



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

223 ELM STREET

Address

OAKWOOD

Historic District

Historic Property

119-15-MW

Certificate Number

8/18/2015

Date of Issue

2/18/2016

Expiration Date

Project Description:

- Alter rear doors;
- replace windows on rear addition;
- alter rear deck;
- prune crepe myrtle trees;
- replace gutters in-kind;
- remove concrete steps walkway;
- install brick driving strip driveway;
- alter rear trellis;
- install 42" tall fence section;
- alter rear pond;
- change exterior paint colors;
- add front walk;
- relocate stone wall;
- relocate HVAC unit

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____
Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.



Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 eFax 919-996-1831

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



- Minor Work (staff review) – 1 copy**
- Major Work (COA Committee review) – 13 copies**
- Most Major Work Applications
- Additions Greater than 25% of Building Square Footage
- New Buildings
- Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 440724
 File # 119-15-MW
 Fee \$29
 Amt Paid \$29
 Check # 9155
 Rec'd Date 7/24/15
 Rec'd By Rowan

*Amended 7/28 App r'd 8/3
 more info 6/12*

- If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address **223 Elm St**

Historic District **Oakwood**

Historic Property/Landmark name (if applicable)

Owner's Name **Kim + Graham Shirley**

Lot size **.13 acre**

(width in feet) **52'** (font) **53'** (rear)

(depth in feet) **105'**

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Kim + Graham Shirley

Mailing Address 221 Elm St

City Raleigh State NC Zip Code 27601 27601

Date Daytime Phone 919-600-2605 Kim's cell

Email Address Kimberlybshirley@nc.rr.com gmail.com

Signature of Applicant *Kimberly Shirley*

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 2/18/16. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature *[Signature]* Date 5/18/15

Project Categories (check all that apply):

Exterior Alteration

Addition

New Construction

Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes

No

(Office Use Only)

Type of Work _____

29, 84, 80, 40,

35, 99, 24, 82,

83, 33, 51, 50

Amended 7/28/15 + 8/12

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org). *See emails*

Section/Page	Topic	Brief Description of Work
2.3/13	Site Features + Plantings	Remove wax myrtle with a diameter of app 6" that is struggling and too close to the structure. Remove 2 crepe myrtle clusters that are damaging the historic fabric of the house by being too close to historic structure. Several Nandinas around the property are to be removed. See new siteplan.
3.7/39	Windows + Doors	Remove non historic exterior rear door and side lites, add new wood full lite exterior door to kitchen, add new wood window in powder room, and convert pair of existing wood full lite doors to a pair of wood windows.
3.2/29	Masonry	Remove non historic flue in rear addition.
4.1/53	Decks	Remove section of non historic trellis that attaches to the rear addition. Remove existing wood deck landing and add new wood deck landing. No rails.
2.5/17	Walkways, driveways, and off street parking	Add exposed aggregate concrete driveway where existing curb cut exists.
3.5/35	Roofs	Replacing existing k-gutters at front of house with new k-gutters to match existing.

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	X				
2. Description of materials (Provide samples, if appropriate)	X				
3. Photographs of existing conditions are required.	X				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	X			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	X	<input type="checkbox"/>			
6. Drawings showing proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s). <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	X	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	X			
8. Fee (See Development Fee Schedule)	X				

Amendment

Tully, Tania

From: Ashley Morris <pellststudio@gmail.com>
Sent: Tuesday, July 28, 2015 4:14 PM
To: Tully, Tania; Band, Daniel
Subject: 223 Elm St - Minor Work App
Attachments: 223-Elm-existing-driveway-side-elevation.pdf; 223-Elm-existing-patio-side-elevation.pdf; 223-Elm-existing-plan.pdf; 223-Elm-existing-plan-site.pdf; 223-Elm-existing-rear-elevation.pdf; 223ElmSt-aerial.JPG; 223ElmSt-imaps.JPG; 1995-Tax-photo-no-stone-wall.JPG; Door-specs.JPG; window specs.JPG; window-specs-2.JPG; 223-Elm-new-site-plan.pdf; JW_Win_EX_CldWd_Awn_vertical-horiz-section.pdf; JW_Win_EX_CldWd_DH_SizingChart-pair-ganged.pdf; 223-Elm-new-driveway-side-elevation.pdf; 223-Elm-new-patio-side-elevation.pdf; 223-Elm-new-rear-elevation.pdf

