



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

547 E JONES STREET

Address

OAKWOOD

Historic District

Historic Property

141-15-MW

Certificate Number

10/7/2015

Date of Issue

4/7/2016

Expiration Date

Project Description:

- Change exterior paint colors;
- Install 3' tall metal fence

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature _____
Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.



Planning & Development

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



RALEIGH HISTORIC DEVELOPMENT COMMISSION

- Minor Work (staff review) – 1 copy**
- Major Work (COA Committee review) – 13 copies**
- Most Major Work Applications
- Additions Greater than 25% of Building Square Footage
- New Buildings
- Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 449153
 File # 141-15-MW
 Fee \$29-
 Amt Paid \$29-
 Check # CASH
 Rec'd Date 10/6/15
 Rec'd By [Signature]

If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address 547 E. Jones Street

Historic District Oakwood

Historic Property/Landmark name (if applicable) Parrish House

Owner's Name Julie Manly

Lot size (width in feet) (depth in feet)

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address
<input checked="" type="checkbox"/> N/A	

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:


Applicant Julie Manly

Mailing Address 100 N. EAST 547 East Jones Street

City Raleigh State NC Zip Code 27601

Date 10/5/2015 Daytime Phone 208 869 8018

Email Address julie.manly@gmail.com

Signature of Applicant 

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 4/7/16. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature  Date 10/7/15

Project Categories (check all that apply):

Exterior Alteration

Addition

New Construction

Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes

No

(Office Use Only)

Type of Work _____

\$1,35

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

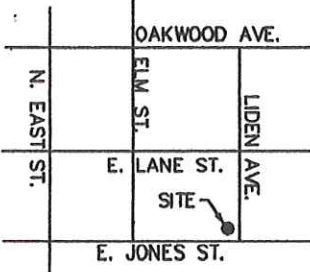
Section/Page	Topic	Brief Description of Work
<u>2.4</u>	<u>Aluminum fence</u>	<u>3' Perimeter Black Aluminum fence</u>
<u>3.4</u>	<u>Exterior Paint Color</u>	<u>Color Selections - see Paint Schedule</u>

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s). <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	<input type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input type="checkbox"/>				

Survey description

CYRVE DATA

NUMBER	RADIUS	ARC DIST.	CHORD BEARING	DIST.	DELTA
C-1	20.00	31.33	S 51°07'29" W	28.22	89°44'24"



