

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

604 N BLOUNT STREET

Address

BLOUNT STREET

Historic District

Historic Property

110-16-MW

Certificate Number

6/29/2016

Date of Issue

12/29/2016

Expiration Date

Project Description:

- Alter roof covering;
- change exterior paint colors;
- remove dead tree;
- plant new tree; prune tree;
- grade around foundation;
- add patches to concrete walk;
- alter curb cut and driveway apron;
- other routine maintenance items not needing a COA.

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, 
 Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



**DEVELOPMENT
SERVICES
DEPARTMENT**

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831



<input checked="" type="checkbox"/> Minor Work (staff review) – 1 copy <input type="checkbox"/> Major Work (COA Committee review) – 13 copies <ul style="list-style-type: none"> <input type="checkbox"/> Additions Greater than 25% of Building Square Footage <input type="checkbox"/> New Buildings <input type="checkbox"/> Demo of Contributing Historic Resource <input type="checkbox"/> All Other <input type="checkbox"/> Post Approval Re-review of Conditions of Approval	<p style="text-align: center;">For Office Use Only</p> Transaction # <u>477371</u> File # <u>110-16-MW</u> Fee <u>\$ 29</u> Amount Paid <u>\$ 29</u> Received Date <u>6/23/16</u> Received By <u>[Signature] Complete 6/29/16</u>
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Property Street Address 604 North Blount Street Raleigh, NC 27604

Historic District Blount Street Historic District

Historic Property/Landmark name (if applicable) _____

Owner's Name Ben Goldstein (604 North Blount LLC)

Lot size .18 (width in feet) 79 (depth in feet) 100

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address
605 N Blount St	211 E Peace St
549 N Blount St	228 E Peace St
545 N Blount St	236 E Peace St
530 N Blount St	
540 N Blount St	
606 N Blount St	
612 N Blount St	
209 E Peace St	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Ben Goldstein

Mailing Address 6820 Greystone Drive

City Raleigh

State NC

Zip Code 27615

Date 06/20/16

Daytime Phone 919-523-5897

Email Address bgoldstein4@gmail.com

Applicant Signature 

Office Use Only

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes No

Type of Work

82, 76, 80, 60,
51, 34

Design Guidelines - Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work (attach additional sheets as needed)
3.4/32-33	Paint and Paint Color	Re-paint existing house-see color schedule
3.1/26-27 & 3.6/36-37	Wood & Exterior Walls	Replace severely damaged boards/wood siding
3.5/34-35	Roofs	Remove all old shingles and replace with new shingles
3.2/ 28-29	Masonry	Repair foundation walls where cracked and significant deterioration to bricks have occurred.
2.3/12-13	Site Features and Plantings	Plant in existing beds: Nandina, Azzaelas, Jaquba, & Lariope
3.6/36-37	Exterior Walls	Increase dirt slope around foundation to drain water away from home
2.4/14-15	Fences and Walls	remove rust, prime, and paint metal perimeter fence Repair/Replace rotten wood on floor and railings
3.8/26-27	Entrances, Porches, & Balconies	repair concrete walkway trip hazard and widen driveway curb to match width of existing driveway
2.5/ 17-18	Walkways, Driveways, and offstreet parking	
3.10/46-47	Utilities and Energy Retrofit	replace 5 existing A/C units with new ones, relocate one A/C unit that is visible from street — REMOVED
4.1/52-53	Decks	Clean and seal current decks
3.5/34-35	Roofs	install gutter guards — REMOVED
2.3 /12-13	Site Features and Plantings	One tree has a large branch that is growing into the roof. A second tree is a 25 foot stump that lost its top canopy a storm years ago.

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 12/29/16. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor Works are subject to an appeals period of 30 days from the date of approval.

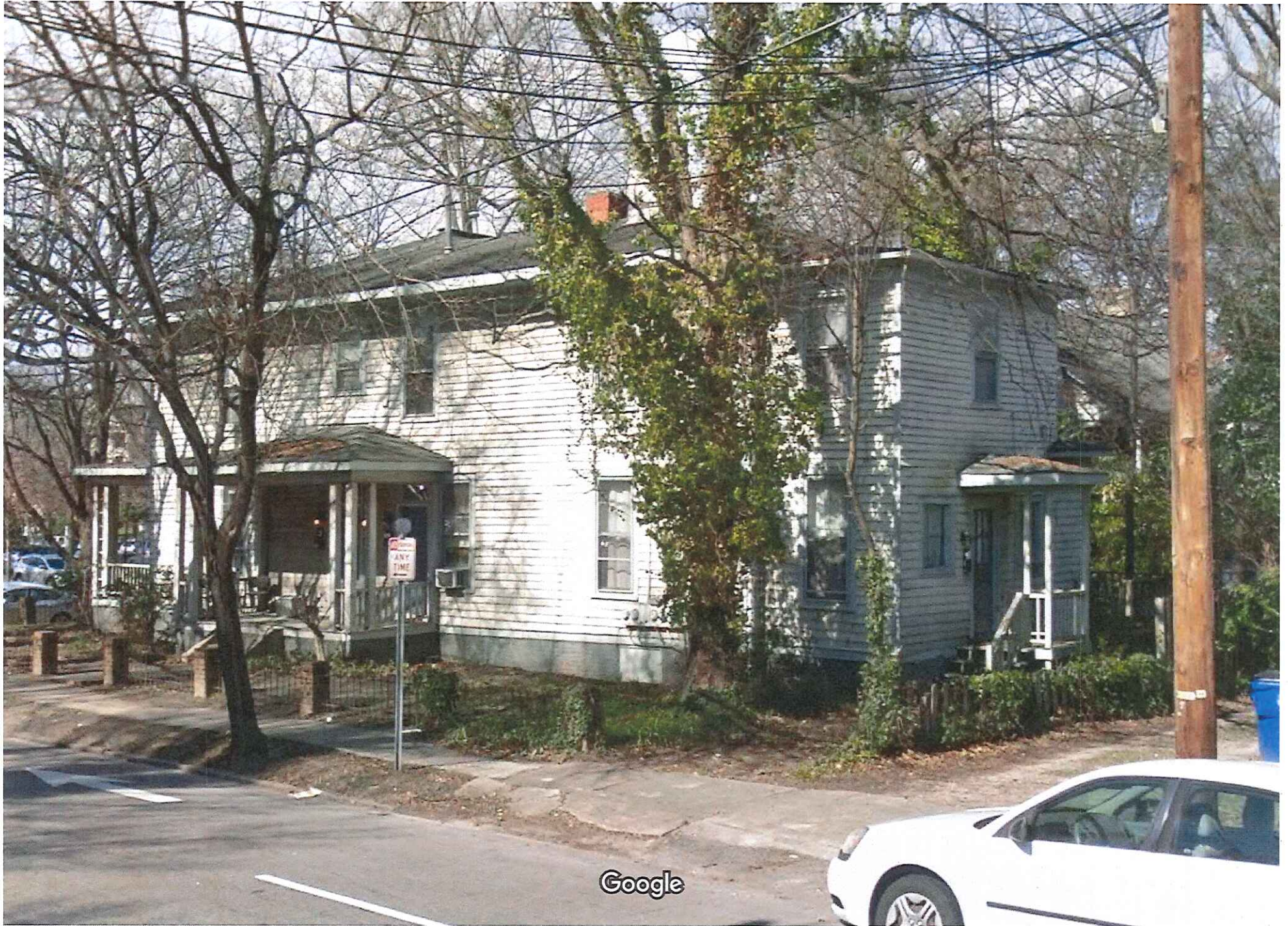
Signature (City of Raleigh) *[Handwritten Signature]* Date 6/29/16

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete. Minor Work (staff review) – 1 copy Major Work (COA Committee review) – 13 copies	<input checked="" type="checkbox"/>				
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		
4. <u>Paint Schedule</u> (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
5. <u>Plot plan</u> (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
6. Drawings showing proposed work <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s) <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale <input type="checkbox"/> 8-1/2" x 11" or 11" x 17" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" or 11" x 17" snap shots of individual drawings on the big sheet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys (required for Major Work). Use the <u>Label Creator</u> to determine the addresses.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			<input checked="" type="checkbox"/>
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>		<input checked="" type="checkbox"/>		