Follow Up Flag: Follow up
Flag Status: Flagged

Hi Tania + Daniel,

I think things may have gotten a little confused when the minor application was submitted. We do want to do a major work application and that will be submitted by the next deadline for the roof form change on the rear of the existing addition. These drawings were not supposed to have been submitted with the minor work application, owner may have mixed them in by mistake when she dropped off the application.

We were hoping the items that were more on a minor work level could be approved before this so that the new home owners could go ahead and get started with some of the work they would like to do. The minor work items are listed below along with answers to questions in your previous email and specifications are attached.

Minor Work App -

1. Changing the exterior patio doors on rear existing addition to a pair of ganged double hung windows to match existing. Jeldwen Sitrine EX window specs attached.
2. Remove existing exterior door and side lites from rear elevation (also an existing addition, dropped roof line shows this) and infill wall with siding to match existing. Southern yellow pine siding with 4.5" exposure and smooth faced. A new square awning window will be added in this area for the new powder room. Jeldwen Sitrine EX window specs attached.
3. Add new exterior full lite wood door to side elevation to enter in to the kitchen. Jeldwen wood door specs are attached. It will be a 30x80 wood door with no grilles.
4. The landing for the exterior door will be redone. Pressure treated 1x6 wood decking on pressure treated wood platform frame. The landing is below 30" off grade and does not require a railing. Step wraps landing on the exposed 2 sides. Treads will also be the 1x6 pressure treated wood decking. Landing + steps to be stained. Color chart to follow.
5. Crepe myrtles will be pruned back off of siding and eaves of house.
6. The gutter info will be coming as well. Right now we are requesting to replace the front k-gutter with a new section of white k-gutter. Photos to follow.

see 8/12/15 email

7. Driveway to be added, see siteplan for the location. Exposed aggregate.

8. The trellis top rafters/members will be trimmed back 5'-4". This leaves a 6" overhang from the existing posts. No new structural members will be needed, the extra 5'-4" were supported by the connection to the existing rear addition.

I am including the specs I have and the drawings that were suppose to be part of the minor work submission. The window to the right of the existing door was corrected, no change requested. Please let me know if these items can be approved as a minor work app. I still owe you a color chart and gutter photos. Let me know if there is anything else you need.

read ~~then~~ 8/3/15
Change color.

Thanks for all of your help,

Ashley

--
Ashley Henkel Morris
owner/registered architect
919.696.0970
<http://pellstreetstudio.com>

Also new fence section per 8/12/15 email.

Tully, Tania

From: Ashley Morris <pellststudio@gmail.com>
Sent: Wednesday, August 12, 2015 3:47 PM
To: Tully, Tania
Cc: Band, Daniel; kimberlybshirley@gmail.com
Subject: Re: 223 Elm St - Minor Work App
Attachments: 2015-08-11 09.45.48.jpg; 2015-08-11 09.46.26.jpg; 2015-08-11 09.47.37.jpg; 2015-08-11 09.43.52.jpg; 2015-08-11 09.45.02.jpg; 2015-08-11 09.42.24.jpg; 7-8-sdl-putty.jpg; 223-Elm-new-driving-strips-plan.pdf; 223-Elm-new-updated-siteplan.pdf; JW_Door_CstmWd_Ext_GlsPnl_FullVw-section.pdf; JW_Win_EX_Wd_Awn_sections-1.jpg; JW_Win_EX_Wd_Awn_SizingChart-24x24.jpg

Follow Up Flag: Flag for follow up
Flag Status: Flagged

Hi Tania

Here are the conditions for the minor work app for 223 Elm St, listed out corresponding to the numbers below in your previous email -