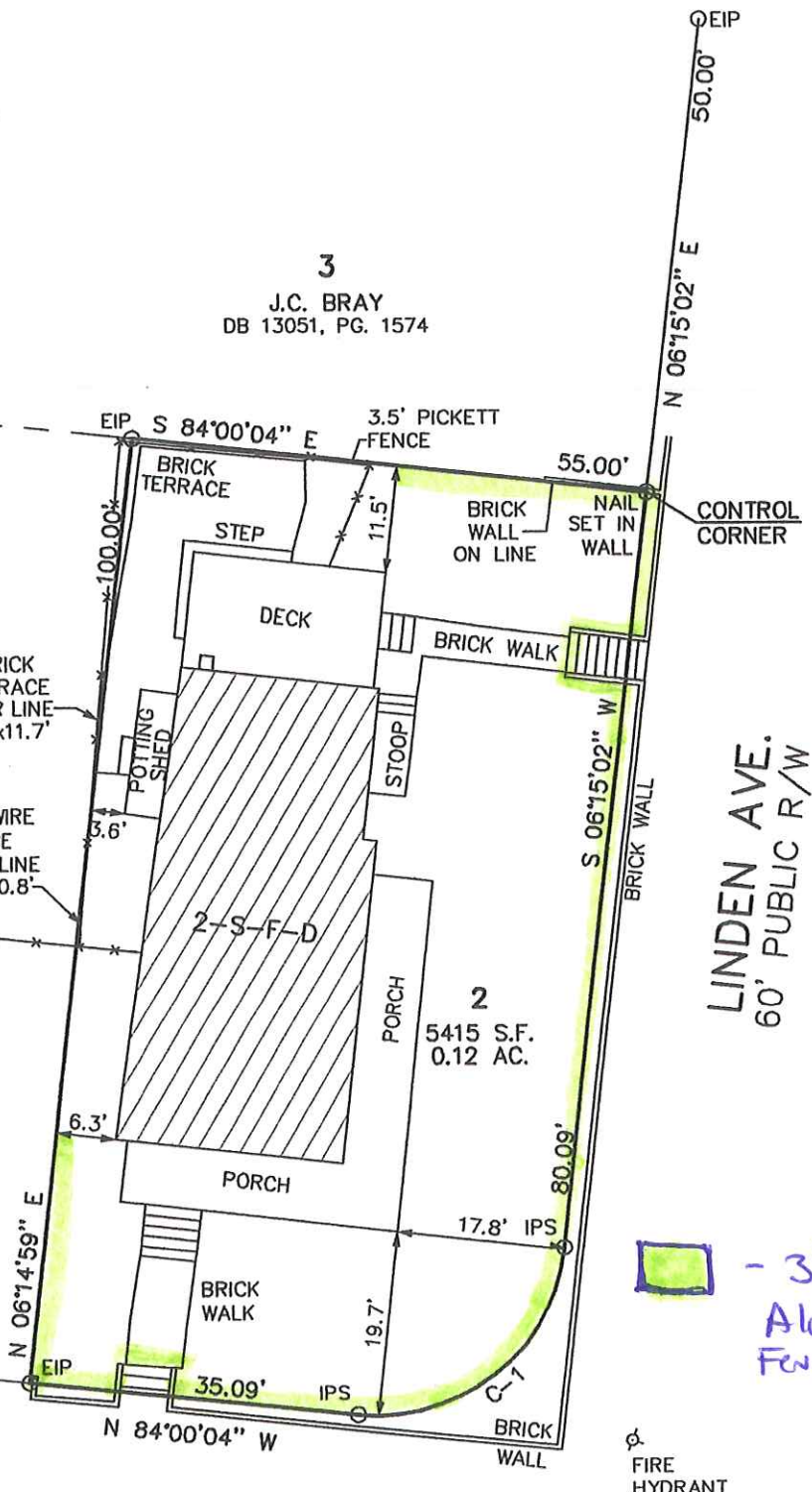
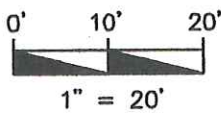
VICINITY MAP N.T.S

LEGEND

- IPS—Iron Pin Set
- EIP—Existing Iron Pin
- PKS—Parker—Kalon Nail Set
- EPK—Existing Parker—Kalon Nail
- PP—Power Pole
- OHP—Over Head Power
- CL—Center Line
- R/W—Right of Way
- PL—Property Line
- Lines Not Surveyed
- ECM—Existing Concrete Monument