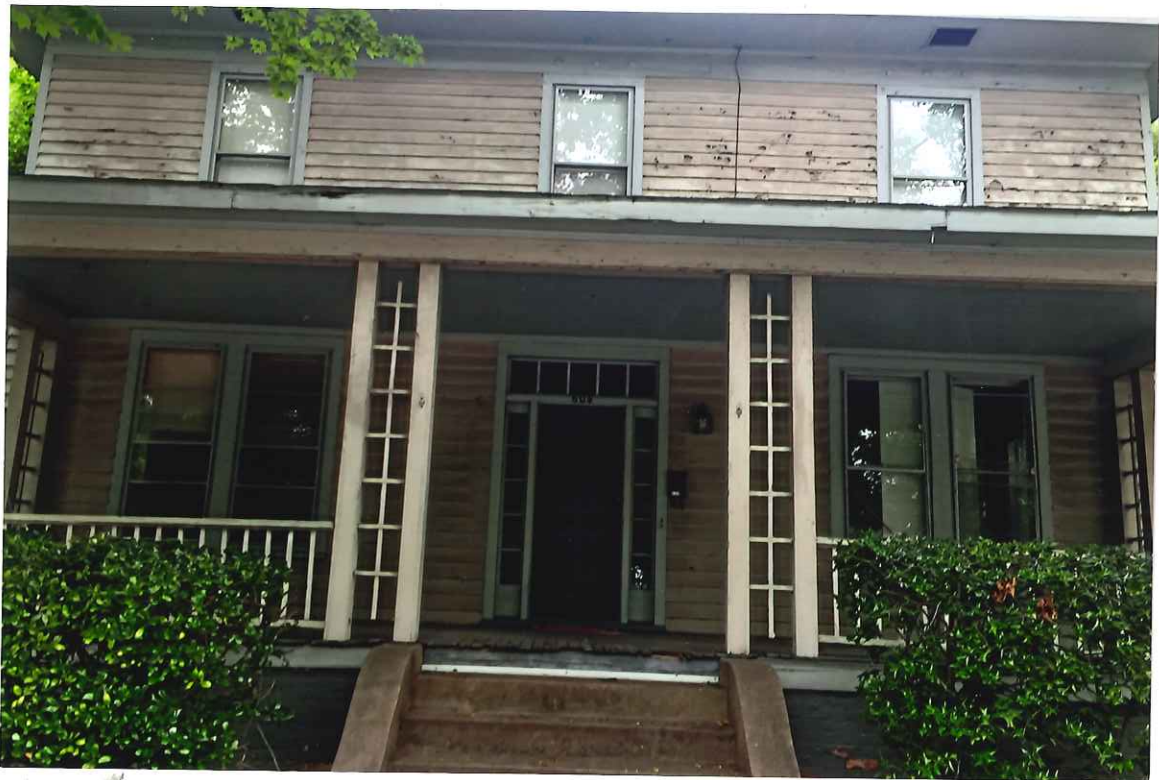
Google





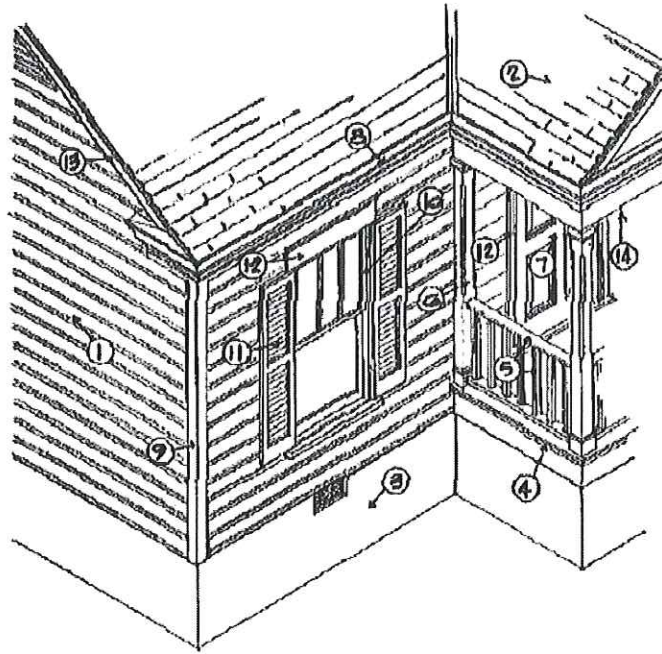








Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



Applicant **BEN GOLDSTEIN**

Address **604 North Blount Street Raleigh NC 27604**

Paint Manufacturer (Please submit color chips with this schedule) **Sherwin-Williams**

Color Schedule

1	Body of House	SW 2932	Colonial Revival Gray
2	Roofing		
3	Foundation	SW 9161	Dustblu
4	Porch Floor	SW 2819	Downing Slate
5	Railing	SW 7636	Origami white
6	Columns	SW 7636	Origami white
7	Entrance Door	SW 6258	Tricom Black
8	Cornice	SW 7636	Origami white
9	Corner Boards	SW 7636	Origami white
10	Window Sash	SW 7636	Origami white
11	Shutter		
12	Door & Window Trim	SW 7636	Origami white
13	Rake	SW 7636	Origami white
14	Porch Ceiling	SW 7636	Origami white
15	Other		

SW 9161 234-C4
Dustblu

Foundation

SW 6258 251-C1
Tricorn Black

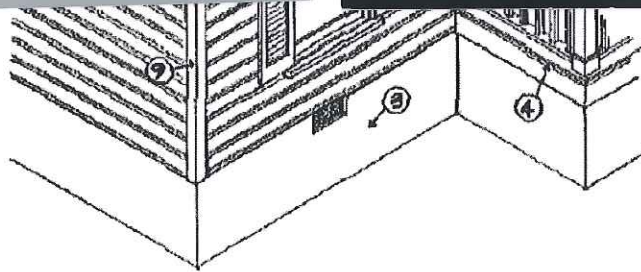
DOOR

SW 2819
Downing Slate

Porch Floor

Raleigh His

aint



SW 7636 259-C3
Origami White

TRIM

Applicant **BEN GOLDSTEIN**

Address **604 North Blount Street Raleigh NC**

Paint Manufacturer (Please submit color chips with this schedule) **Sherwin-Williams**

