

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

403 ELM STREET

Address

OAKWOOD

Historic District

Historic Property

139-15-MW

Certificate Number

10/7/2015

Date of Issue

4/7/2016

Expiration Date

Project Description:

- Install brick paver driveway;
- widen curb cut

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.



Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 eFax 919-996-1831

*Brown
 Martin
 Hargett*

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



RALEIGH HISTORIC DEVELOPMENT COMMISSION

- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
 - Most Major Work Applications
 - Additions Greater than 25% of Building Square Footage
 - New Buildings
 - Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 447979

File # 139-15-MW

Fee 29.00

Amt Paid 29.00

Check # 8870

Rec'd Date 9/24/15

Rec'd By [Signature]

Amended 10/1/15

• If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address 403 ELM Street RA, NC 27604

Historic District OAKWOOD

Historic Property/Landmark name (if applicable)

Owner's Name Rita Van Yperen (Michiel Doorn's deceased mom)

Lot size _____ (width in feet) _____ (depth in feet)

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant MARY BOONE / MICHEL DOORN

Mailing Address 403 ELM Street

City RALEIGH State NC Zip Code 27604

Date 9/24/15 Daytime Phone 919-782-3914

Email Address mary.boone@me.com ; michiel.doorn@me.com

Signature of Applicant [Signature]

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 4/7/15. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature [Signature] Date 3 10/7/15

Project Categories (check all that apply):

Exterior Alteration - LANDSCAPING

Addition

New Construction - DRIVE CUT

Demolition - WIDENED

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes

No

(Office Use Only)

Type of Work 33

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
		<u>Amended</u>

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required.	<input type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Drawings showing proposed work <ul style="list-style-type: none"> <input checked="" type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s). <input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input checked="" type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. Fee (<u>See Development Fee Schedule</u>)	<input type="checkbox"/>				

We are proposing to redo the landscaping in the front yard with a ① widening of the Drive cut

② putting in 2 strips for parking with either an appropriate ~~COBBLESTONE~~ or BRICK -
see 10/1/15 email

③ putting in ~~low plantings in front of the house w/ COBBLESTONE or BRICK LANDING~~

④ ~~Addressing the strips with a paved walkway into the gate~~

⑤ ~~We WILL NOT BE ADDRESSING the "Historic" CINDER BLOCK WALL to the Right of our property at this time -~~