3
J.C. BRAY
DB 13051, PG. 1574

1
J.M. LABONTE
DB 4688, PG. 381
BM 1982, PG. 351

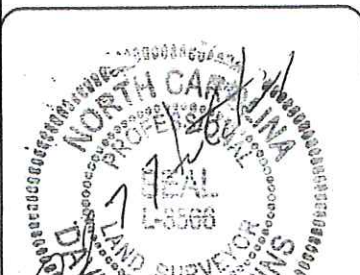


LINDEN AVE.
60' PUBLIC R/W

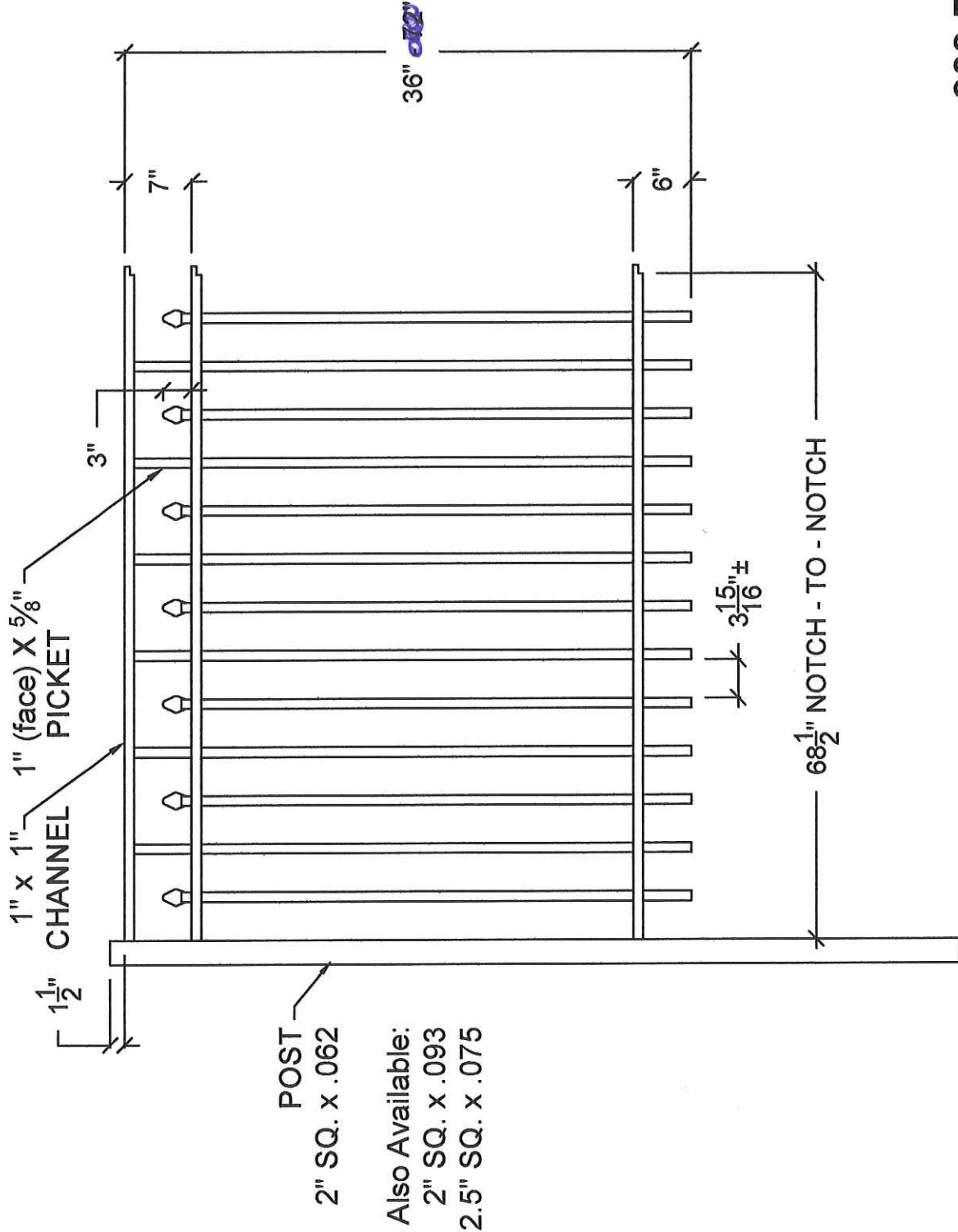
*- 3' tall
Aluminum
Fence.*

♀
FIRE
HYDRANT

E. JONES ST.
66' PUBLIC R/W



Fence to run just inside of the existing retaining wall, All post set w/ (concrete)



303 PARKWAY



Phone: 386-736-1700 / Fax: 386-822-4950
 www.iDeal-ap.com
 This drawing is the property of Ideal Aluminum Products. It is not to be reproduced, copied, or traced in whole or in part without written consent.

Customer:	Page:
Customer Signature:	Drawn By: J. Keller
iDeal #	



Fencing on front of House
(Jones side) 3' Aluminum Blk
Fixed in concrete footing.