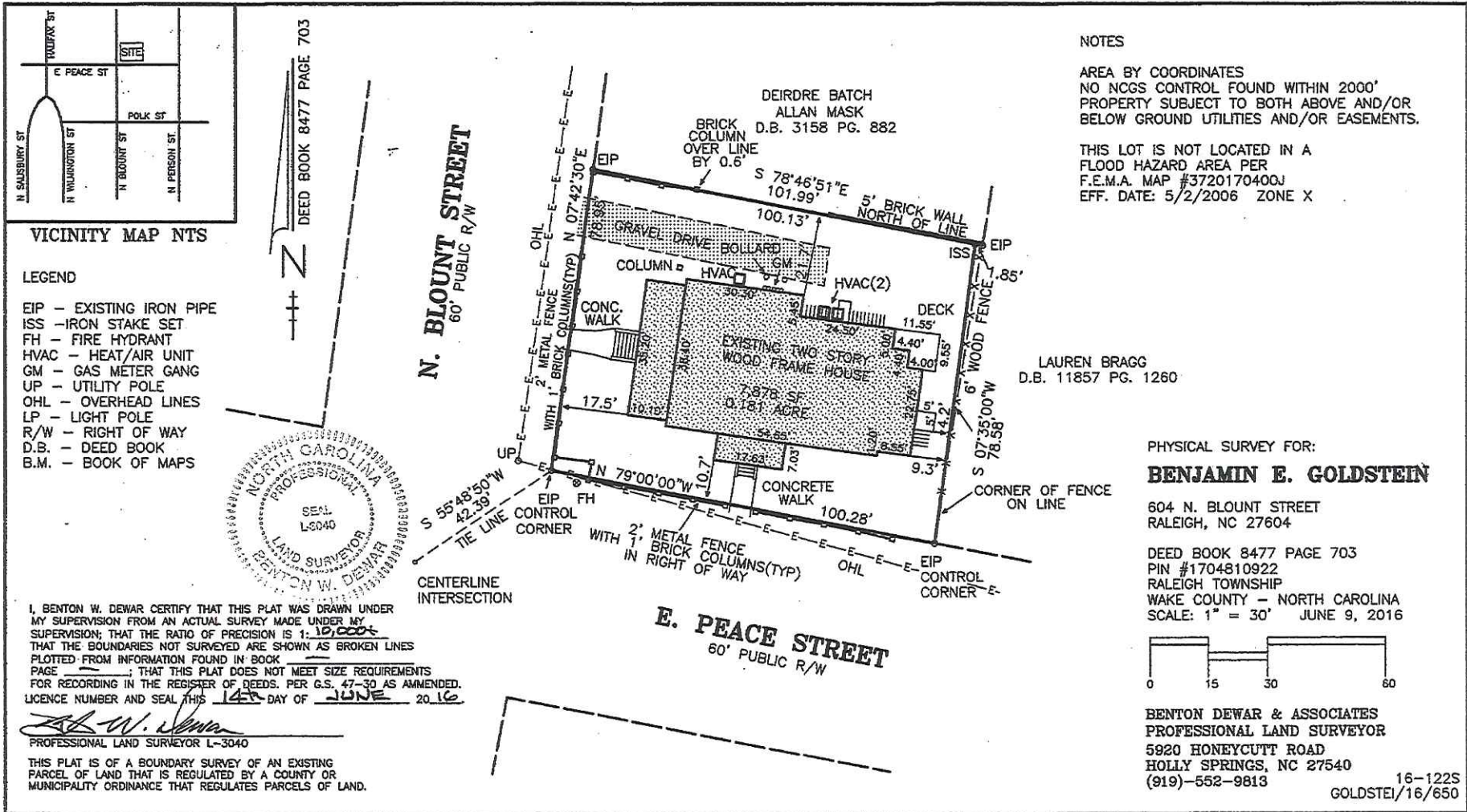
Color Schedule

1	Body of House	SW 2832	Colonial Revival Gray
2	Roofing		
3	Foundation	SW 9161	Dustblu
4	Porch Floor	SW 2819	Downing Slate
5	Railing	SW 7636	Origami White
6	Columns	SW 7636	Origami White
7	Entrance Door	SW 6258	Tricorn Black
8	Cornice	SW 7636	Origami White
9	Corner Boards	SW 7636	Origami White
10	Window Sash	SW 7636	Origami White
11	Shutter		
12	Door & Window Trim	SW 7636	Origami White
13	Rake	SW 7636	Origami White
14	Porch Ceiling	SW 7636	Origami White
15	Other		

SW 2832
Colonial Revival Gray

BODY

Full Survey



NOTES

AREA BY COORDINATES
 NO NCGS CONTROL FOUND WITHIN 2000'
 PROPERTY SUBJECT TO BOTH ABOVE AND/OR
 BELOW GROUND UTILITIES AND/OR EASEMENTS.

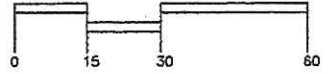
THIS LOT IS NOT LOCATED IN A
 FLOOD HAZARD AREA PER
 F.E.M.A. MAP #3720170400J
 EFF. DATE: 5/2/2006 ZONE X

LAUREN BRAGG
 D.B. 11857 PG. 1260

PHYSICAL SURVEY FOR:
BENJAMIN E. GOLDSTEIN

604 N. BLOUNT STREET
 RALEIGH, NC 27604

DEED BOOK 8477 PAGE 703
 PIN #1704810922
 RALEIGH TOWNSHIP
 WAKE COUNTY - NORTH CAROLINA
 SCALE: 1" = 30' JUNE 9, 2016



BENTON DEWAR & ASSOCIATES
 PROFESSIONAL LAND SURVEYOR
 5920 HONEYCUTT ROAD
 HOLLY SPRINGS, NC 27540
 (919)-552-9813

16-1225
 GOLDSTEIN/16/650

VICINITY MAP NTS

- LEGEND**
- EIP - EXISTING IRON PIPE
 - ISS - IRON STAKE SET
 - FH - FIRE HYDRANT
 - HVAC - HEAT/AIR UNIT
 - GM - GAS METER GANG
 - UP - UTILITY POLE
 - OHL - OVERHEAD LINES
 - LP - LIGHT POLE
 - R/W - RIGHT OF WAY
 - D.B. - DEED BOOK
 - B.M. - BOOK OF MAPS



I, BENTON W. DEWAR CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THE RATIO OF PRECISION IS 1:10,000; THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLOTTED FROM INFORMATION FOUND IN BOOK PAGE _____; THAT THIS PLAT DOES NOT MEET SIZE REQUIREMENTS FOR RECORDING IN THE REGISTER OF DEEDS, PER G.S. 47-30 AS AMENDED. LICENCE NUMBER AND SEAL THIS 14th DAY OF JUNE 2016

Benton W. Dewar
 BENTON W. DEWAR
 PROFESSIONAL LAND SURVEYOR L-3040

THIS PLAT IS OF A BOUNDARY SURVEY OF AN EXISTING PARCEL OF LAND THAT IS REGULATED BY A COUNTY OR MUNICIPALITY ORDINANCE THAT REGULATES PARCELS OF LAND.

604 North Blount Street page 1

1. Re-paint entire house. Please see attached color schedule. ✓

Existing siding and trim: remove unstable layer of paint by hand scraping and sanding the surface. Fill in joints / holes where needed, prime exposed surfaces, paint.

Foundation-It is currently painted and will be repainted after foundation work-see color scheme. Material seems to be either cinderblock, stucco, and/or brick. Hand-scrape paint, prime and repaint. Also, see bullet point #4 below, under Masonry.

2. Some siding boards and trim have excessive rot and damage due to prior lack of maintenance from previous owner. Only where absolutely necessary will boards and trim be replaced. Replacement boards will be in kind (same type, material, and dimension as original). Where possible some boards and trim will be spliced to save as much of the still usable portion of the original board and trim.

NO
COA
needed

3. Roof- All shingles will be removed (current old shingles are 3 tab Greyish/black asphalt) and new shingles will be added. The the replacement shingles will be: asphalt, black, and architectural in type, please see sample. There are no changes to the roof, roof line, chimneys, pitch, vents, etc.

4. Masonry- The foundation wall has significant damage in several spots. In some places the brick and mortar have deteriorated leaving open holes and gaps. Replacement of broken and missing bricks and mortar will be done by hand using hand tools, and with matching material. Joint repair will be repaired and matched in width and profile. The strength of the mortar will match the existing strength of the original mortar. Where stucco is cracked, it will be patched with matching material. After foundation work is complete, the foundation will be repainted-see color schedule. The foundation is currently painted. Several inches of soil will be added around foundation to create a slope away from the house. This will be done to create adequate drainage to prevent water from standing on flat, horizontal surfaces, collecting on decorative elements or along foundations and piers, and rising through capillary action.

grading

5. Plant in existing beds: Nandina, Azzaelas, Jaquba, & Lariope. There are currently gaps in the landscaping where previous plants in current plant bed around the foundation have died. There is also Ivey that in the past has damaged the home and surrounding trees. I would like to try to remove the Ivey that is on the ground and put in a more suitable ground cover. The ground cover would not involve tilling or harming any trees. The Ivey currently covers about 5% of the yard.

No
COA
needed

3.

Tamko, Heritage Premium; Rustic Black

604 North Blount Street page 2

6. Fences and Walls- There is currently a metal fence that borders the front and side of the house. It is showing signs of rust and the black paint is chipping off. Rust will be removed by hand scraping, then the fence will be primed, and painted black (its current color). NO
COA
needed

7. Porches- Repair and replace rotten wood and railings. Re-caulk wooden joints where needed. Patching, consolidating, splicing and reinforcing will be used everywhere possible. Where wood replacement is necessary, only the deteriorated element will be replaced with in kind material. The original design, dimension and material of wood will be used when replacing boards or trim. There will not be any additions or subtractions to the porches. NO
COA
needed

8. Walkway to the front door: The concrete walkway is uneven and presents a trip hazard. A previous concrete patch repair has deteriorated. A small amount of concrete will fill in the gap to create an even, smooth transition from one concrete block to another. ✓

Drive-way The current driveway does not align well with curb. I would like to realign the curb to match where the driveway is. This would require making a larger width (approximately 4 feet) at street curbing to match current driveway. I am not changing the driveway at all. The curb is made out of concrete. I would also need to gain further city approval as well, if approved initially at this level.

9. There are currently five old air-condition units. All five need to be replaced with new equipment. The new equipment may be different in brand, but they will occupy the same footprint as existing equipment and four of the five in the same place as they are currently. They will continue to be concealed from sight and will be the same neutral color. Four are at the back of the house and cannot be seen from any road. However, there is one very large and old A/C unit, which is currently located off the main driveway and visible from Peace Street. I would like to relocate this to the back of the house, if possible, where it will not be visible from any road. REMOVED

10. There are several wooden decks and wooden stairways leading up to the decks that have been added to the home in recent years. They need to be power washed and sealed with a clear protective stain. NO COA
needed

11. Gutter Guards- Install flush gutter guards to existing gutters. The gutters will not change the appearance of the roof line or gutter. Their color will match the gutters. They will not be visible from the sidewalk or road since this is a two story home. Their use will help deter previous conditions that let to rot on the wooden siding of the home. REMOVED

604 North Blount Street page 3

12. One tree needs to be removed because it is severely damaged. The tree was broken off in what looks to be a storm years ago. It is basically a 25 foot high dead stump with no canopy. The tree could attract carpenter ants and termites to the property. Please see pictures. The tree type is a sycamore and would be replaced with a sycamore.

