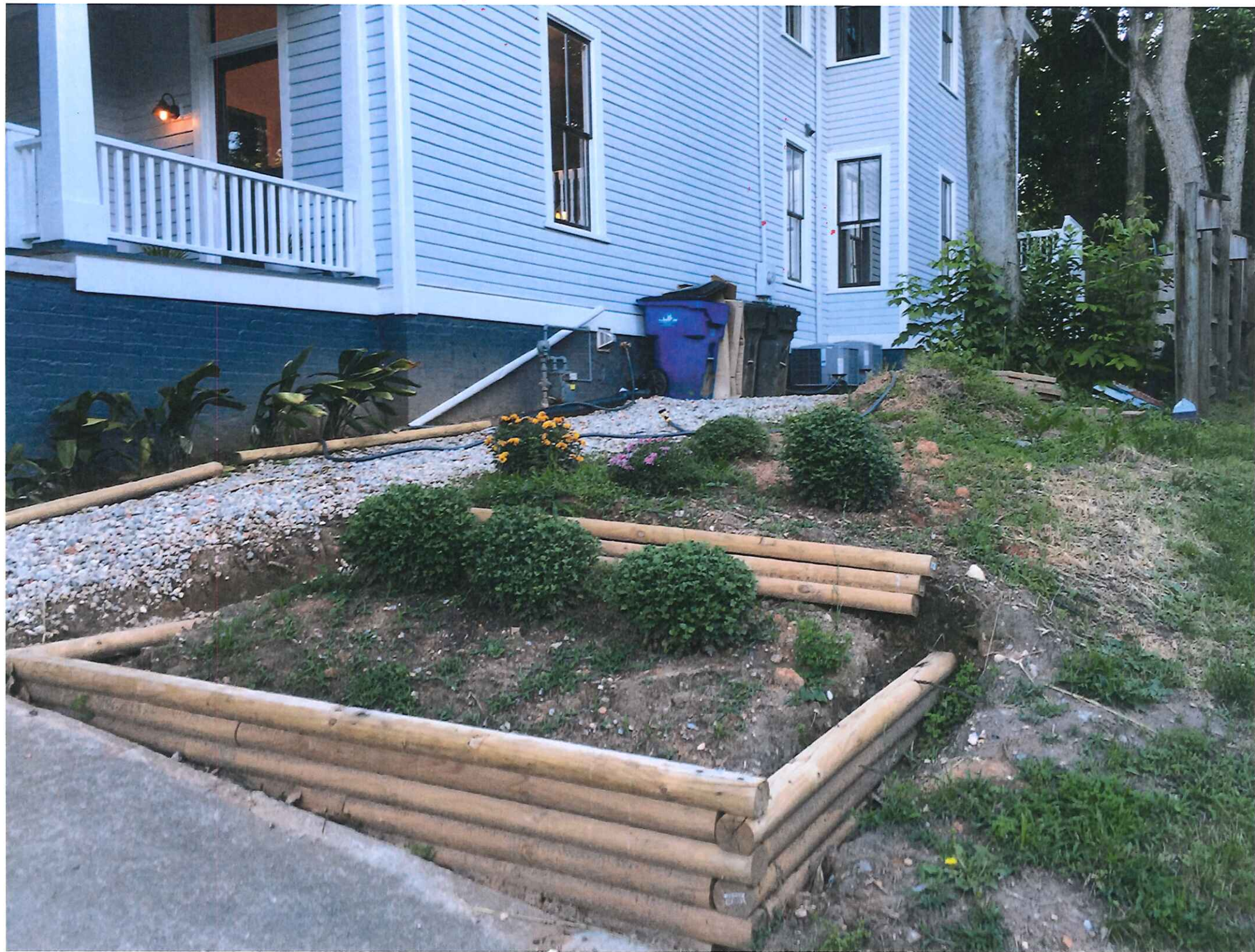


On Jul 15, 2016, at 4:40 PM, Tully, Tania <Tania.Tully@raleighnc.gov> wrote:

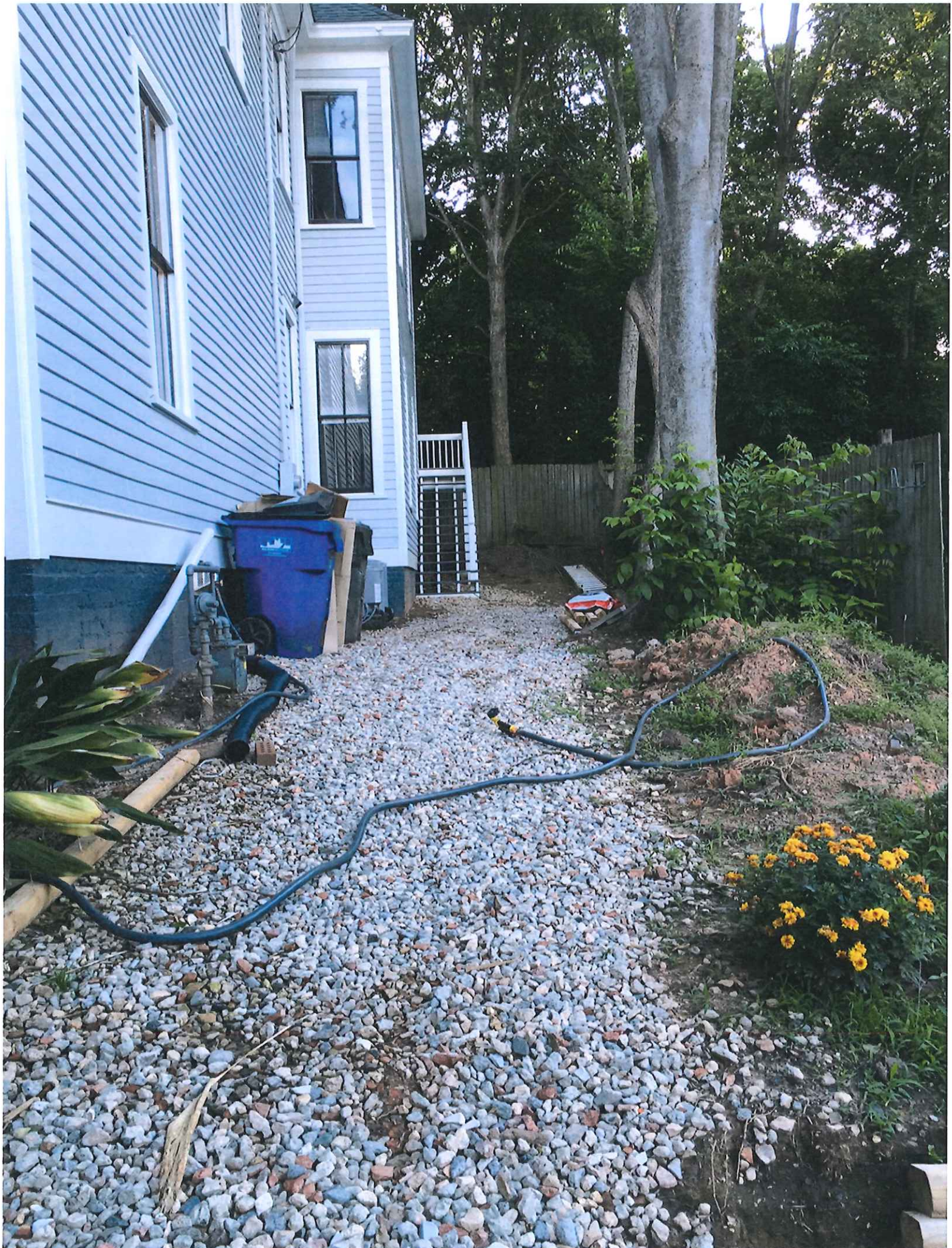
Michael –

213 N. Bloodworth St
Brick retaining wall













34628 | Internet # 206436178

4 in. x 3-1/2 ft. Western Red Cedar French Gothic Fence Picket

(1) Write a Review Questions & Answers (12)



\$20.47 /package

- Great for fence repair or craft projects
- Ready for paint or stain
- Includes 13 cedar pickets



Ship to Home FREE with \$45 Order

Estimated Arrival: JUN 7 - JUN 9

[See Shipping Options](#)



Ship to Store FREE

Available for Pick Up: JUN 8 - JUN 13

1

ADD TO CART

SA
MY

OR

Buy now with **PayPal**

Item cannot be shipped to the following state(s): AK, GU, HI, PF



PRODUCT NOT SOLD IN STORES

Expanded View

Click Image to Zoom







DRAWING INDEX

Page 1	Title Sheet
Page 2	Floor Plan
Page 3	Exterior Elevations
Page 3.1	Exterior Elevations
Page 4	Skid Foundation Plan
Page 5	Floor Framing Plan
Page 6	Wall Framing Plans
Page 6.1	Wall Framing Plans
Page 7	Roof Framing Plans
Page 7.1	Roof Rafter Details
Page 7.2	Roof Rafter Birdsmouth
Page 8	Section
Page 8.1	Details
Page 8.2	Details

see
photo
2 pair
multi light
French doors.