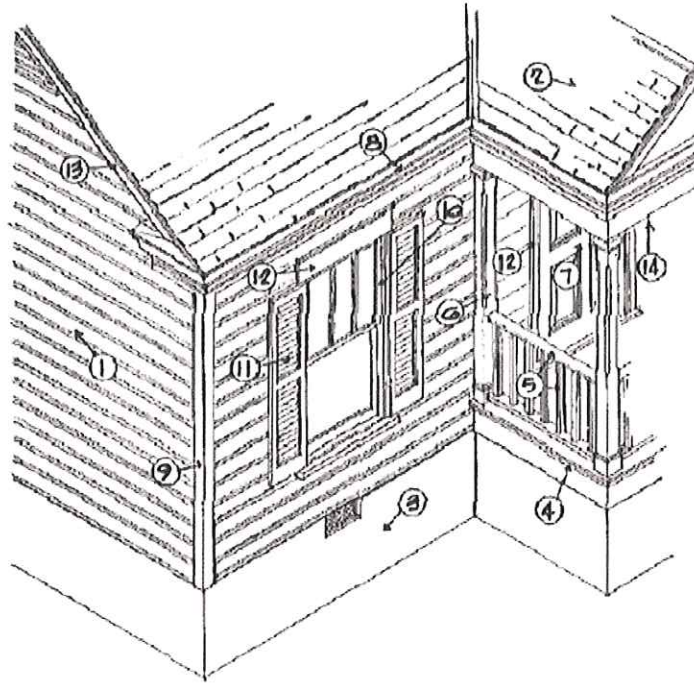
* Note that post holes are to be dug manually so as to avoid damage to roots. Any roots larger than 1" \varnothing will be cut cleanly with the proper tool such as loppers, (G)



Existing retaining wall Linden Street
Side.

3' Fencing - Aluminum to run just inside
of wall, fixed in concrete

Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



Applicant

Julie Manly

Address

547 East Jones St. -

Paint Manufacturer (Please submit color chips with this schedule)

Sherwin Williams

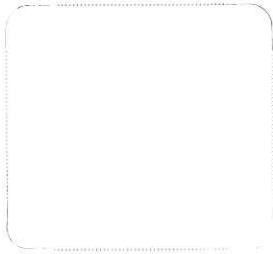
Color Schedule

1	Body of House	Tradewind SW 6218
2	Roofing	
3	Foundation	
4	Porch Floor	Warm Stone GW 7032
5	Railing	Westhighland White - SW 7566
6	Columns	Westhighland White - SW 7566
7	Entrance Door	Stillwater - SW 6223
8	Cornice	Westhighland White - SW 7566
9	Corner Boards	
10	Window Sash	Stillwater - SW 6223
11	Shutter	N/A
12	Door & Window Trim	Westhighland White - SW 7566
13	Rake	Westhighland White - SW 7566
14	Porch Ceiling	Warm Stone - SW 7032
15	Other	

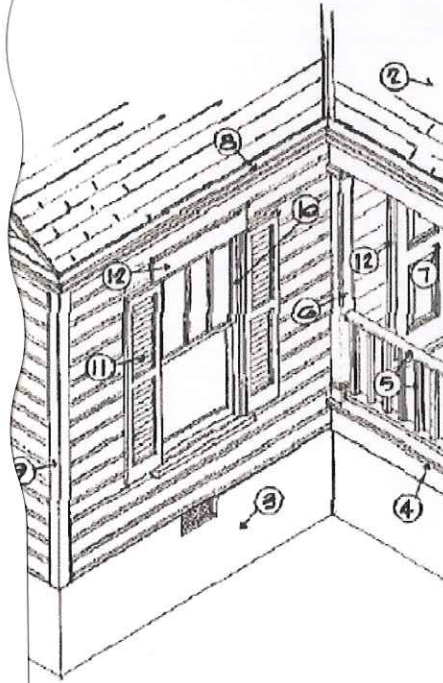
#5
12006
13

TRIM

SW 7566
Westhighland White



Commission - Certificate of Approval



S. St. -

Paint Manufacturer (Please submit color chips with this schedule)