MATERIALS

Concrete connecting into the existing drive

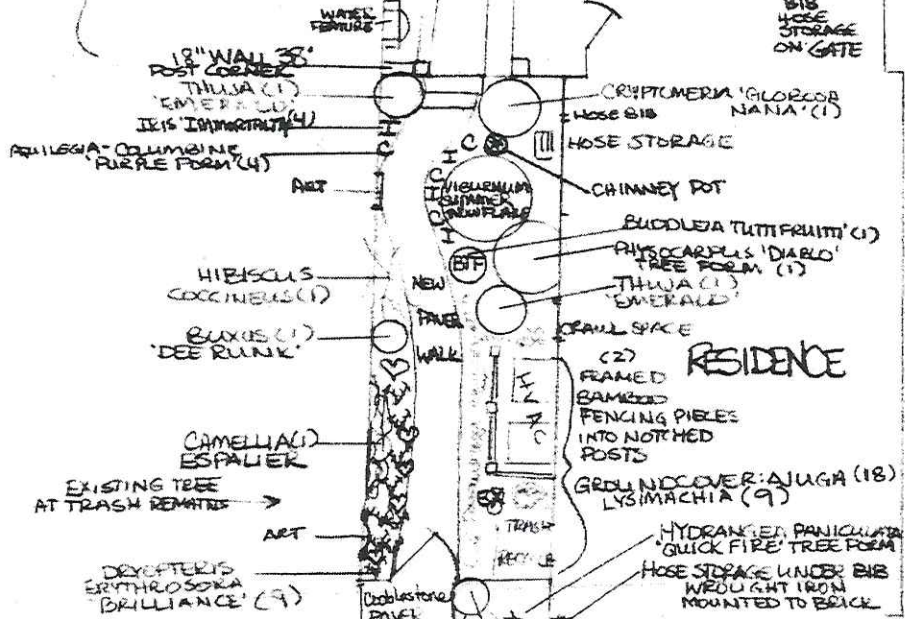
and some KIND of COBBLESTONE BRICK -

for the strips and LANDING + Border of property

SIZING

THE DETAILS ARE INCLUDED IN THE DRAWINGS -
SEE using salvaged brick 1st

PORCH

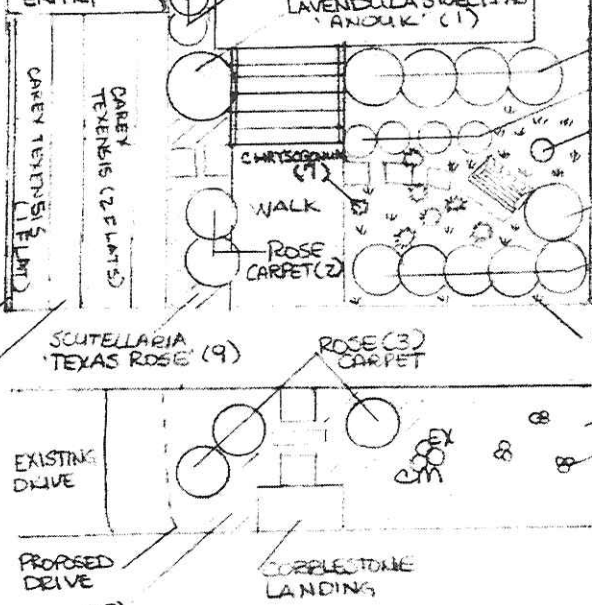


BOONE RESIDENCE
 408 ELM STREET, RALEIGH
 SCALE 1" = 10' 3/19/15
 CAT VALAND LANDSCAPE DESIGN

HARDSCAPES

- LANDING AT STREET
- STEP STONES TO CITY WALK
- STEP STONES TO BENCH
- STEP STONES TO FRONT & BACK FROM DRIVE
- WALK ALONG SOUTH SIDE ENTRY
- 34' LONG 4' AT GATE 3' NARROWS IN 4' TO 3' WIDE
- PATIO IN BACK 15x23'
- CIRCLE KIT 8'
- WALL 30' POST AT TURN
- EDGING ON PL LEFT OF DRIVE
- POND 4' x 3' STONE EDGE
- REPOSITION STEPS AT BACK PORCH - STONE & WOOD
- VENEER EXISTING WALL FRONT PL

- COBBLESTONE EDGING
- COBBLESTONE CARriage PARKING (2 STRIPS)



RESIDENCE

GROUND COVER: AJUGA (18)
 LYSIMACHIA (9)