- ✓1. Attached is a window trim photo of the existing historic section of the house we will match - the addition has varying trim details all the way around the 3 sides and the rear elevation of the main house has varying trim details as well.
- ✓2. Yes, the new wood siding will be laced in with the existing siding to avoid siding seams aligning. Attached are the wood awning window specs, sections and a 7/8" puddy profile section.
- ✓3. Attached is the section for the wood full lite door into the kitchen.
- ✓5. Updated site plan attached. The home owners would also like to match the fence at 221 Elm St aesthetic and materials but will be 42" tall. This is noted on the site plan with a gate and a photo of the neighboring gate and fence that the new will match.
- ✓7. Attached is the updated plan for the driveway and the new site plan shows it as well.
- ✓9. It will be infilled with soil and an annual planting bed will be planted.
- ✓10. Photo has been attached.
- ✓11. Right now there are 12x12 concrete pavers which the home owners will reuse and add more. It will be similar to as drawn on the site plan (24" wide).

Let me know if you need anything else. Thank you!

Ashley

On Fri, Aug 7, 2015 at 2:18 PM, Tully, Tania <Tania.Tully@raleighnc.gov> wrote:

Ashley –

I've reviewed the amended application and have the following comments and questions. I begin by matching your email numbers & then have added as necessary.

1. There is a note that trim will match existing. Please provide close up photo of trim being matched. Please also provide muntin specifications/sections.
2. Please confirm that the new wood siding will be woven in with the existing so as to avoid matching vertical joints. The awning window specs provided are for aluminum clad wood windows. Please resubmit for wood windows and include muntin specifications/sections.
3. Please provide section drawing for door.
4. OK
5. The proposed site plan still notes that crape myrtle trees and a Wax Myrtle tree are to be removed. Please submit revised drawing.
6. OK
7. Per the Guidelines and confirmed with recent COA decisions, the driveway needs to have a driving strip appearance. Solid concrete is not approvable by staff. Typically this involves 2 to 2-1/2 foot running strips with 3' between. Please provide a larger scale drawing with dimensions. The adjacent driveway at 221 Elm Street was approved under the prior set of Design Guidelines.
8. OK
9. What will be the surface of the filled-in pond?
10. For the wall being relocated please provide a close-up photo of the wall conditions being matched.
11. What is the dimension of the new walkway? It needs to be subservient to the main front walk, and thus may need to be narrower.
12. I received the color chart & gutter photos.

Best,

Tania

Tania Georgiou Tully, Preservation Planner

Proposed Modifications to the Existing House at 223 Elm St

The owners of 223 Elm St would like to make a few changes to the site and exterior existing rear additions that are not historic.

The owner would like to remove the front two crepe myrtle clusters that are creating damage to the historic fabric of the house due to their close proximity to the house, see site plans. The owners are willing to donate money to the City's tree program. The two subsequent crepe myrtle clusters will be pruned and maintained to preserve the historic house's wood work. There is a wax myrtle located close to the patio side of the existing rear addition that is too close to the addition, the home owners would like to remove this planting as well. The wax myrtle is struggling due to lack of light that is being captured above by the larger tree canopies. There are several areas of Nandinas that the home owners would like to remove, see site plan.

The small pond is to be filled in but the low stone walls are to remain as is. The wooden bridge is to be removed. The existing trellis will have the vines removed and kept clear of vegetation allowing for more light to filter into the back yard and existing windows. The owners would like to remove the section of the trellis that attaches to the rear addition. This will help get more natural light and better views out of the kitchen window.