A second separate tree has a limb of approximately 9 inches in diameter that has grown into the roof of the house and is scraping against the shingles and roof line causing damage to the home. It has been trimmed several times where the branch hits the roof. Over time the tree branch continues to sprout new growths off of the cut limb and do further damage to the roof. The limb needs to be cut back further towards the tree to prevent continued damage. This branch pruning would meet ANSI A300 standards to protect the health of the rest of the tree.

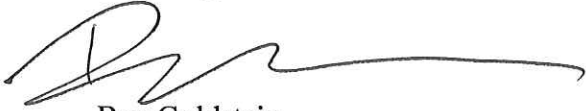
06/22/16

RE: 604 Blount St Raleigh NC 27604

Dear Sir or Madam:

Thank you for taking the time to review this application. I have tried to be holistic in my presentation to give you the entire proposed project at one time. I understand that there may be components of this project that may take more time for your review or extra revision on my part. My desire is to get as much approved as I can, as quickly as I can, in order to restore the property to where it should be. If there are certain items that cannot be approved then my desire is NOT to have those items hold up the rest of the project. Please feel free to contact me with questions at: 919-523-5897 (cell) or bgoldstein4@gmail.com.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ben Goldstein', with a long horizontal flourish extending to the right.

Ben Goldstein

6820 Greystone Dr.

Raleigh, NC 27615

06/22/2016

To whom it may concern:

At 604 North Blount Street Raleigh, NC 27604 there is a dead sycamore tree that has lost its entire canopy in a storm. The entire top 2/3rd of the tree is broken off. I would like to remove this tree and replace it with a new sycamore tree. In its current state it is an attractant for carpenter ants and termites.

Sincerely,

A handwritten signature in black ink, appearing to read 'Ben Goldstein', with a long horizontal flourish extending to the right.

Ben Goldstein

Mailing address: 6820 Greystone Dr. Raleigh NC 27615

APPLICATION AMEND-
MENT

Tully, Tania

From: Ben G <bgoldstein4@gmail.com>
Sent: Wednesday, June 29, 2016 7:32 AM
To: Tully, Tania
Subject: Re: COA for 604 N Blount Street

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Tania,

Thank you for the quick review and suggestions. I will follow your suggested method of preserving the granite curbs that you attached to your email. I am also confirming that the surface texture of the new concrete apron will match the existing.

Let's move forward with the items you are able to approve now, I will resubmit a new coa application to cover the gutters guards and A/c units once I have more details for you.

Thank you,
Ben Goldstein
919-523-5897

Sent from my iPhone

On Jun 28, 2016, at 4:43 PM, Tully, Tania <Tania.Tully@raleighnc.gov> wrote:

Confirmation that you will use the attached method of handling the granite curb OR a drawing of an alternative that retains the granite.

- Confirmation that the surface texture of the new concrete apron will match the existing.

Tully, Tania

From: Tully, Tania
Sent: Tuesday, June 28, 2016 4:44 PM
To: 'bgoldstein4@gmail.com'
Subject: COA for 604 N Blount Street
Attachments: CurbCut.pdf

Hi Ben –

I've reviewed your thorough and well organized application. The information is sufficient for me to approve the majority of the application. Additional information and/or details are needed for the following items:

- Widen curb cut and driveway apron: The area into which you propose to expand the curb cut appears to have granite curbing. The guidelines do not allow for the removal of granite curbs. Attached is one of the approved details that is typically used in this situation. To approve the request I need the following:
 - Confirmation that you will use the attached method of handling the granite curb OR a drawing of an alternative that retains the granite.
 - Confirmation that the surface texture of the new concrete apron will match the existing.
- Gutter Guards:
 - Please provide an image of what the product looks like installed.
- HVAC units: In my experience new HVAC units are shaped differently than the old units on your property. In order to approve the new units please provide the following:
 - The specs for the units (height, width, and depth primarily) and if additional concrete pads or expansion of pads will be needed.

If you would like additional time to gather the necessarily information, at your request, I can remove any of the above items from the application in order to proceed with approval of the remainder of the work items. The items removed can then be resubmitted in a new Minor Work COA application at a later date when all details are available,

Please let me know how you wish to proceed.

Best,
Tania

Tania Georgiou Tully, Planner II
Historic Preservation
Urban Design Center
919.996.2674
919.516.2684 (fax)
tania.tully@raleighnc.gov

COA process information is available [here](#).

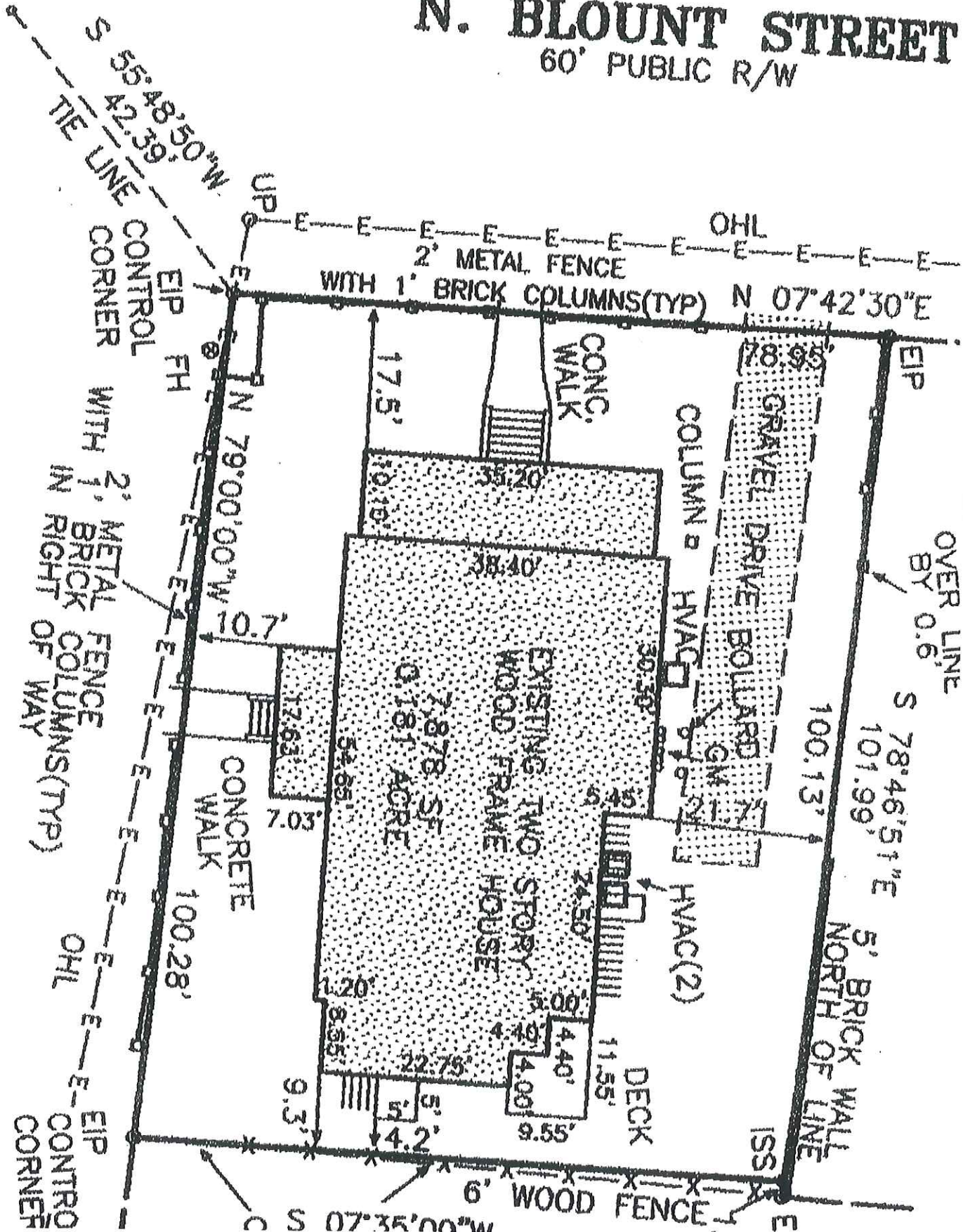
DRAWN UNDER
 JNDER NY
 W. DENAR
 DRAYEROR
 NO
 ROLLING
 HOWARD

Roofing
 Reroof entire house

N. BLOUNT STREET
 60' PUBLIC R/W

CENTERLINE
 INTERSECTION

E. PEACE STREET
 60' PUBLIC R/W







TAMKO
ROOFING PRODUCTS
tamko.com

HERITAGE Premium Shingles
HERITAGE Shingles

HERITAGE

Beauty that Performs.