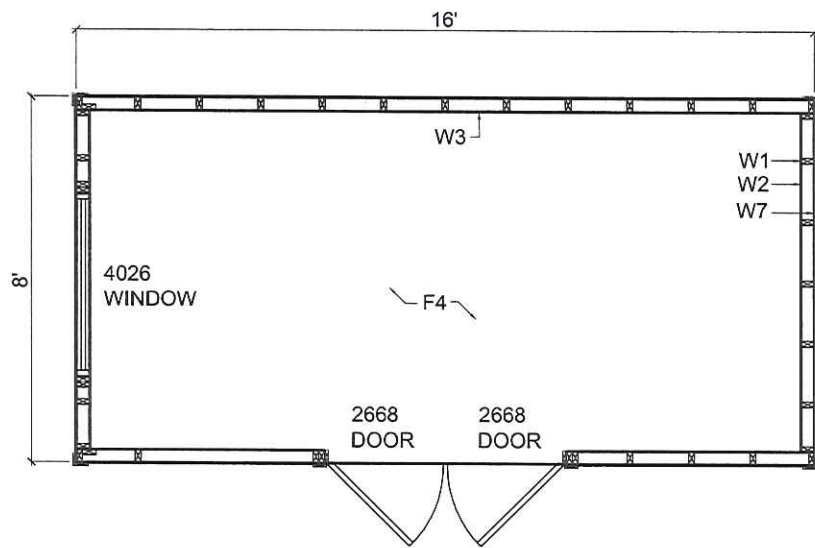
8x16 MODERN SHED PLANS - S1

Please view and download the HOW TO BUILD A SHED tutorial at
<http://www.icreatables.com/sheds/how-to-build-shed/how-to-build-a-shed-download.html>

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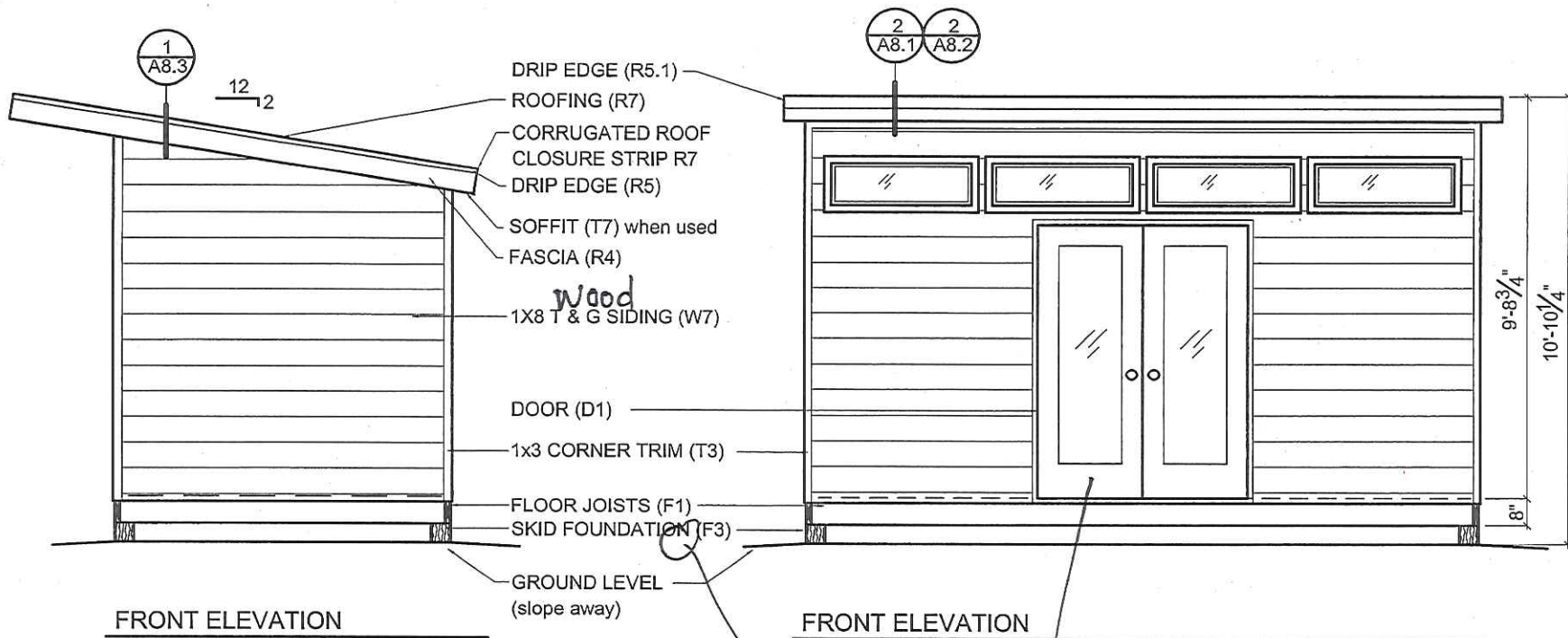
Title Sheet **1**

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FLOOR PLAN

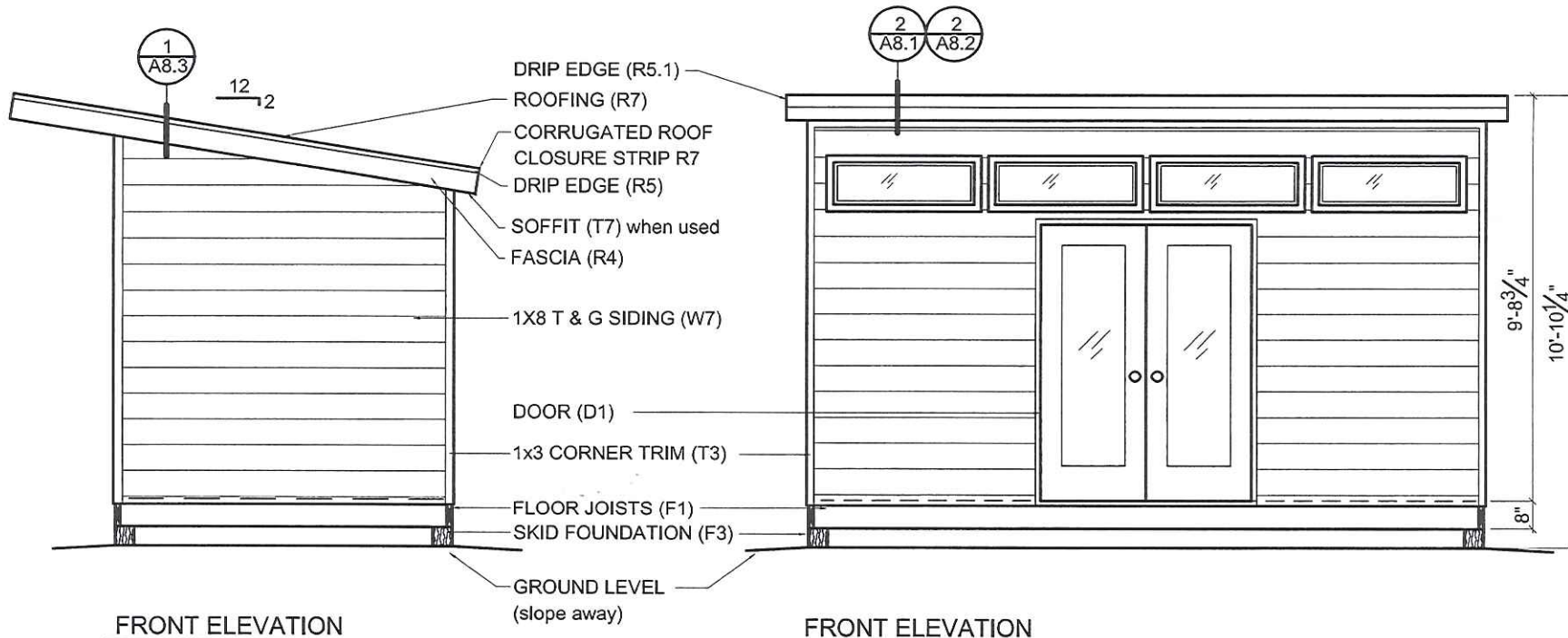
1/4" = 1'-0" See wall framing plans for stud layout and material take off. And window locations.



SIDING AND ROOFING MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
W7	1x8 Tongue and Groove Siding	350 s.f.	
T3	1x3 Trim	2 1/2" x 10'	14
R5	Metal Drip Edge	1 1/2" x 1 1/2" x 10'	5
R5.1	Metal Drip Edge	4" x 4" x 10'-0"	2
R6	Grace Ice and Water Shield	160 + sf.	
R7	36" wide PBR Corrugated metal roofing	9'-4 1/2"	6
R7*	Optional Asphalt Shingle	200sf.	2 squares
R11	Corrugated roofing closure strip	40lf.	
W8	Vapor Barrier (house wrap)	350 s.f.	
W11	4026 Awning or fixed windows	4'-6" x 2'-6"	1
W12	3410 Fixed Window	3'-4" x 1'-0"	4
D1	Double Doors, full glass	5068	1