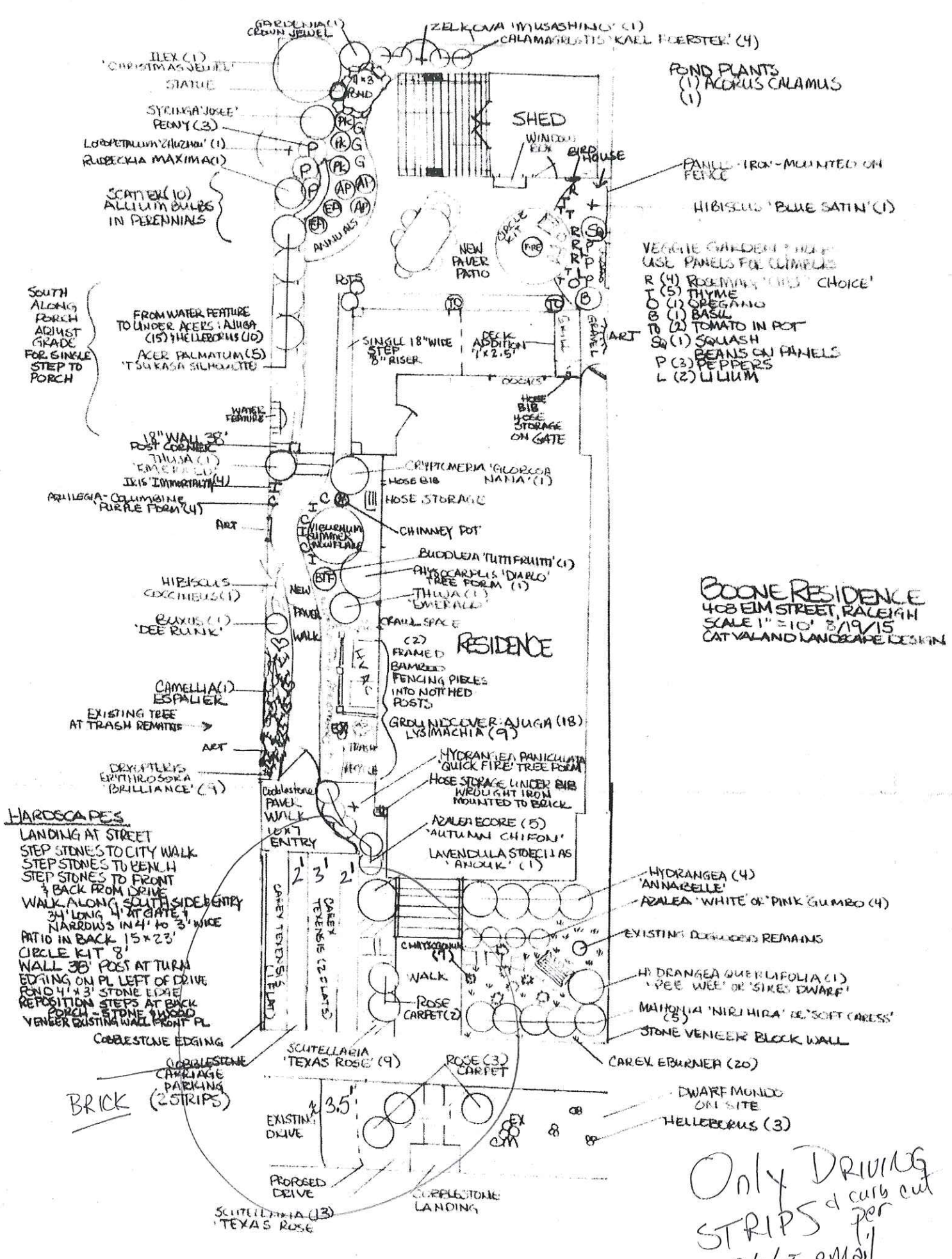
HYDRANGEA PANICULATA 'QUICK FIRE' TREE FORM
 HOSE STORAGE UNDER BBS
 WROUGHT IRON MOUNTED TO BRACE

AZALEA ECORE (5)
 'AUTUMN CHIFFON'
 LAVENDULA STOECHIAS 'ANDOUK' (1)

HYDRANGEA (4)
 'ANNABELLE'
 AZALEA 'WHITE' OR 'PINK GUMBO' (4)

EXISTING DOGWOODS REMAINS
 HYDRANGEA QUERCIFOLIA (1)
 'PEE WEE' OR 'SIXES DWARF'
 MAHONIA 'NIRI HIRA' OR 'SOFT CARESS' (5)
 STONE VENEER BLOCK WALL

CAREY EBURNER (20)
 DWARF MONDO ON SITE
 HELLEBORUS (3)



POND PLANTS
 (1) ACERUS CALAMUS
 (1)

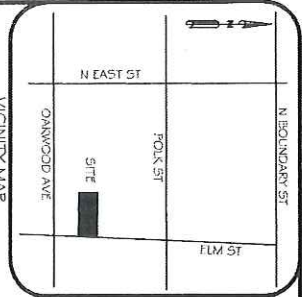
VEGGIE GARDEN 2' HIGH
 USE PANELS FOR CLIMBERS
 R (4) ROSEMARY 'TUSCANY CHOICE'
 T (5) THYME
 O (1) OREGANO
 B (1) BASIL
 TB (2) TOMATO IN POT
 SQ (1) SQUASH
 P (3) PEPPERS
 L (2) LILIUM