HERITAGE Premium | HERITAGE

RUSTIC EVERGREEN Classic Weathered Green	VIRGINIA SLATE Classic Weathered Green	OLD-ENGLISH PRINTER Classic Weathered Green	AGED WOOD Classic Weathered Green	SLATSTONE GREY Classic Weathered Green	RUSTIC CEDAR Classic Weathered Green	OUTBACK Classic Weathered Green
RUSTIC REDWOOD Classic Weathered Green	WEATHERED WOOD Classic Weathered Green	RUSTIC BLACK Classic Weathered Green	AUTUMN BROWN Classic Weathered Green	BLACK WALNUT Classic Weathered Green	THE UNDERSTUDY GREY Classic Weathered Green	NATURAL TOWER Classic Weathered Green

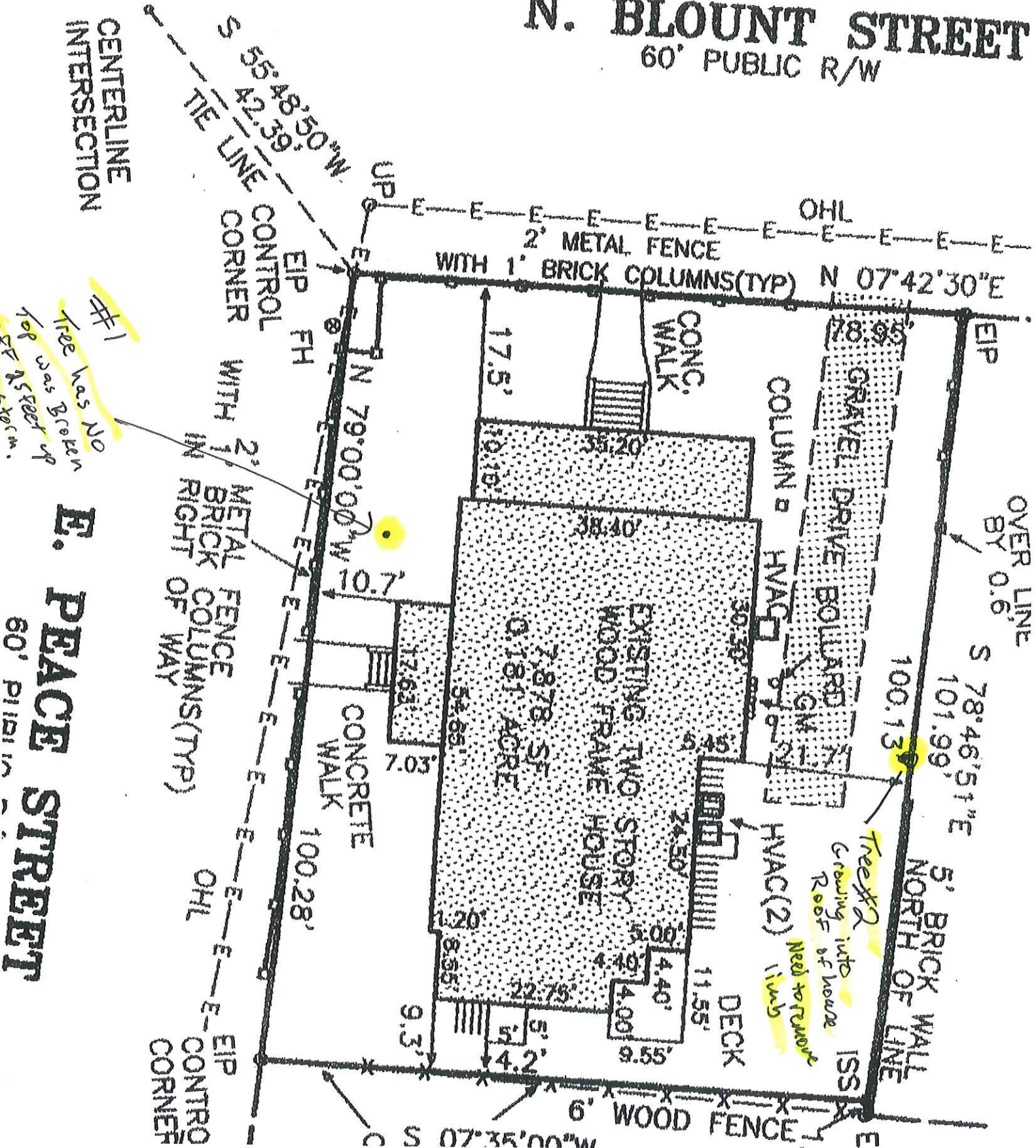
Handwritten note on pink sticky paper:
Rustic Black
with 10-year warranty

Preferred Color:
Rustic Black

SURVEYOR
 DENAR
 DRAWN UNDER
 UNDER NY

Trees
 2 issues

N. BLOUNT STREET
 60' PUBLIC R/W



#1
 Tree was NO
 for was broken
 for 15 feet up
 of 150cm.

E. PEACE STREET
 60' PUBLIC R/W



A+ Tree and Crane Services, Inc.

P.O. Box 10486
 Raleigh, NC 27605
 Office: 919-854-0020
 Fax: 919-882-8329
 info@aplustrees.com
 www.aplustrees.com

Estimate

DATE	ESTIMATE #
6/22/2016	2015-3892

TERMS	Due on receipt
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NAME / ADDRESS
Goldstein, Ben 604 N Blount St Raleigh, NC