Ramp or stair materials are not shown



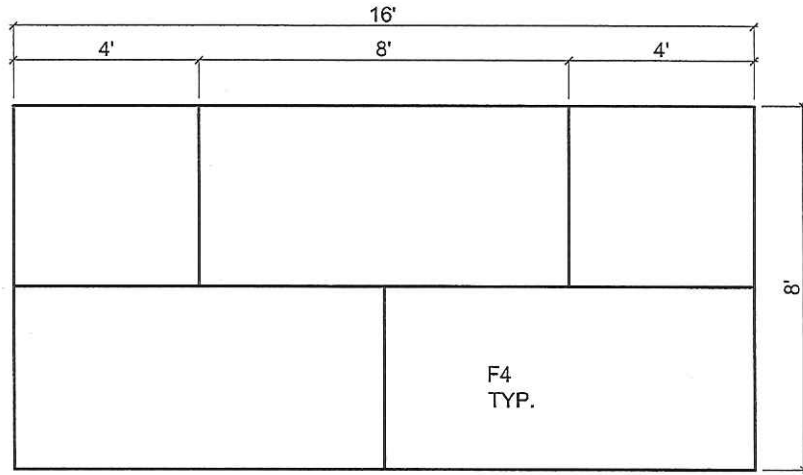
FRONT ELEVATION

FRONT ELEVATION

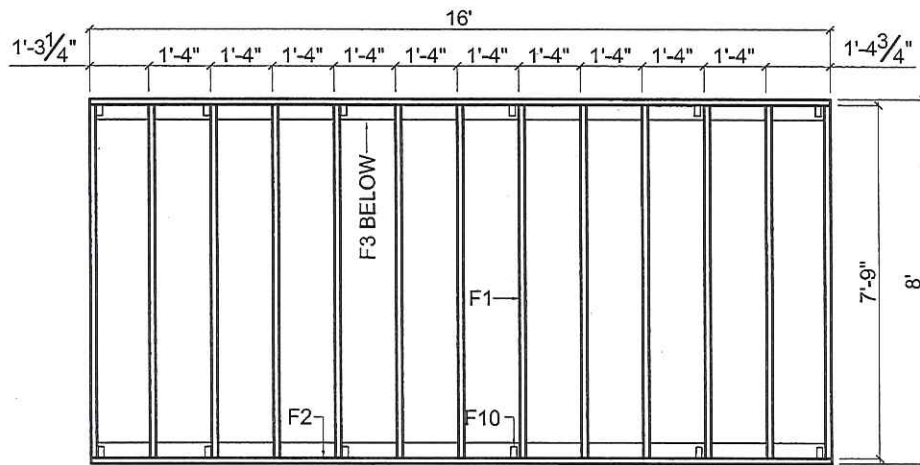
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D1	Double Doors, full glass	5068	1

Ramp or stair materials are not shown



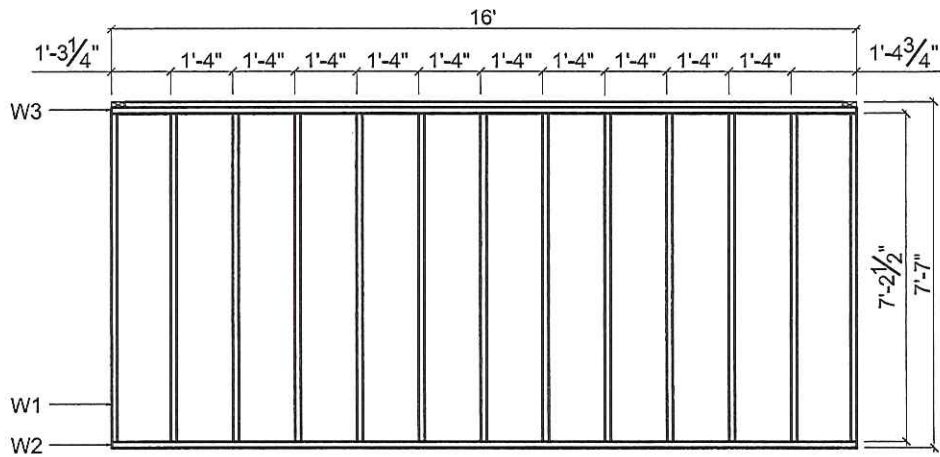
FLOOR SHEETING PLAN



FLOOR FRAMING PLAN

FLOOR FRAMING MATERIALS

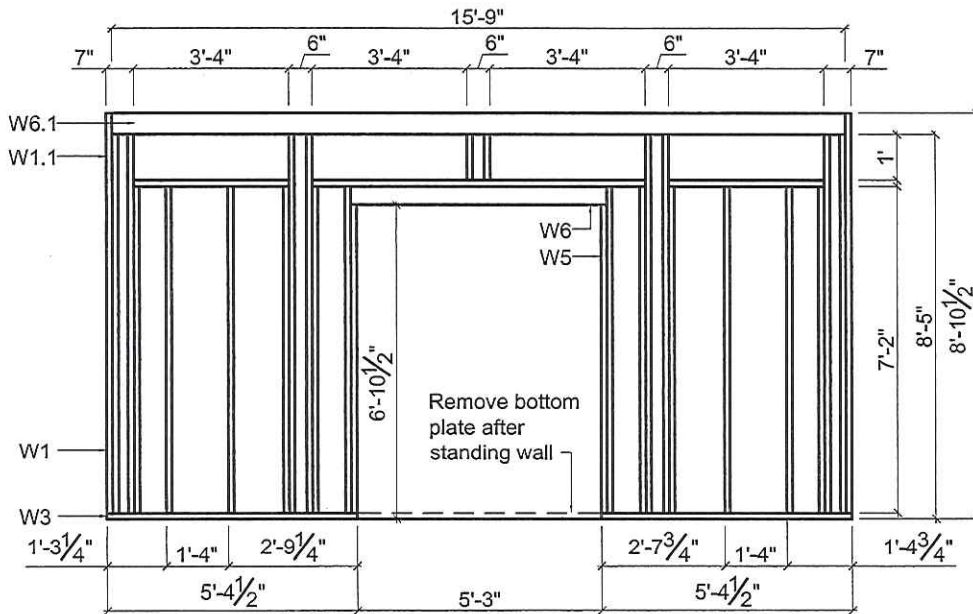
CODE	DESCRIPTION	LENGTH	QTY.
F1	2x6 Floor Joist	8'	13
F2	2x6 Rim Joist	16'-0"	2
F4	Full Face O.S.B. T.&G.	4'x8'x $\frac{3}{4}$ "	4
F10	SIMPSON A23 CLIP		12



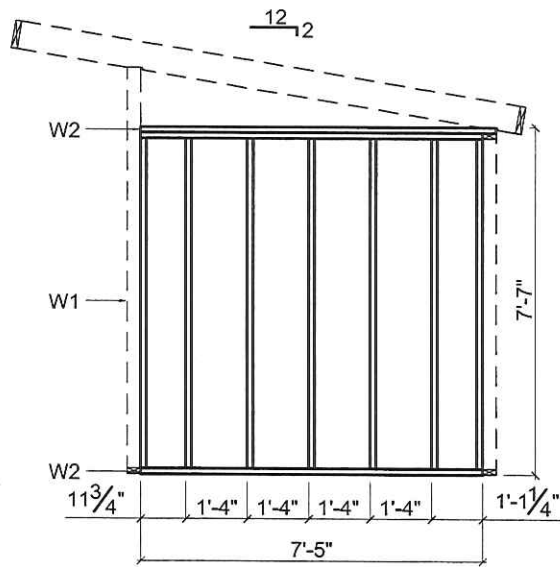
REAR WALL FRAMING PLAN

WALL FRAMING MATERIALS

CODE	DESCRIPTION	LENGTH	QTY.
W1	2x4 Wall Stud	8'-0"	40
W1.1	2x4 Wall Stud	10'-0"	10
W2	2x4 Wall Plate Short	8'-0"	6
W3	2x4 Wall Plate Long	16'-0"	5
W5	2x4 Trimmer	8'-0"	12
W6	2x6 Header	10'-0"	2
W6.1	2x6 Header	16'-0"	2
W7	1x8 Tongue and Groove Siding, see elevations sheet		
W9	4x8 O.S.B. Sheeting	4'x8'x 7/16"	13