BOONE RESIDENCE
 408 ELM STREET, RACE 14H
 SCALE 1" = 10' 8/19/15
 CATVALAND LANDSCAPE DESIGN

HARDSCAPES
 LANDING AT STREET
 STEP STONES TO CITY WALK
 STEP STONES TO RENCH
 STEP STONES TO FRONT
 3/4 BACK FROM DRIVE
 WALK ALONG SOUTH SIDE ENTRY
 34' LONG 4' AT GATE
 NARROWS IN 4' TO 3' WIDE
 PATIO IN BACK 15x23'
 CIRCLE KIT 8'
 WALL 38' POST AT TURN
 EDGING ON PL LEFT OF DRIVE
 POND 4'x3' STONE EDGE
 REPOSITION STEPS AT BACK
 PORCH - STONE THOOD
 VENER EXISTING WALL FRONT PL

BRICK (2 STRIPS)

Only DRIVING STRIPS
 d curb cut per cut
 10/1/15 email

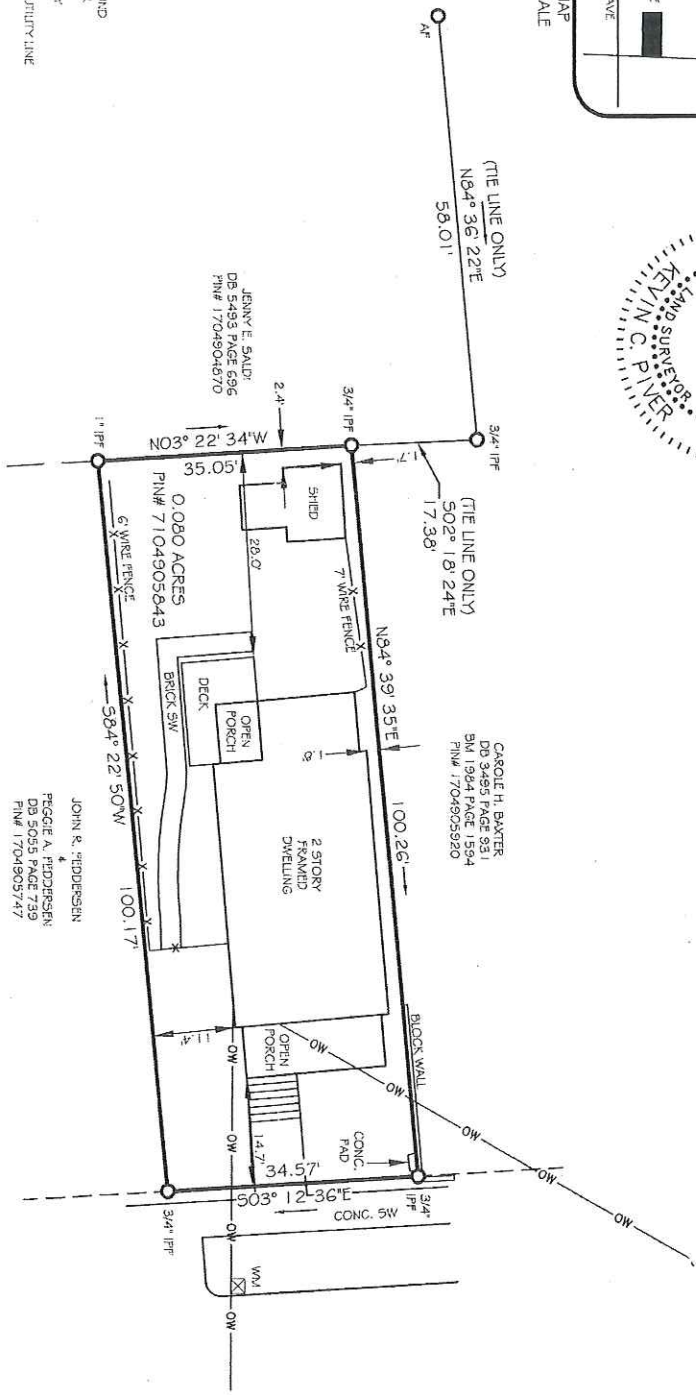


VICINITY MAP
NOT TO SCALE