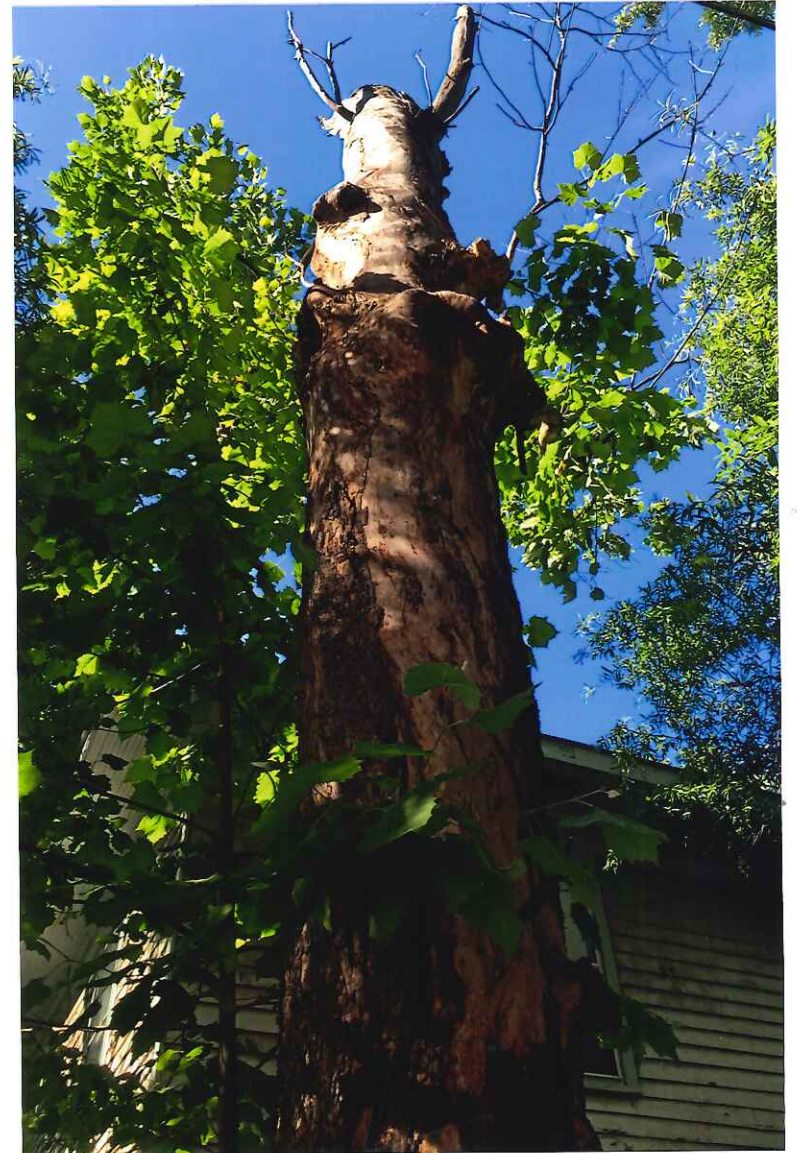
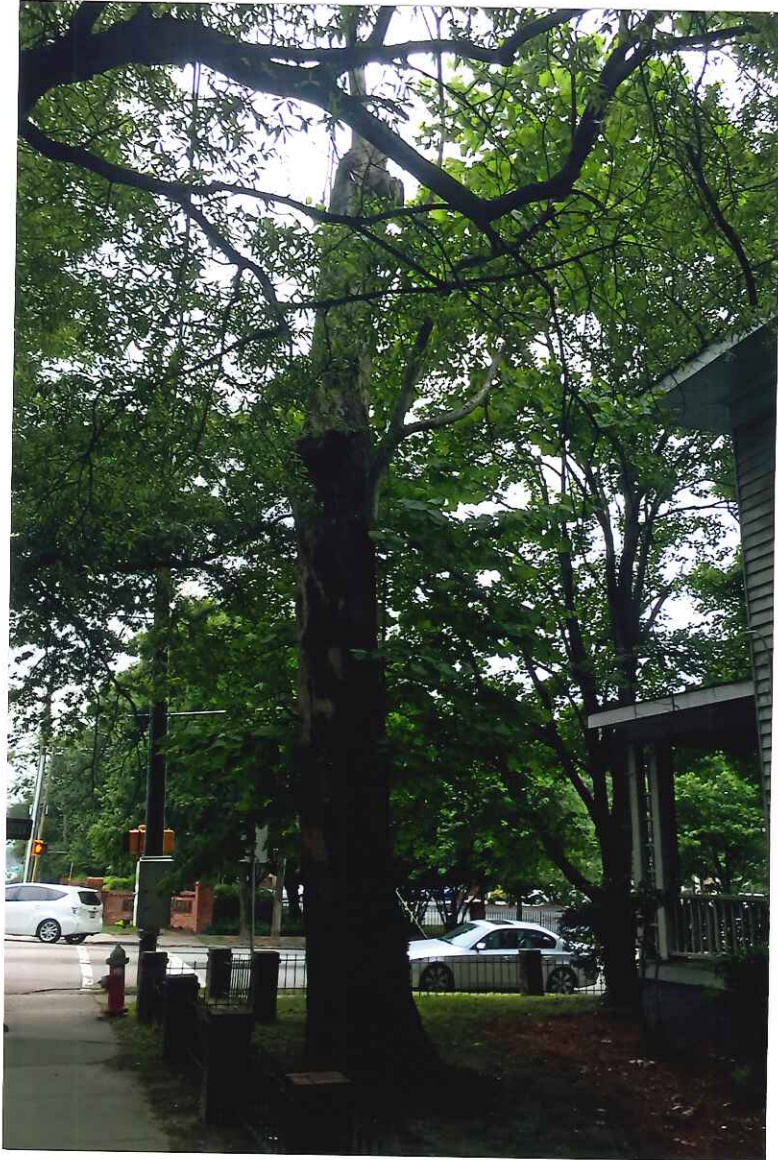
Ship To
Goldstein, Ben 6820 Greystone Dr. Raleigh, NC 27615

X

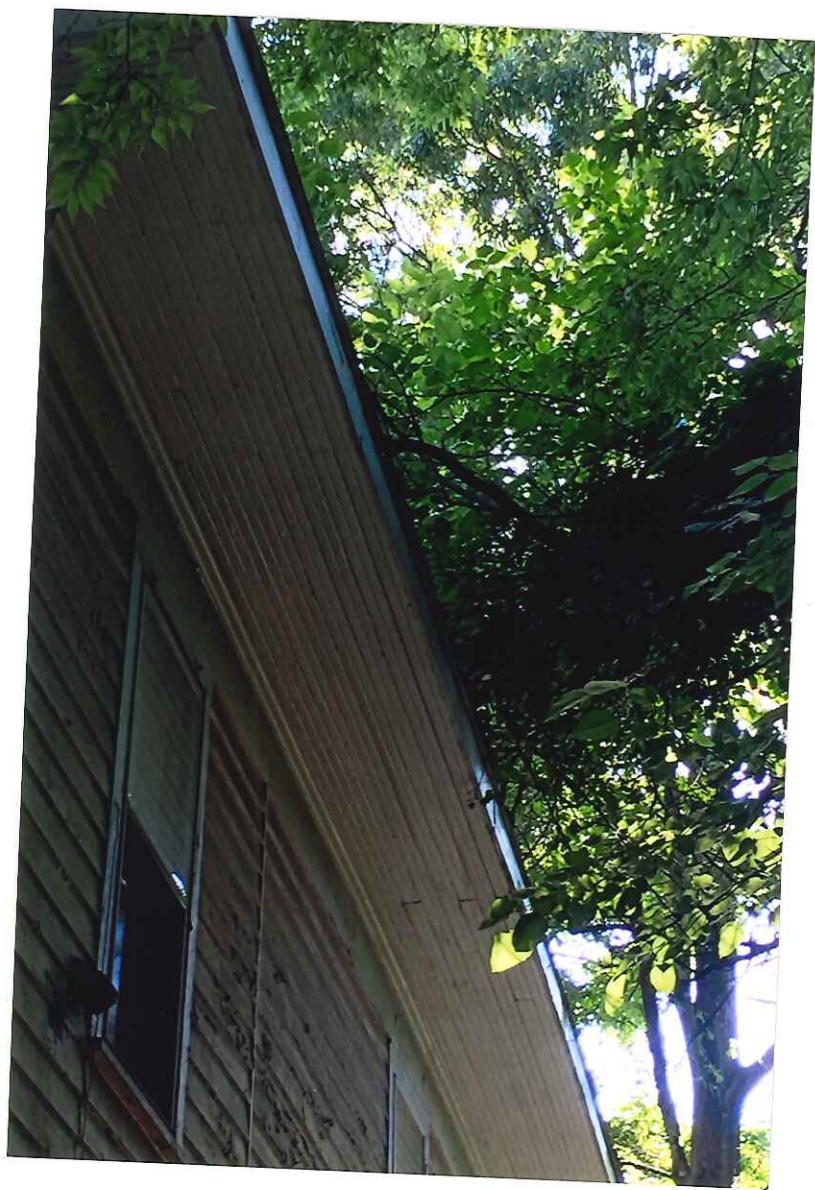
DESCRIPTION	QTY	COST	TOTAL
All branch cutting would adhere to ANSI A300 standards for pruning and tree management.		1,400.00	1,400.00
Historic district- tree canopies need to be trimmed back from roof on all trees around the house that are close to the roof and hanging over the roof Use spider track lift to get in the tight areas And the remove big branch over roof that is close to roof to have removed. 1900			
+ While crew is on site, Cut down large old have broken 12 foot Sycamore tree stump on the left side of the house and grind the stump.500			
Coupon for items over \$1700.		-200.00	-200.00
<p>Note: If you like (free of charge) we can have our insurance companies provide you (via e-mail or snail mail) a certificate of insurance of NOT just \$1,000,000 in General Liability Insurance to cover your house and property; but also, MOST IMPORTANT, our Insurance Company can provide you (free of charge) with an additional \$1,000,000 Worker's Compensation Insurance on the certificate such that if our employees get hurt on your property, their lawyers don't TAKE your house and bank accounts for payment. Please ask our competitor's to have their insurance companies do the SAME to protect YOU. Also make sure our competitors do not hand you a certificate. It HAS TO COME FROM THE INSURANCE COMPANY. IT IS ILLEGAL FOR THEM TO HAND YOU ONE.</p>			
		TOTAL	\$1,200.00