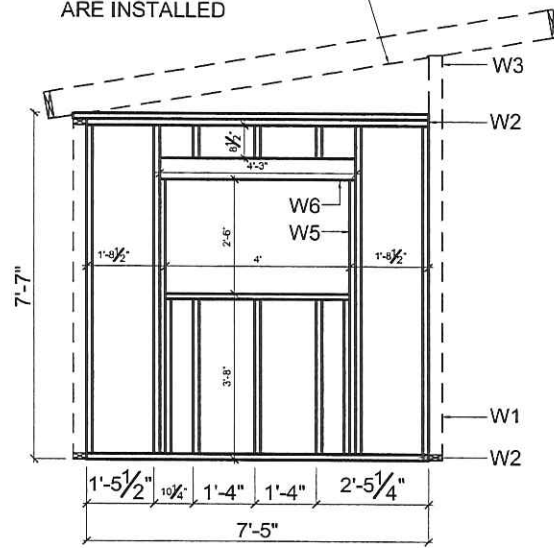


FRONT WALL FRAMING PLAN

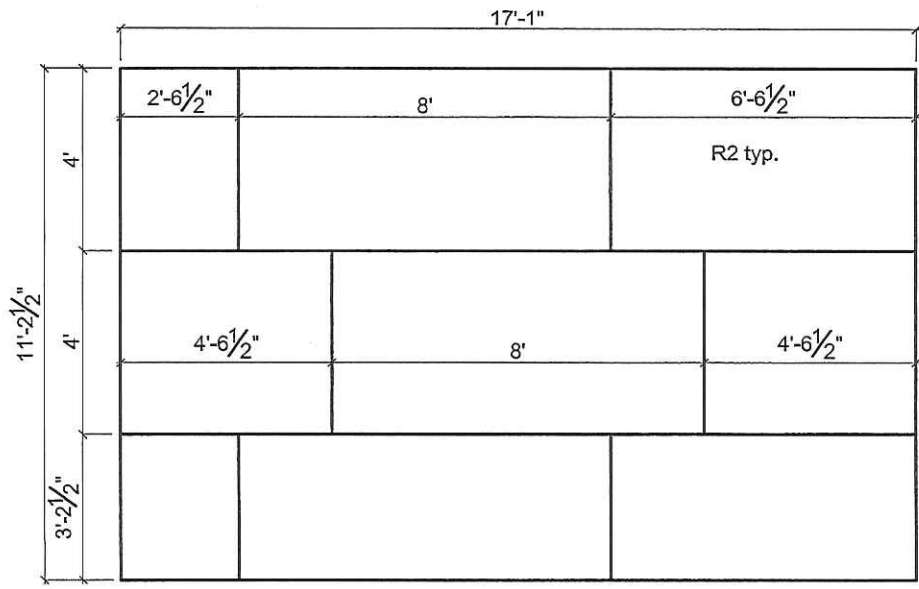


RIGHT WALL FRAMING PLAN

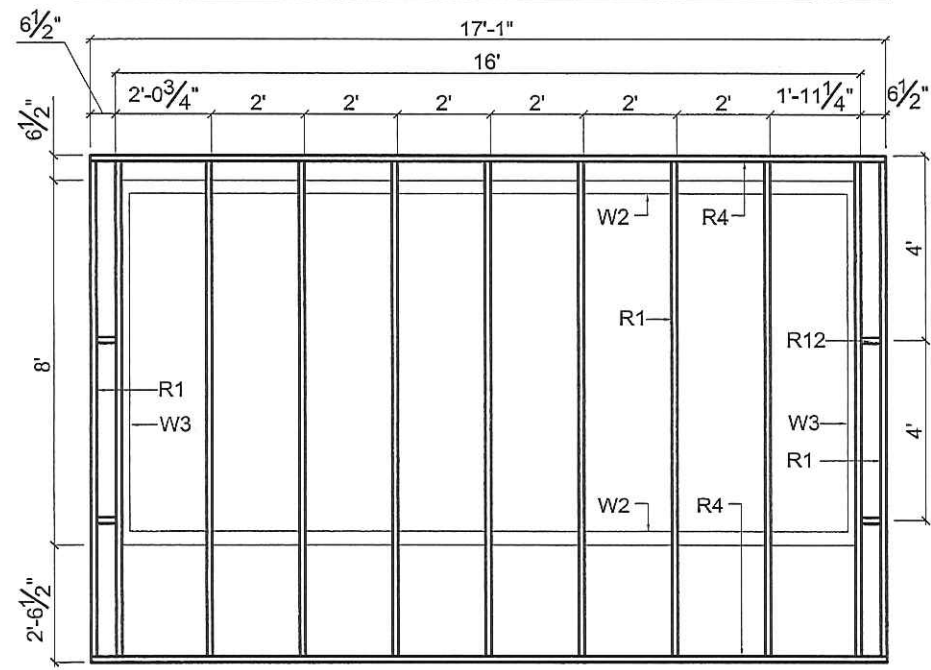
FRAME TOP ANGLED WALL
AFTER ROOF RAFTERS
ARE INSTALLED



LEFT WALL FRAMING PLAN



ROOF SHEETING PLAN



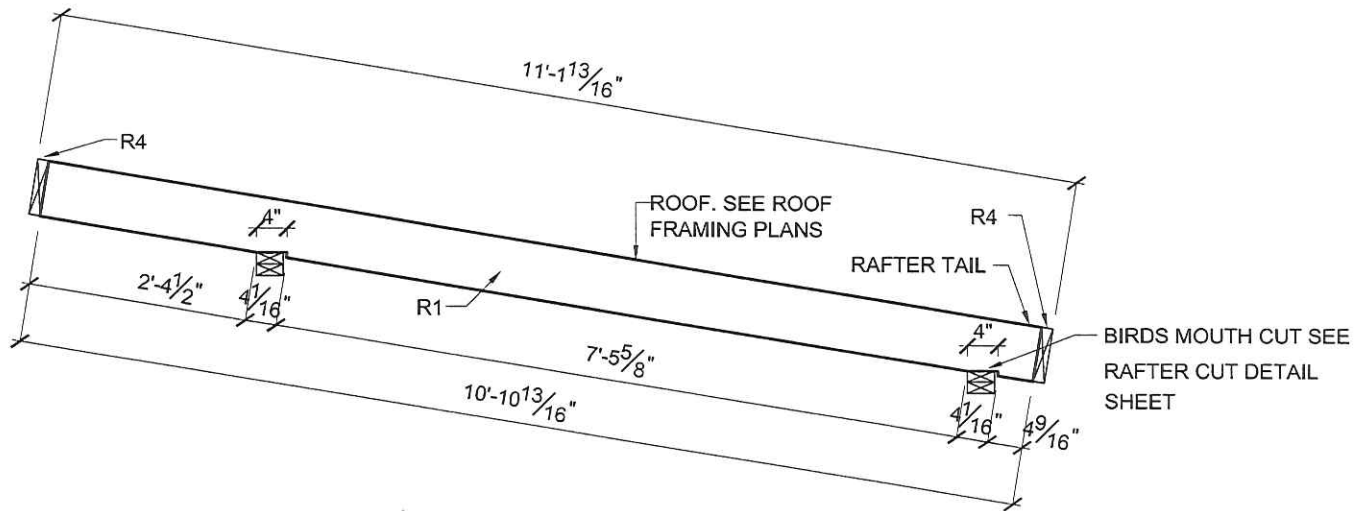
ROOF FRAMING PLAN

Note: The roof sub fascia is measured 6" off the face of the wall sheathing or 6 1/2" off the wall studs.

ROOF FRAMING MATERIALS

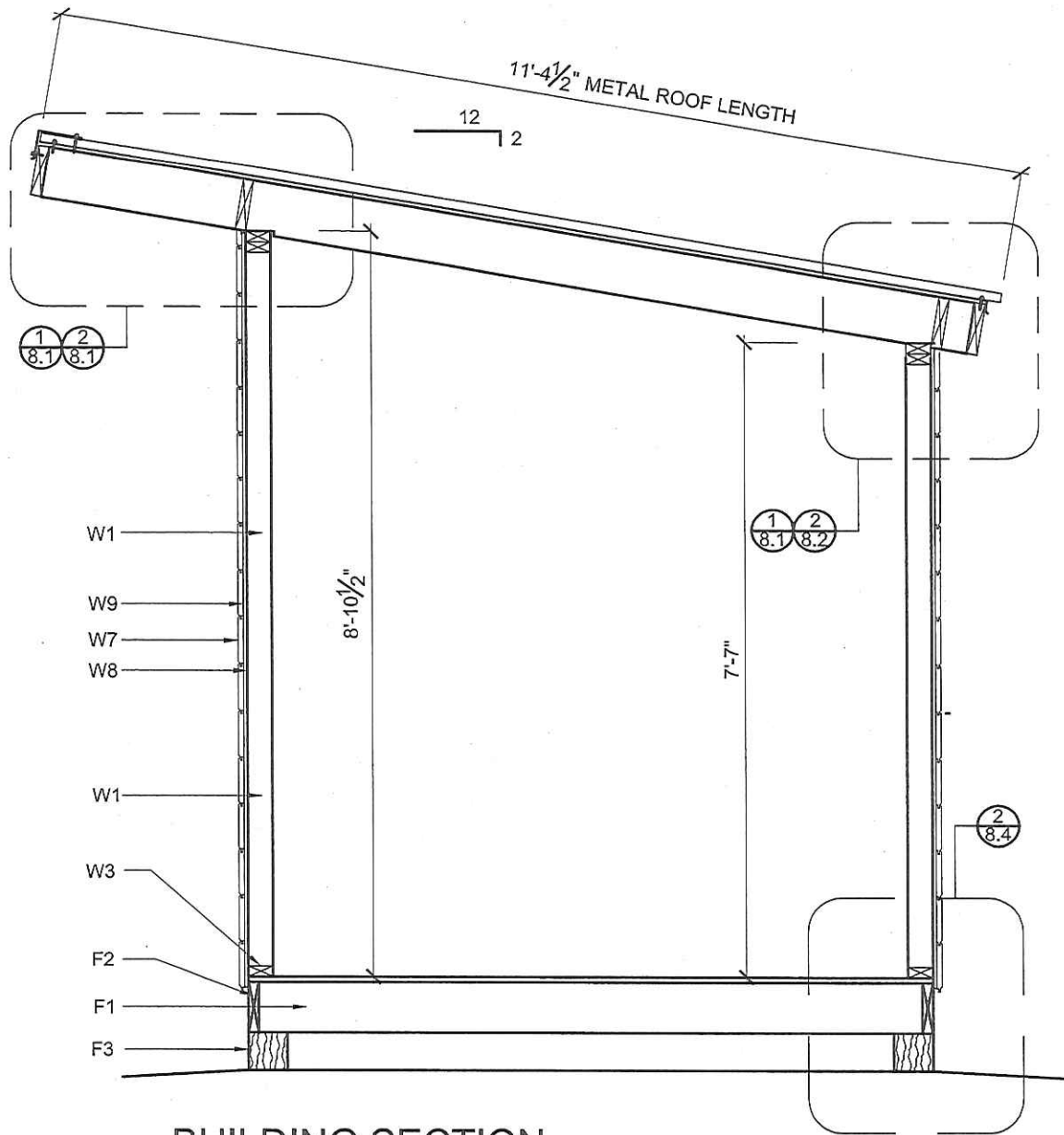
CODE	DESCRIPTION	LENGTH	QTY.
R1	2x8 Rafter	12'-0"	11
R2	O.S.B. Roof Sheeting	4'x8'x ⁷ / ₁₆ "	7
R4	2x8 Fascia	20'-0"	2
R12	2x8 Blocking	use scrap	

*See exterior elevations for roofing materials.



RAFTER DETAIL (R1) - 8' SPAN

1/2" = 1'-0" SEE THE ROOF TRUSS TEMPLATE DETAIL FOR ANGLE CUTTING INFORMATION



BUILDING SECTION

1/4" = 1'-0" See floor and wall plans for material call out definitions.