I, KEVIN C. PIVNER, PLS. CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL FIELD SURVEY AND THAT I AM A LICENSED SURVEYOR IN THE STATE OF NORTH CAROLINA. I HAVE REVIEWED THE RECORDS OF THE PLAT, THAT THE POSITIONAL ACCURACY OF THIS SURVEY MEETS THE REQUIREMENTS OF THE STANDING STANDARDS FOR SURVEYING IN NORTH CAROLINA. NCAC 56.0201.

Kevin C. Pivner
PLS. SURVEYOR
LICENSE NO. 3919
REGISTRATION NO. 33818
DATE: JUNE 9, 2014

REFERENCES:
DB 15529 PAGE 2308
BW 1964 PAGE 1594



ADOPTED FROM EM 1984 PAGE 1594

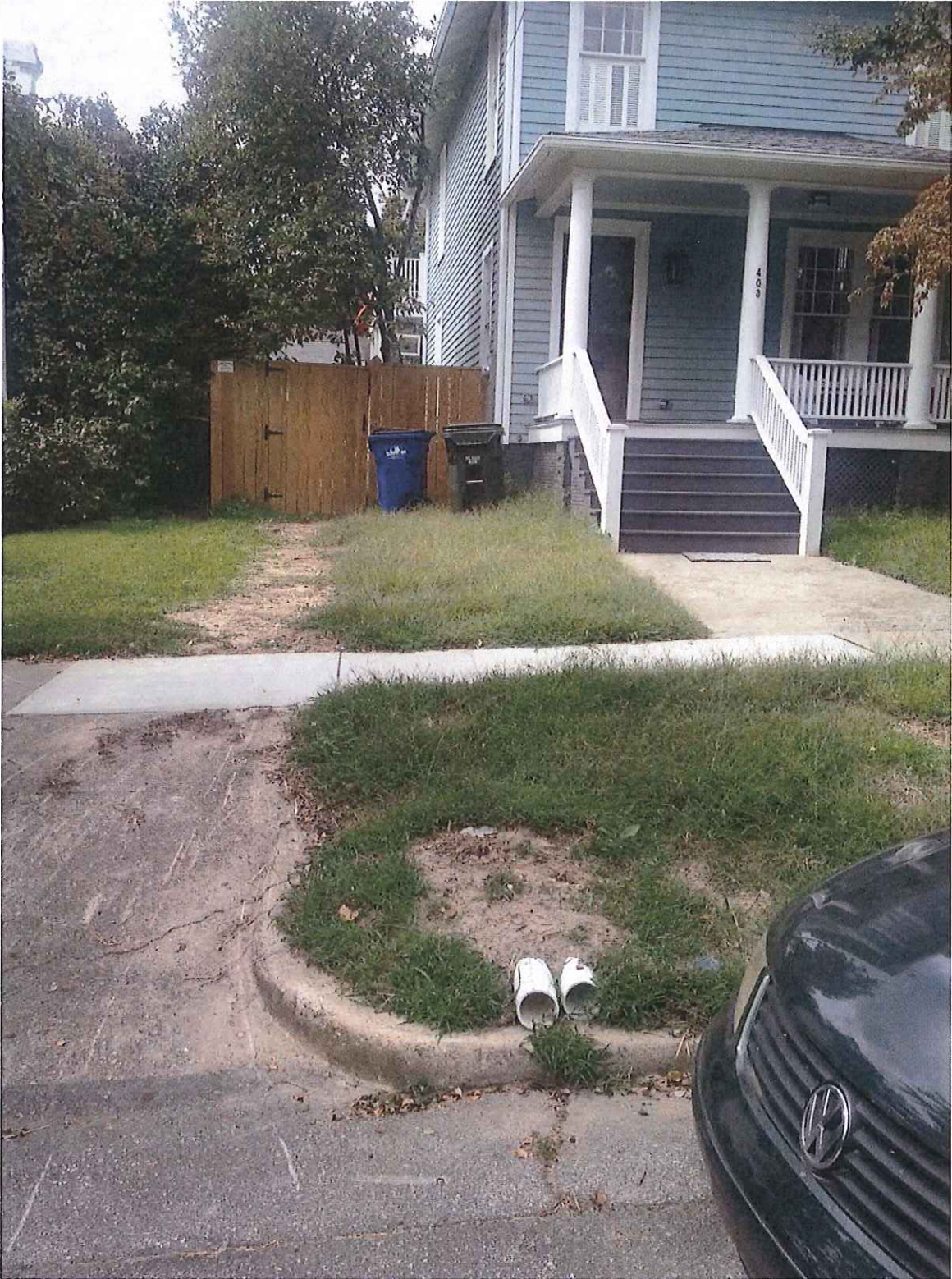
JOB #: 2014.0122
DATE: JUNE 9, 2014
SCALE: 1" = 20'
DRAWN BY: KCP
SURVEYED BY: RSH
REVISIONS:

FINAL SURVEY
FOR
H.P. VAN YPEREN
403 ELM STREET
CITY OF RALEIGH, WAKE COUNTY, NC
CURRENT OWNER
H.P. VAN YPEREN
DB 15529 PAGE 2309



LICENSE # C-3548
CDK GEOMATICS, P.C.
1340 SE MAYNARD RD
SUITE 204
CARY, NC 27511
TEL: 919-535-3225
WWW.CDK-GEO.COM
INFO@CDK-GEO.COM

403 Elm St – Drive Cut pictures



Tully, Tania

From: Mary Boone <mary.boone@me.com>
Sent: Thursday, October 01, 2015 12:27 PM
To: Tully, Tania
Cc: Doorn Michiel Roelof Jan
Subject: 403 Elm amendment of minor work app

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Daniel and Tania

I would like to amend my minor work app to include the drive cut and driving (parking) strips made of brick.

thank you
Mary Boone

Tully, Tania

From: Band, Daniel
Sent: Tuesday, September 29, 2015 11:14 AM
To: mary.boone@me.com
Cc: Tully, Tania
Subject: COA Application for 403 Elm St

Mary: Thank you for submitting a Minor Work COA application for 403 Elm Street. I've reviewed the application and I have a few comments.

The scope of work proposed is such that it is categorized as a Major Work application. According to the Certificate Of Appropriateness List (also known as the COA List of Work) "Review of Landscape Master Plans affecting 25% or more of front yard area (from house face); 50% or more of total side and rear yard area" and "Alteration/Construction/Removal of Gardens, Planting Beds, or Shrubbery affecting 25% or more of front yard area (from house face); 50% or more of total side and rear yard area" are classified as Major Work requiring review by the commission.

That application will require:

- An additional \$118 fee (already paid \$29 of the \$149 Major Work fee.)
- Addressed stamped envelopes for the property owners in a 100 foot radius. Use this app (<http://maps.raleighnc.gov/PlanMailList/>) to get the correct names and addresses.
- 13 additional copies of the complete application packet (photos, drawings, etc).
- These items should be submitted to the 4th Floor (referencing transaction #447979) by 4:00 pm on October 14th to get on the November 3rd agenda.

In addition, in reviewing the existing application I have a few questions. Additional materials should be included in the packets dropped off as part of the Major Work application.