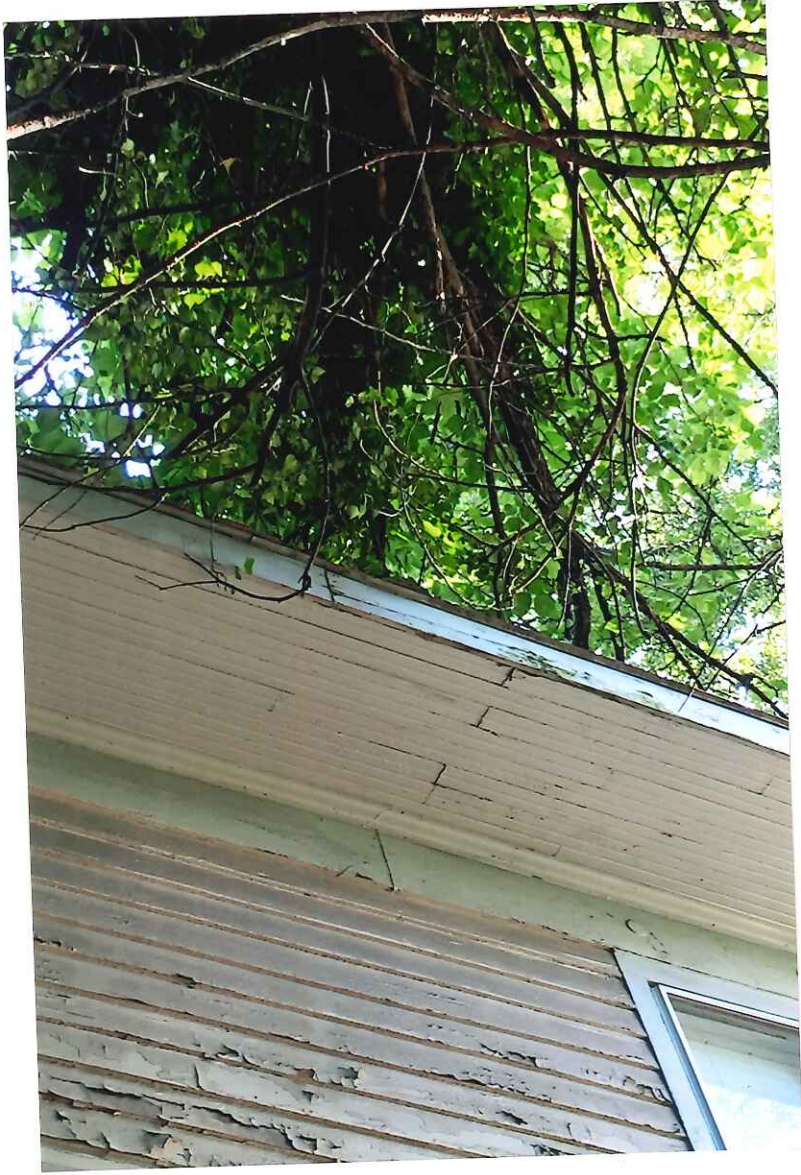
Upon acceptance by means of signature, estimate is considered contract. All payments due upon completion of work unless agreed upon at time of negotiating contract. Fifty percent deposit is required for any job over \$3000. Note we do carry two million dollar General Liability and Workers Compensation. ****IN THE EVENT OF BAD WEATHER OR STORM ESTIMATE IS NULL & VOID****A+ Tree & Crane are not responsible for driveway cracks or yard damages due to the use of heavy equipment for the project. Estimate is only good for 30 days. Price is subject to change after 30 days.