Section 8
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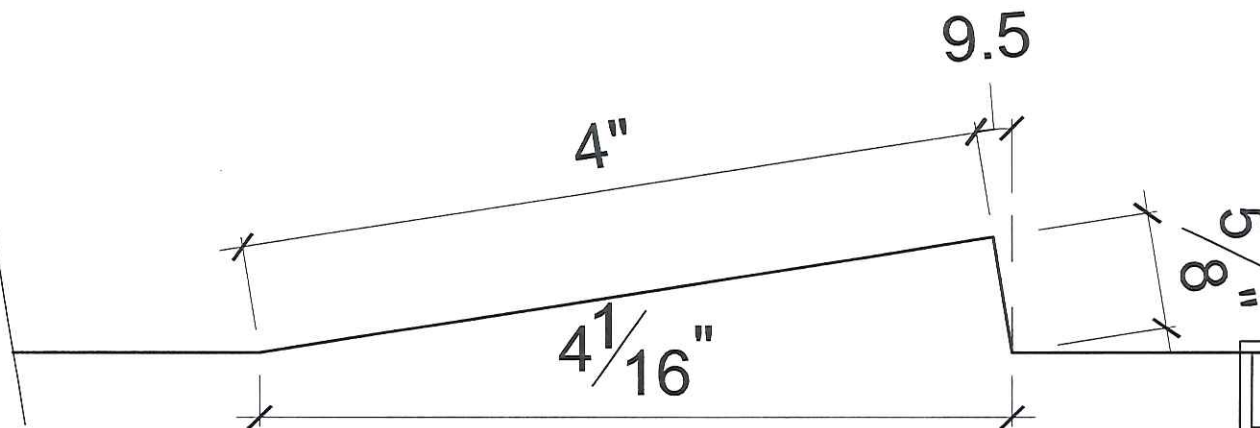
2 / 12 RAFTER BIRDSMOUTH TEMPLATE - MODERN SHED

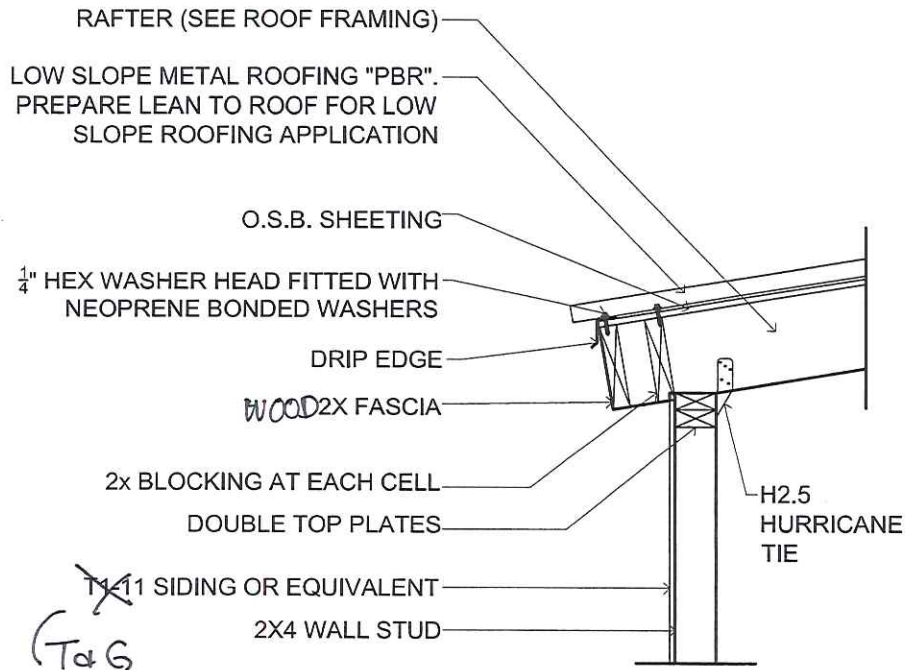
CUT OUT TEMPLATE
LAY TEMPLATE ON RAFTER TRACE BIRDSMOUTH AND
CUT ALONG LINES
BE CAREFUL TO FINISH BIRDSMOUTH CUT WITH COPING SAW

VERIFY THAT PRINTED DIMENSIONS ARE TO SCALE
BEFORE USING TEMPLATE

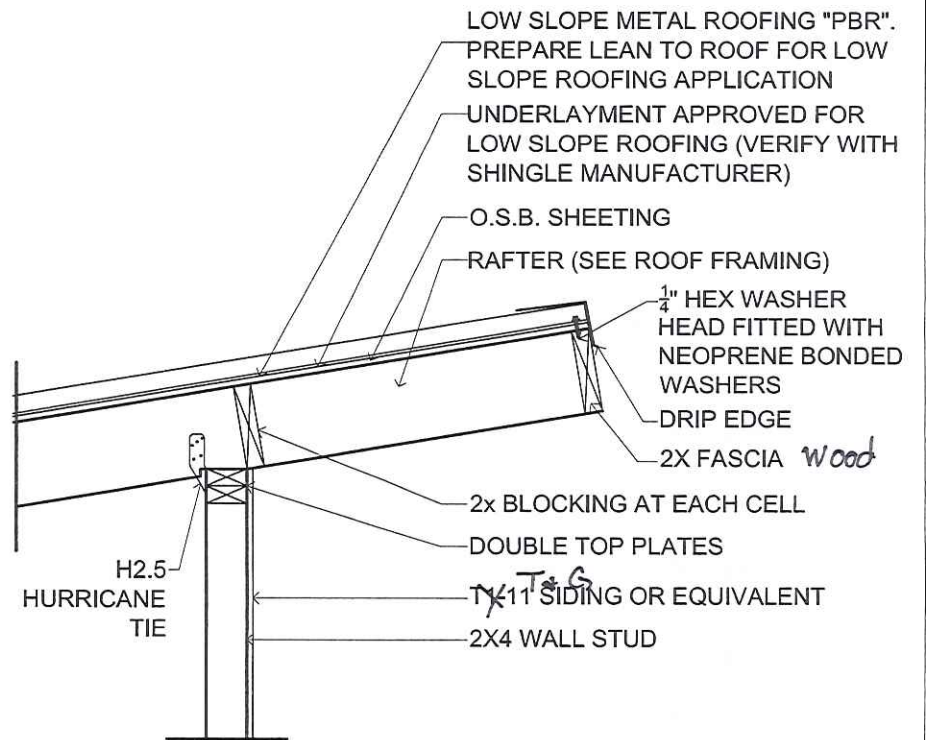


NOTE: MAKE A BIRDSMOUTH CUT AT EACH END OF THE
ROOF RAFTERS AS SHOWN ON THE RAFTERS DETAIL SHEET

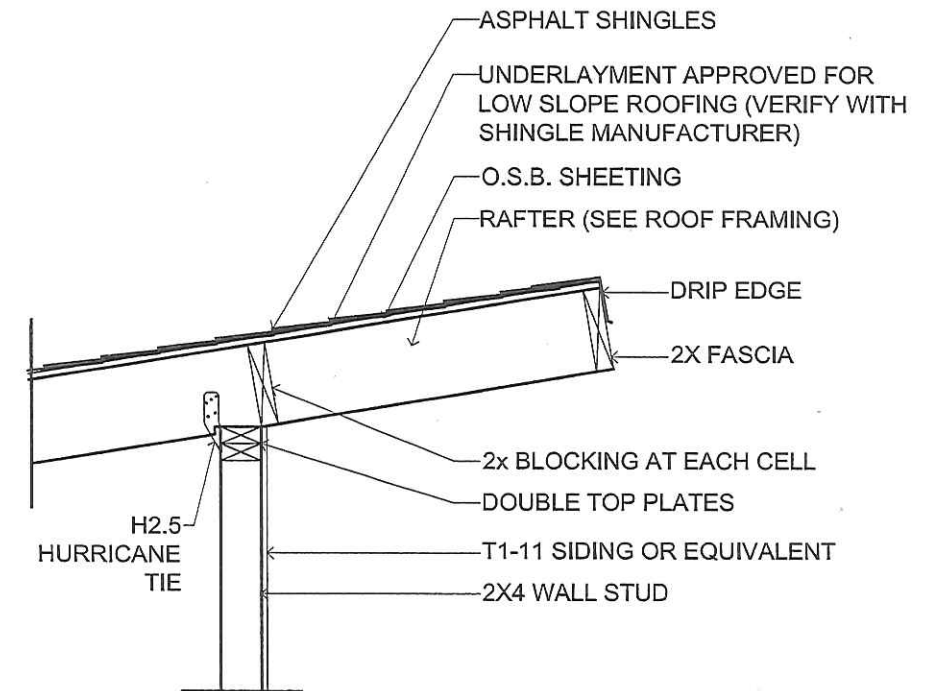
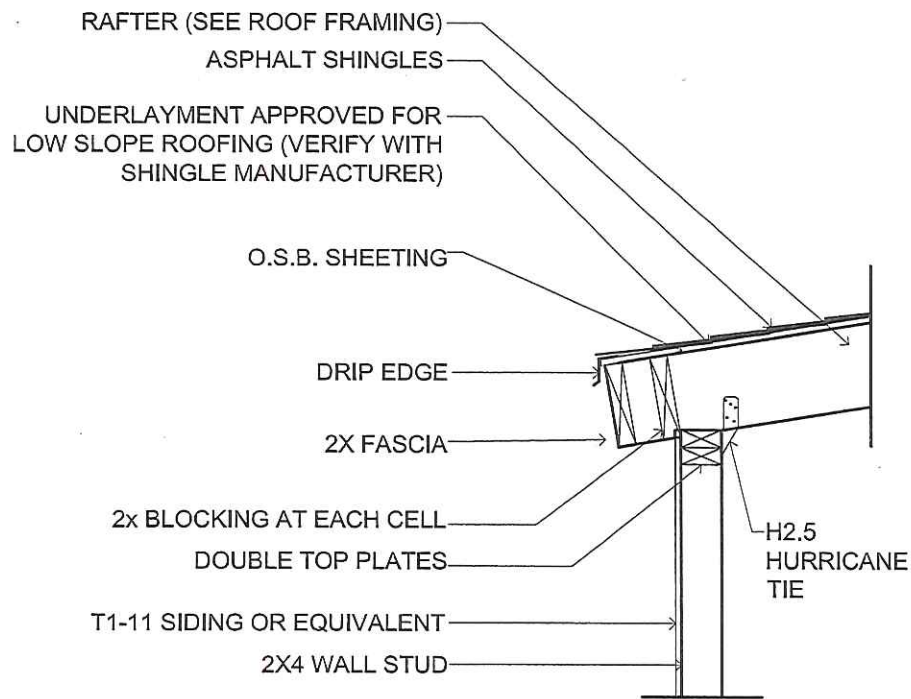