Sherwin Williams

Color Schedule

1	Body of House	Tradewind SW 6218
2	Roofing	
3	Foundation	
4	Porch Ceiling & Floor	SW 7032
5	Roof Siding	White - SW 7032
6	Chimney	White - SW 7032
7	Exterior Walls	SW 6223
8	Columns	White - SW 7032
9	Columns	SW 7032 Warm Stone LRV 21
10	Windows	SW 6223
11	Shutters	
12	Door & Window Trim	West Highland White - SW 7566
13	Rake	West Highland White - SW 7566
14	Porch Ceiling	Warm Stone - SW 7032
15	Other	

#14
4
Porch Ceiling & Floor

SW 7032
Warm Stone
LRV 21

BODY

SW 6218
Tradewind

SW 6219
Rain

SW 6220
Interesting Aqua

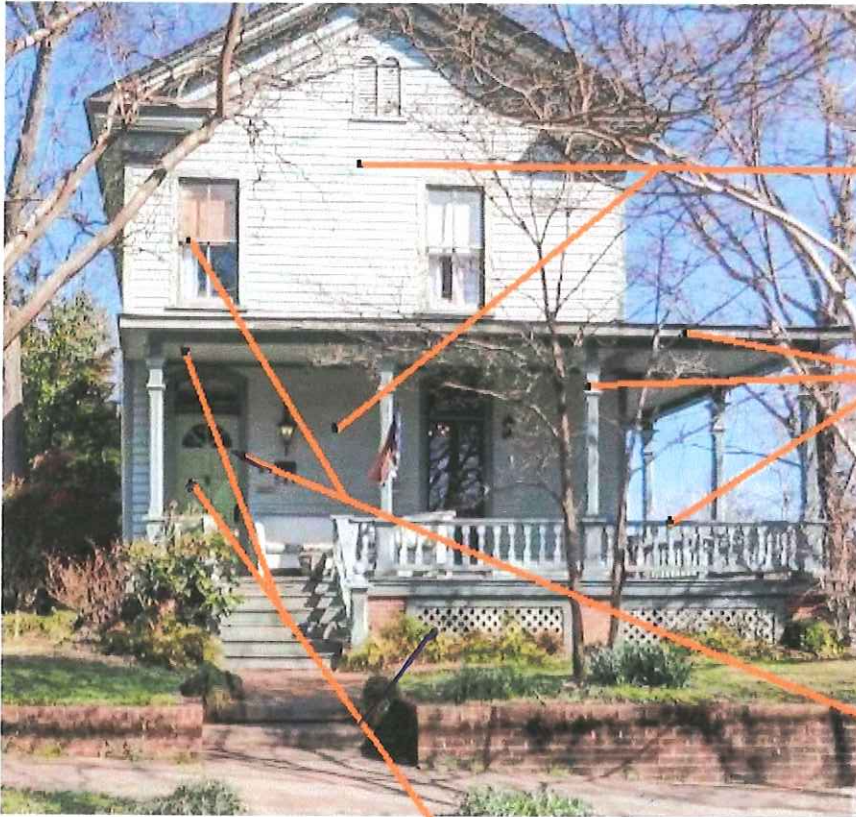
SW 6221
Moody Blue

SW 6222
Riverway

#10
Sash & Door

SW 6223
Still Water

547 East Jones Street Color Schedule.



siding: Rainwashed ~~6211~~
Tradewind
SW 6218

All trim
Trim: West Highland White
SU 7566

Window sashes and
door trim: Jasper ~~6216~~
Stillwater

SW 6223

Roof, Porch floor, Porch Ceiling: Stain

~~Warm Stone - SW 7032~~
~~Warm Stone - SW 7032~~
~~Warm Stone - SW 7032~~
WARM Stone - SW 7032