Signature and Date: _____







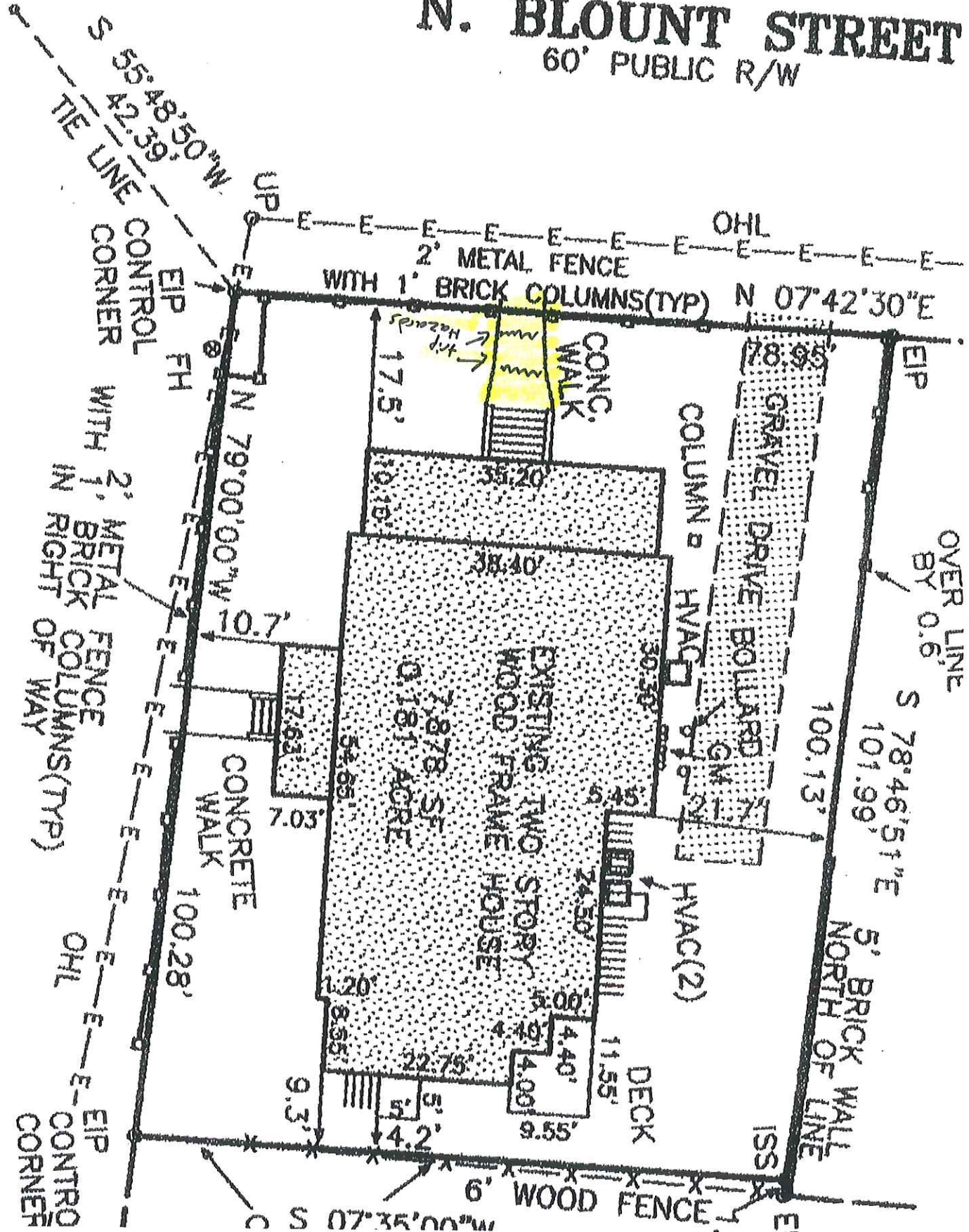


SUPERVISOR
 W. DENAR
 DRAWN UNDER
 JNDER NY

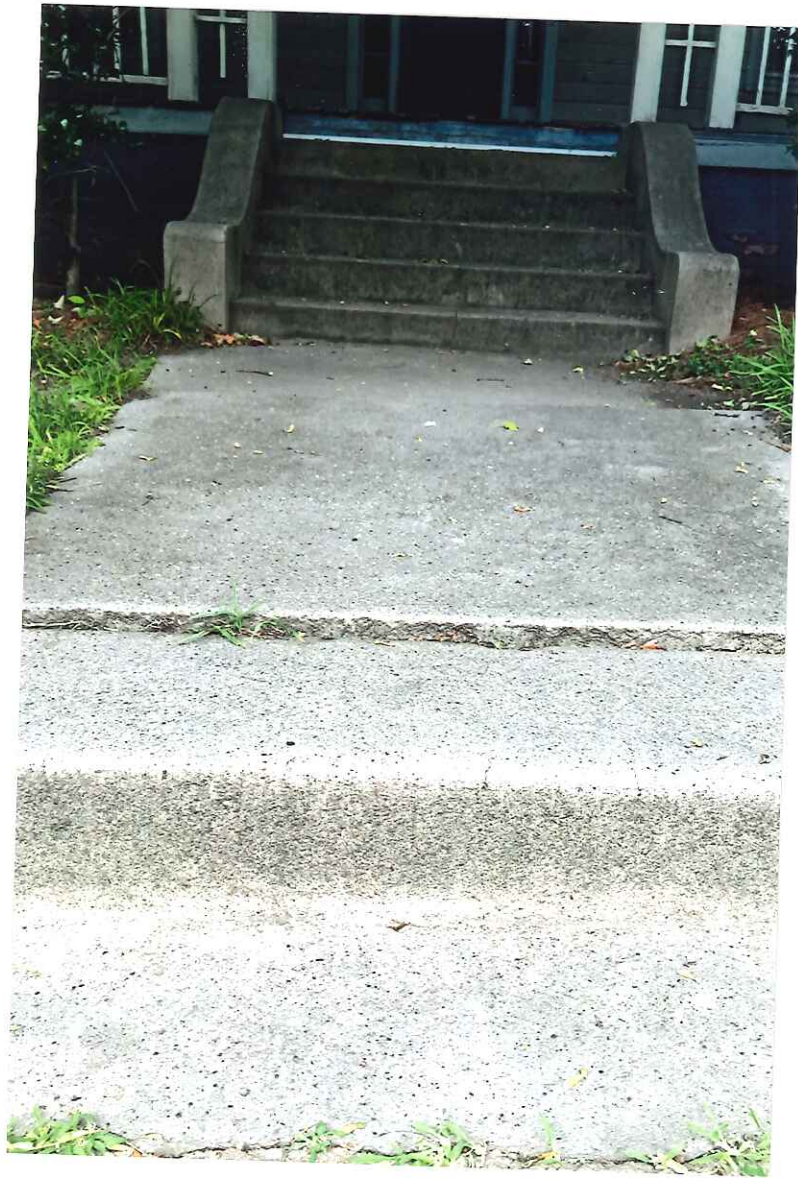
Concrete Walkway
 Trip Hazards

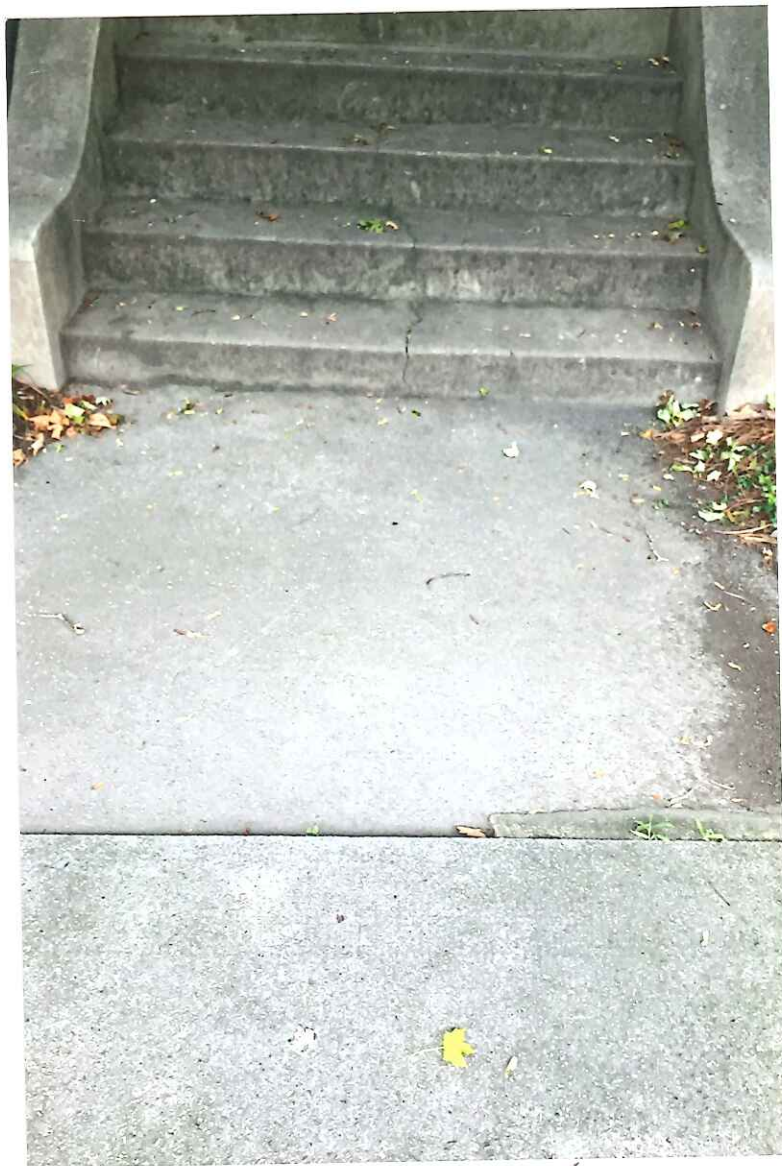
N. BLOUNT STREET
 60' PUBLIC R/W

CENTERLINE
 INTERSECTION



E. PEACE STREET
 60' PUBLIC R/W





SURVEYOR
 W. DENAR
 DRAWN UNDER
 UNDER NY

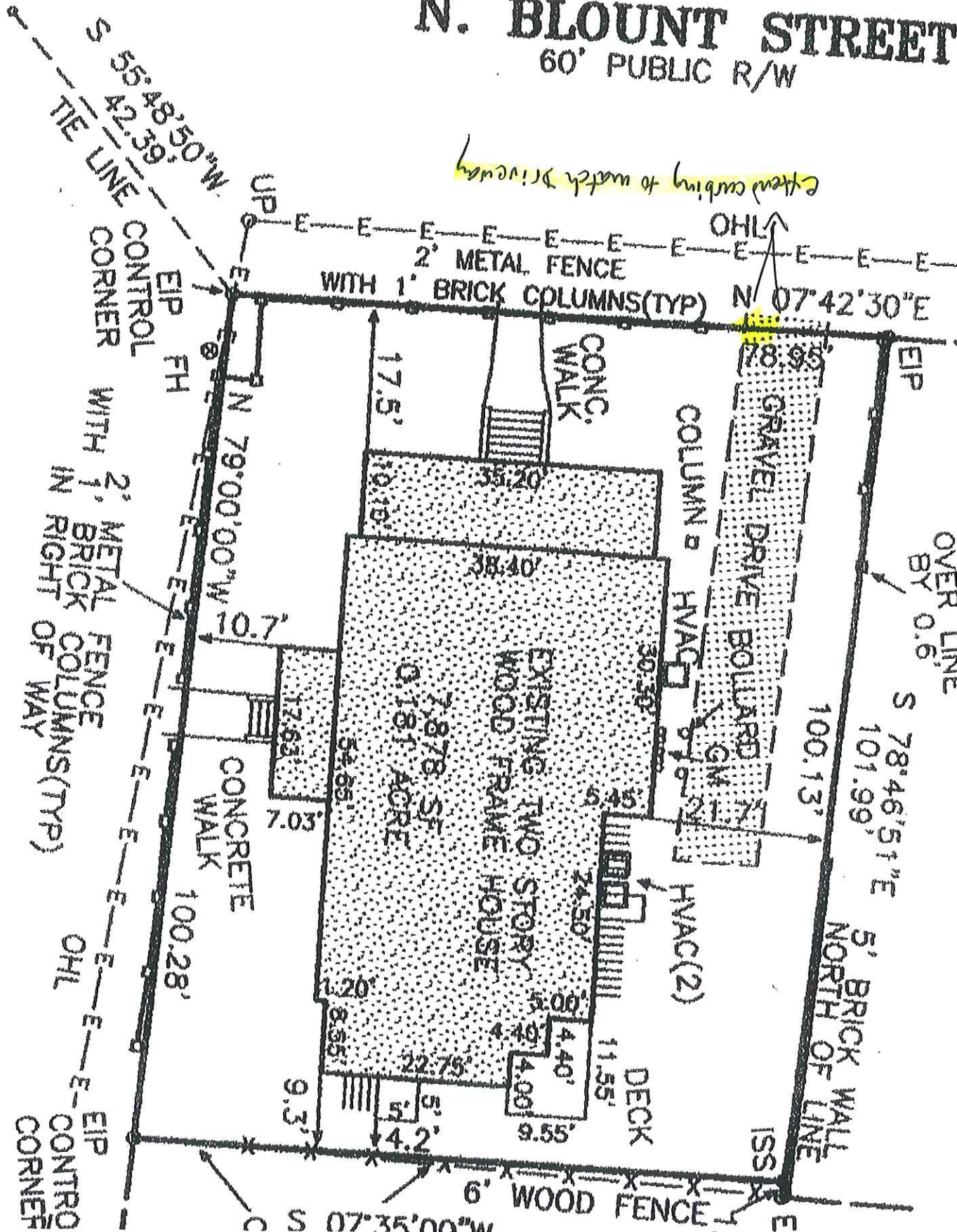
Drive way curbing

N. BLOUNT STREET

60' PUBLIC R/W

Extend curbing to match Driveway

CENTERLINE INTERSECTION



E. PEACE STREET

60' PUBLIC R/W

CENTERLINE INTERSECTION
 CONTROL CORNER WITH 1' METAL FENCE IN RIGHT OF WAY
 CONTROL CORNER WITH 2' METAL FENCE IN RIGHT OF WAY
 CONTROL CORNER WITH 1' METAL FENCE IN RIGHT OF WAY