1 METAL ROOF RAFTER EVE DETAIL - OPEN SOFFIT
 3/4" = 1'-0"

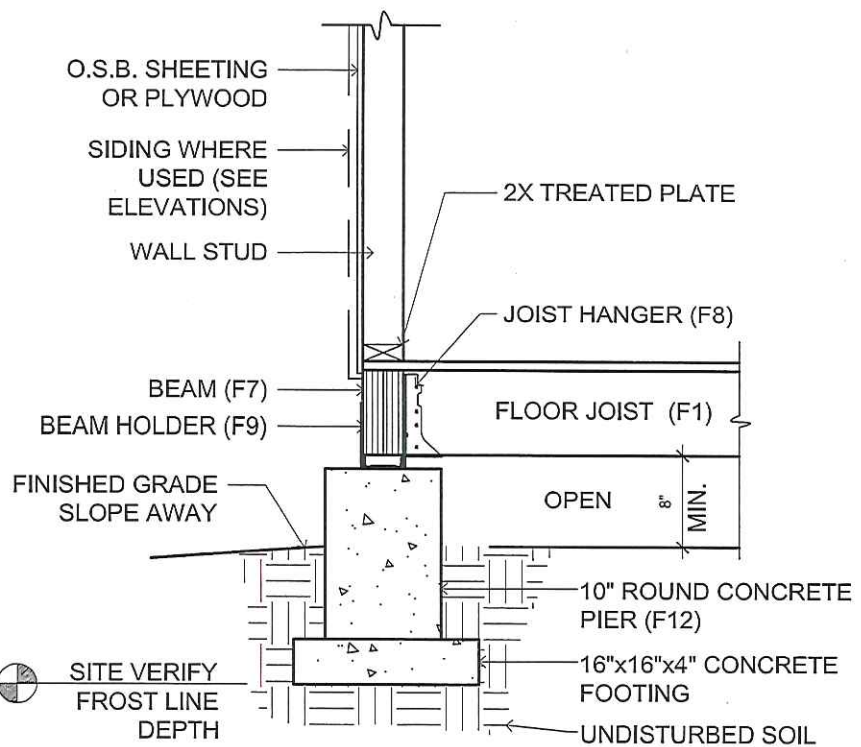


2 METAL ROOF RAFTER EVE DETAIL - OPEN SOFFIT
 3/4" = 1'-0"

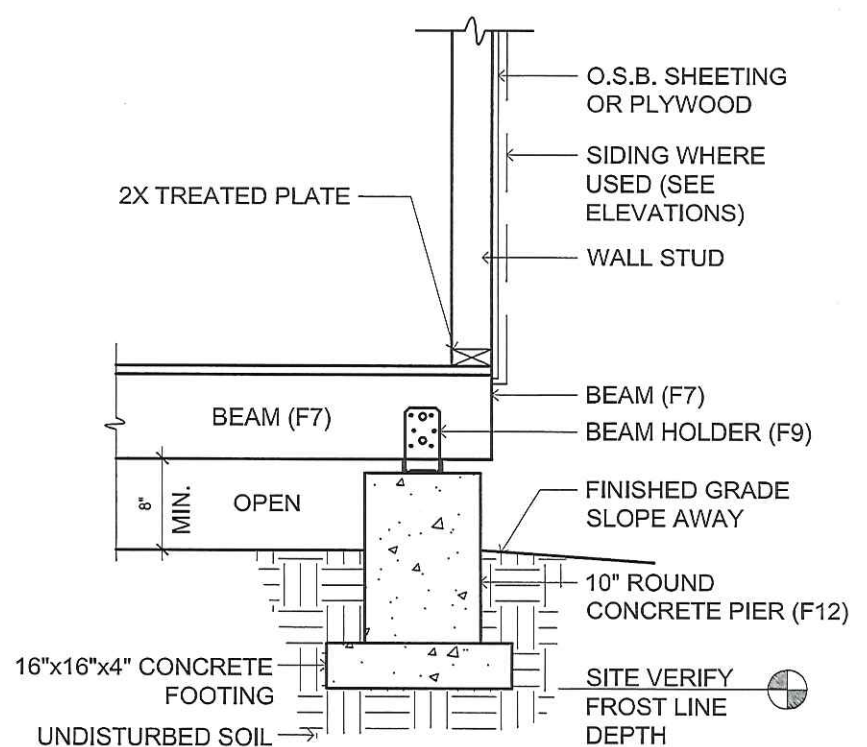


1 ASPHALT ROOF EVE DETAIL - OPEN SOFFIT
 $\frac{3}{4}" = 1'-0"$

2 ASPHALT ROOF EVE DETAIL - OPEN SOFFIT
 $\frac{3}{4}" = 1'-0"$

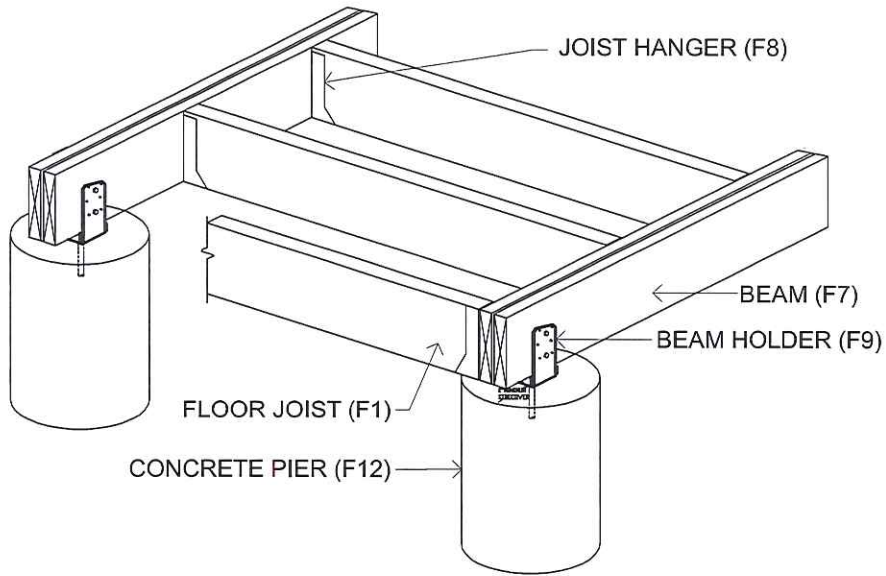


1 POURED CONCRETE PIER FOUNDATION
 $\frac{3}{4}'' = 1'-0''$ SIDE VIEW



2 POURED CONCRETE PIER FOUNDATION
 $\frac{3}{4}'' = 1'-0''$ FRONT VIEW

Piers to be hand dug to avoid damage to tree roots. Roots > 1" must be cut cleanly using the appropriate tool such as loppers



CONCRETE PIER FOOTINGS ARE MADE BY POURING CONCRETE IN A ROUND CYLINDER MOLD. DIG A 16" ROUND HOLE. SET THE FORM 4IN. ABOVE THE BOTTOM.

- POUR THICK CONCRETE SO IT FLOODS THE BOTTOM 4" OF THE HOLE AND THEN FILLS THE TUBE.
- INSTALL BEAM HOLDERS
- FOOTING TO BE INSTALLED ON UNDISTURBED OR COMPACTED SOIL.
- CALL THE LOCAL BUILDING DEPARTMENT TO VERIFY FROST DEPTH IN YOUR AREA.

NOTE: FLOOR FRAMING MAY ALSO BE SET ON TOP OF THE BEAMS. USE THE FLOOR FRAMING DIMENSIONS GIVEN ON SHEET A5 IN THE PLANS.

1 POURED CONCRETE PIER FOUNDATION
 $\frac{3}{4}" = 1'-0"$ ISOMETRIC VIEW

2 POURED CONCRETE PIER FOUNDATION
 $\frac{3}{4}" = 1'-0"$ NOTES

POUR PIER FND. **3**

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Anagnost, John

From: michaeldstuart@gmail.com
Sent: Friday, June 10, 2016 12:42 PM
To: Anagnost, John
Subject: Re: Incomplete Application for Minor Work COA at 213 N Bloodworth St

Sending a few in another email

On Jun 10, 2016, at 9:21 AM, Anagnost, John <John.Anagnost@raleighnc.gov> wrote:

Michael,

I apologize for not being clear. I need a photo of the front of the house from the street.