- Please send in a front-yard photo of the property (that includes the house) and photos of areas (w/ captions) where other work will take place (backyard patio area, sideyard walkway area, etc.).
- Please make a decision concerning the use of brick and/or cobblestones and indicate where each will be used. Also, please send in specs or a photo example for all materials that you will be using (cobblestones, brick, and anything else). Note that "cobblestones" would need to be real stone and not concrete pavers shaped like stone.
- The site plan that you sent in is very detailed... please indicate (perhaps by highlighting specific items) which are changes to existing conditions. Also, include the existing and proposed dimensions of the drive cut and the proposed dimensions of the parking strips.
 - On the site plan you indicate a "new paver patio". Please describe that further and include what the materials will be. Also, delineate the extent of that paver patio on the site plan. Note that Guideline 2.3.8 states "In the residential historic districts, it is not appropriate to alter the residential character of the district by significantly reducing the proportion of built area to open space on a given site through new construction, additions, or surface paving." So the size of the proposed patio may not meet the Guidelines.
- In addition, please describe the plantings that will be used in the landscaping (in the written section) and please indicate which of the items on the site plan are existing/remaining, which are being removed, and which are proposed. Mature heights of plants should be included.
- Finally, are you proposing to change anything else that was not described in the written section? For example, you have notes under Hardscapes on the site plan that say "reposition steps at back porch" and "wall 38' post at turn" but no description of the wall.
Also, you have a note under Hardscapes on the site plan that says "veneer existing wall front PL"... For clarity this note should be removed from the plan. All changes must be included in the written section.

Tully, Tania

From: Mary Boone <mary.boone@me.com>
Sent: Wednesday, October 07, 2015 12:43 PM
To: Tully, Tania
Subject: Re: 403 Elm amendment of minor work app

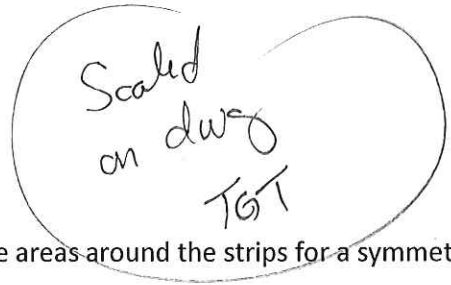
Follow Up Flag: Follow up
Flag Status: Flagged

Hi Tania

The drawing I have is to scale (I know you have a reduction) so I will give you measurements from my copy.

My scale is 1" = 10 Feet

Each strip is 6/16 in
Center is 10/16th in
Curb cut is 3/8th in



The new curb will match the design in that it will line up perfectly with the areas around the strips for a symmetrical appearance.

Thanks Tania
Mary

> On Oct 7, 2015, at 12:26 PM, Tully, Tania <Tania.Tully@raleighnc.gov> wrote:

>

> Hi Mary -

>

> I've finally been able to closely review the amended COA application and need a bit of additional information. When we spoke I thought that you had provided a more detailed driveway drawing with dimensions, but I was remembering incorrectly.

> -please confirm that the new curb cut will match the design of the

> addition -Include the dimension of the curb cut extension -please

> provide the widths of the driving strips and center portion.

>

> If you can get that to me today by 4 I'll be able to get it approved before I am out for the remainder of the week.

>

> Thanks!

> Tania

>

> Tania Georgiou Tully, Preservation Planner Long Range Planning

> Division Raleigh Department of City Planning

> 919.996.2674

> 919.516.2684 (fax)

> tania.tully@raleighnc.gov

Tully, Tania

From: Tully, Tania
Sent: Wednesday, October 07, 2015 12:27 PM
To: 'Mary Boone'
Cc: Doorn Michiel Roelof Jan
Subject: RE: 403 Elm amendment of minor work app

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-please confirm that the new curb cut will match the design of the addition -Include the dimension of the curb cut extension -please provide the widths of the driving strips and center portion.

If you can get that to me today by 4 I'll be able to get it approved before I am out for the remainder of the week.

Thanks!
Tania

Tania Georgiou Tully, Preservation Planner Long Range Planning Division Raleigh Department of City Planning
919.996.2674
919.516.2684 (fax)
tania.tully@raleighnc.gov

COA process information is available here.

-----Original Message-----

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Sent: Thursday, October 01, 2015 12:27 PM
To: Tully, Tania
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