Thanks,
John

From: Michael Stuart [<mailto:michaeldstuart@gmail.com>]
Sent: Friday, June 10, 2016 8:59 AM
To: Anagnost, John
Subject: Re: Incomplete Application for Minor Work COA at 213 N Bloodworth St

Please see the attached photos looking out from the house. Let me know if you need more or want to stop by.

Thanks for the help.

Michael Stuart

On Jun 9, 2016, at 8:50 AM, Anagnost, John <John.Anagnost@raleighnc.gov> wrote:

Michael,<image001.jpg><image002.jpg><image003.jpg><image004.jpg><image005.jpg>
<image006.jpg><image007.jpg><image008.jpg><image009.jpg><image010.jpg><image011.jpg>

The photos I have requested are to provide a visual context for the entire house, not the specific area to be modified. I hope that helps.

Best,
John

From: michaeldstuart@gmail.com [<mailto:michaeldstuart@gmail.com>]
Sent: Wednesday, June 08, 2016 7:03 PM
To: Anagnost, John; ICE Molly
Subject: Re: Incomplete Application for Minor Work COA at 213 N Bloodworth St

John -

Thanks for taking the time to review my application. I want to be clear about the images you are looking for. You want pictures of the side yard from the front porch and back corner of the house? From the plot plan you should see there isn't much back yard to take a picture of. I'm assuming that, given all the work will be in the side yard, the pics requested should focus on it but I want to be sure.

Best,

Michael Stuart

On Jun 8, 2016, at 4:02 PM, Anagnost, John <John.Anagnost@raleighnc.gov> wrote:

Michael: Thank you for submitting a Minor Work application for 213 N Bloodworth St. I've reviewed the application and I have a few comments. Additional materials may be sent in by email.

- Please provide color photos from the front and rear of the house.

Thanks,
John

*John Anagnost
Long Range Planning Division
Raleigh Department of City Planning
(919) 996-2638
1 Exchange Plaza, Floor #2*

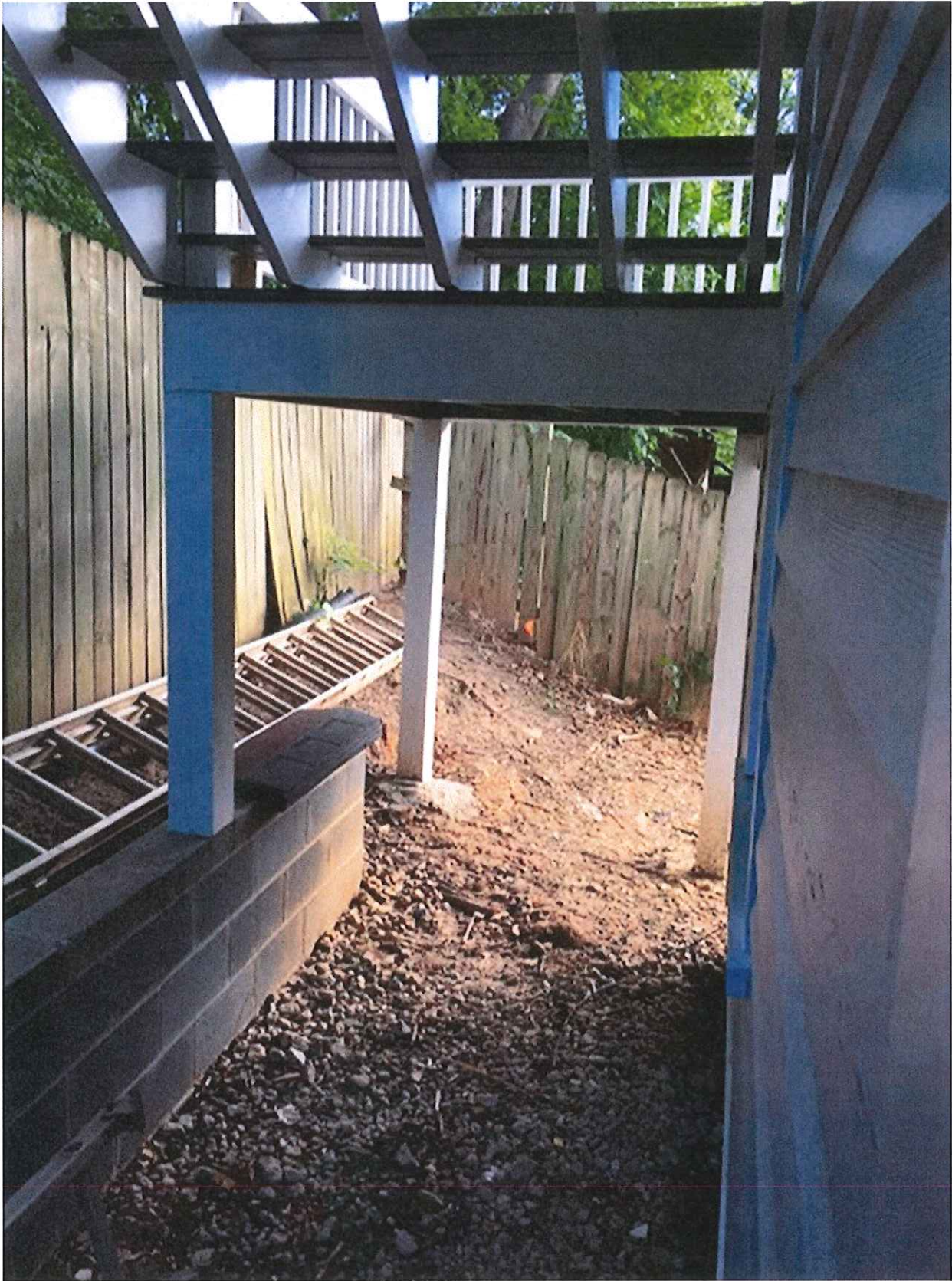
“E-mail correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized City or Law Enforcement official.”

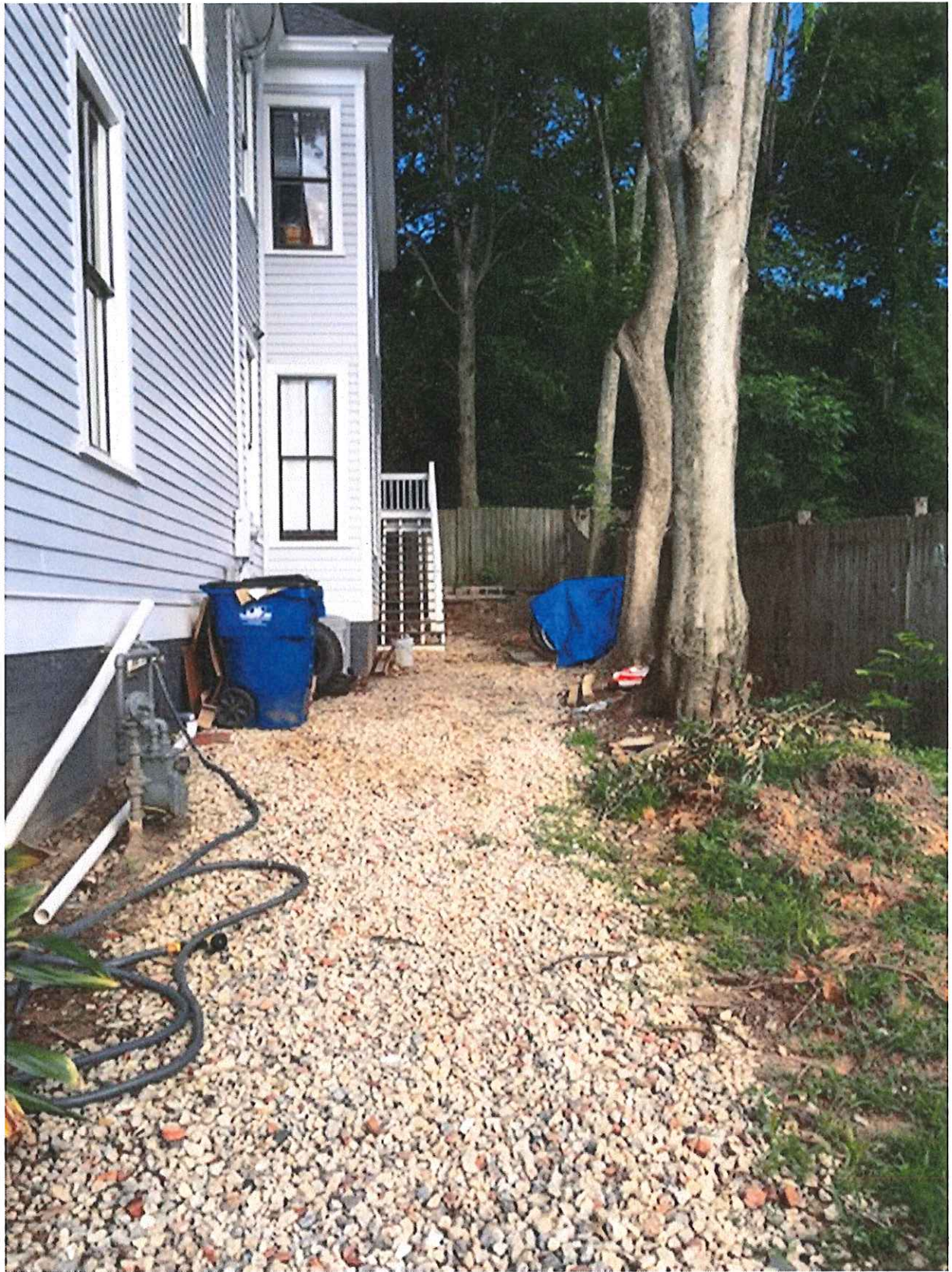
“E-mail correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized City or Law Enforcement official.”

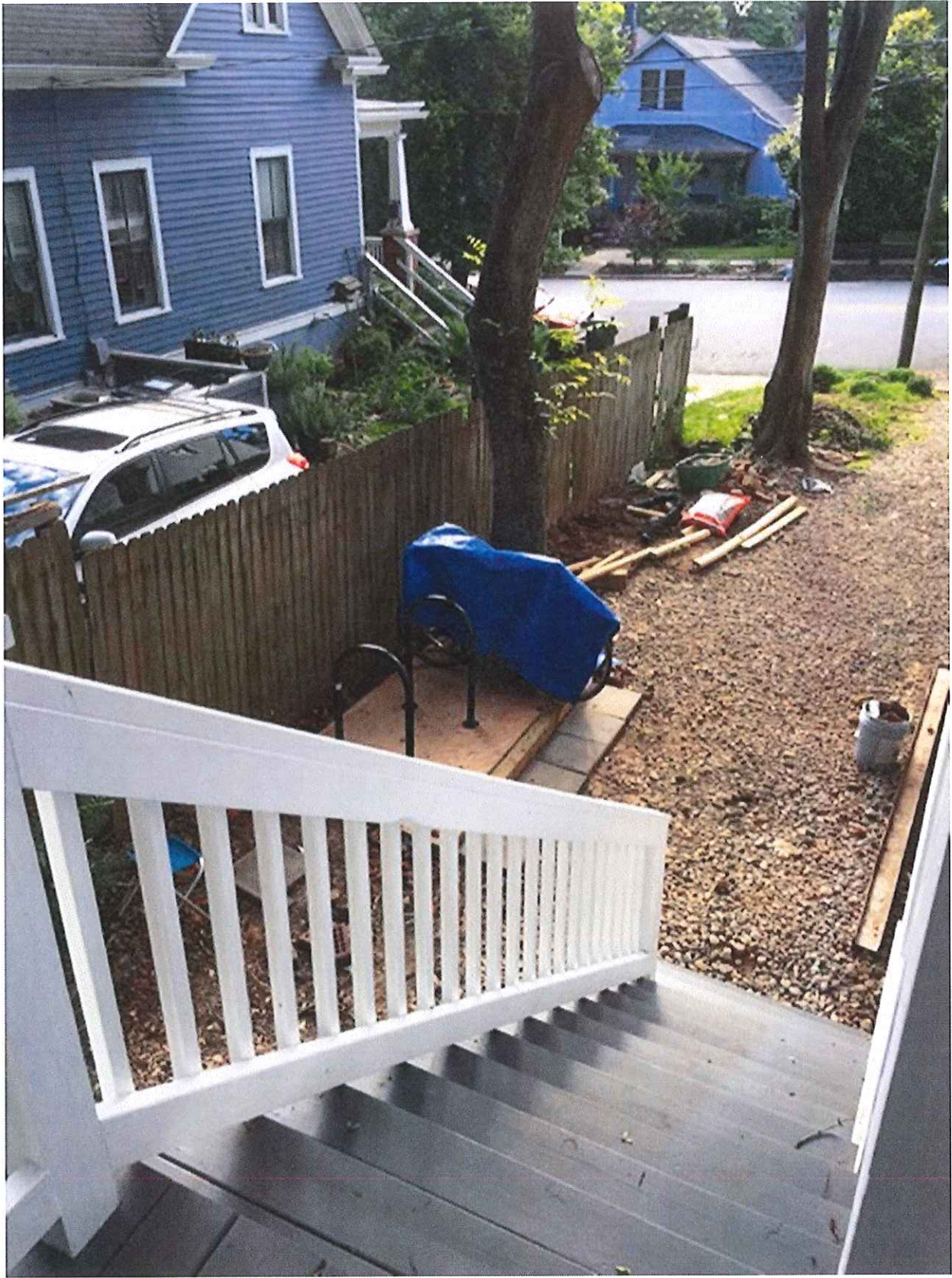
“E-mail correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized City or Law Enforcement official.”

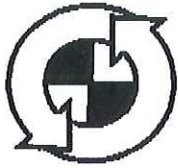












Turning Point Surveying PLLC

4113 John S. Raboteau Wynd
Raleigh, NC 27612
Phone (919)781-0234 Fax (800)948-0213

DATE 1/27/2015

INVOICE FOR SERVICES:

INVOICE #

SURVEY FOR: MOLLY STUART & MICHAEL STUART
213 N. BLOODWORTH STREET
RALEIGH, NC 27601

22221

INVOICED TO:

W. SAMUEL WEATHERS, ATTORNEY
720 A WEST HARGETT STREET
RALEIGH, NC 27603

DESCRIPTION

Survey, Plat, Flood Certification and and Surveyor's Report for

LOT PARCEL 7072

SUBDIVISION TAX MAP 1704.20, BLOCK 80

INVOICE TOTAL

\$350.00

Pay online at: <https://ipn.intuit.com/7hd678t3>

Tully, Tania

From: Tully, Tania
Sent: Thursday, June 16, 2016 4:15 PM
To: 'Michael Stuart (michaeldstuart@gmail.com)'
Cc: Anagnost, John
Subject: COAs for 213 N Bloodworth Street & 501 Oakwood Avenue

Michael –

Thanks for sending the additional photographs. I have reviewed the two COAs and have the following comments and questions.

501 Oakwood:

- All good.
- I'll be approving and will have the placard available for pick-up on Monday.

213 N Bloodworth Street:

1. Shed:
 - a. Which foundation type is proposed? Specs for both a pier foundation and a skid foundation are included.
 - b. There are two large trees in the yard in the approximate location of the shed. Based on this, the skid foundation may have less impact on the roots.
 - c. Please provide a plan that locates the shed and trees.
2. Retaining wall:
 - a. Additional detail on what the walls will look like is needed. This includes the depth of the walls and the appearance of the top cap.
 - b. Provide a plan that has dimensions of the various lengths of wall.
 - c. What is the maximum height of the wall?
3. Fence:
 - a. It appears from the application that the gate(s) will have the same design as the fence panels. Please confirm.
4. Gravel walkway:
 - a. The width seems large for a side path. It should be reduced so as to be narrower than the front steps.
5. Other:
 - a. Note that much of the work is in the public-right-of way and will need additional permits.

I am out of the office Friday. Please copy me and John on any response.

Best,
Tania

Tania Georgiou Tully, Planner II
Historic Preservation
Urban Design Center
919.996.2674
919.516.2684 (fax)
tania.tully@raleighnc.gov

COA process information is available [here](#).

Tully, Tania

From: Michael Stuart <michaeldstuart@gmail.com>
Sent: Tuesday, June 28, 2016 8:32 PM
To: Tully, Tania
Cc: Anagnost, John; Molly Stuart
Subject: Re: COAs for 213 N Bloodworth Street & 501 Oakwood Avenue

Follow Up Flag: Follow up
Flag Status: Flagged

Please see my responses inline. Thanks again for the time.

213 N Bloodworth Street:

1. Shed:

- a. Which foundation type is proposed? Specs for both a pier foundation and a skid foundation are included. Apologies for adding both plans. I intended to use the pier foundation as with the drainage such as it is, i think it will be easier to keep level over time.
- b. There are two large trees in the yard in the approximate location of the shed. Based on this, the skid foundation may have less impact on the roots. My concern is that the roots may disturb the level of the shed.
- c. Please provide a plan that locates the shed and trees. See below.

2. Retaining wall:

- a. Additional detail on what the walls will look like is needed. This includes the depth of the walls and the appearance of the top cap. So sorry I left the depth dimension out. It is 12" deep. This is the look but the color want is a grayer version



- b. Provide a plan that has dimensions of the various lengths of wall. See below.

- c. What is the maximum height of the wall? 2 Foot a the highest.

3. Fence:

a. It appears from the application that the gate(s) will have the same design as the fence panels. Please confirm. Yes. The gates will look the same as the fence.

4. Gravel walkway:

a. The width seems large for a side path. It should be reduced so as to be narrower than the front steps. No problem.

5. Other:

a. Note that much of the work is in the public-right-of way and will need additional permits. I only anticipated that the shed would need a permit. what else do you see a permit required for?



On Jun 16, 2016, at 4:14 PM, Tully, Tania <Tania.Tully@raleighnc.gov> wrote:

Michael -

Thanks for sending the additional photographs. I have reviewed the two COAs and have the following comments and questions.

501 Oakwood:

- * All good.
- * I'll be approving and will have the placard available for pick-up on Monday.

213 N Bloodworth Street:

1. Shed:

- a. Which foundation type is proposed? Specs for both a pier foundation and a skid foundation are included.
 - b. There are two large trees in the yard in the approximate location of the shed. Based on this, the skid foundation may have less impact on the roots.
 - c. Please provide a plan that locates the shed and trees.
2. Retaining wall:
 - a. Additional detail on what the walls will look like is needed. This includes the depth of the walls and the appearance of the top cap.
 - b. Provide a plan that has dimensions of the various lengths of wall.
 - c. What is the maximum height of the wall?
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 - a. It appears from the application that the gate(s) will have the same design as the fence panels. Please confirm.
 4. Gravel walkway:
 - a. The width seems large for a side path. It should be reduced so as to be narrower than the front steps.
 5. Other:
 - a. Note that much of the work is in the public-right-of way and will need additional permits.

I am out of the office Friday. Please copy me and John on any response.

Best,
Tania

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COA process information is available
here<<http://www.raleighnc.gov/business/content/PlanDev/Articles/DevServ/HistoricDevAndLandmarks.html>>.

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