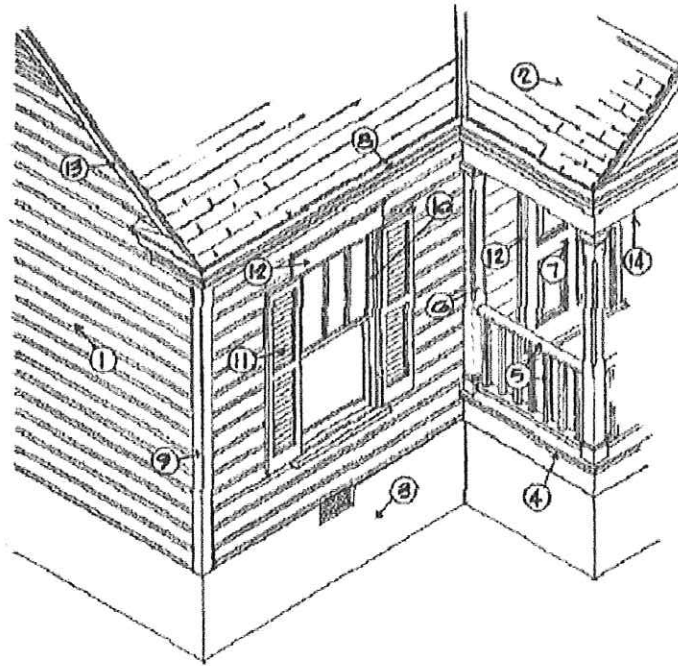
✓ The hvac condenser will be moved to the rear corner of the existing addition, away from the kitchen window and the first bedroom window in the rear addition.

The owners would like to remove the masonry flue from the existing rear addition. This is not historic fabric. It is missing the top of the flue and will continue to allow water and other critters into the space.

The rear exterior door and side lites at the rear earlier addition will be removed and the wall to be infilled. A new wood window will be added to allow natural lite into the powder room. A new full lite wood door will be added as the rear exterior door out of the kitchen. The existing wood deck landing will be removed. There are some siding and water issues in the corner of this house so this will be repaired during this time. A new wood deck will be added as a transition down to grade. It will not include a rail. Wood deck to be pressure treated wood for structure members and decking. The decking boards will be nominally 4" (technically 3.5") width. The last pair of full lite wood doors at the end of the existing rear addition on the Driveway Side Elevation will be removed and a pair of ganged wood windows that will match the windows in the addition in grill pattern and sizing will be added. A low cmu wall will be created below the sill. The cmu will be parged and painted to match the existing.

The concrete steps to the left side of the front of the house will be removed to make way for an exposed aggregate driveway. A curb cut exists and will be used. See site plan for the extents of the new driveway. The masonry retaining wall is not historic as seen in the tax photo submitted with this application. The owners will pull the low wall back to create space for the driveway. All details to match and retain the aesthetic of the existing stone wall.

Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



Applicant Kim & Graham Shirley

Address 223 Elm Street, Raleigh, NC 27601

Paint Manufacturer (Please submit color chips with this schedule)

Color Schedule

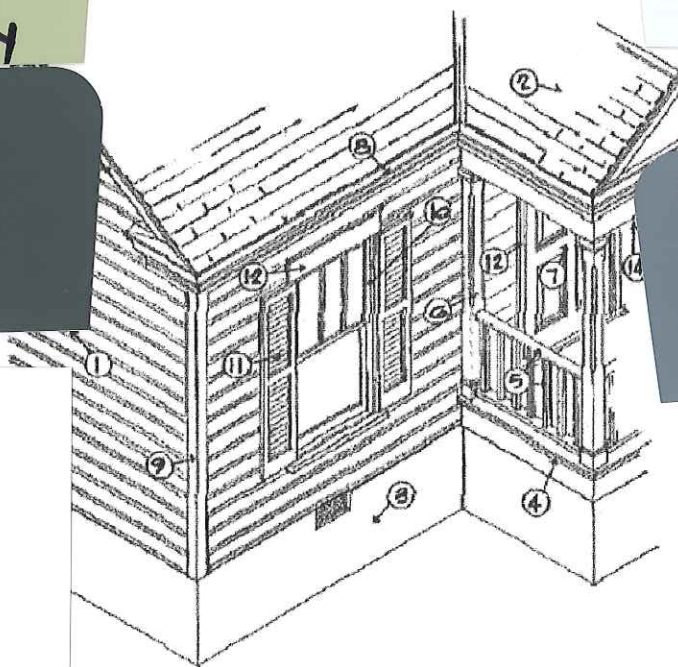
1	Body of House	BM Urban nature AF-440
2	Roofing	Landmark Georgetown Gray architectural shingles
3	Foundation	B.M. Flint AF-560
4	Porch Floor	B.M. Flint AF-560
5	Railing	B.M. White Dove OC-17
6	Columns	B.M. White Dove OC-17
7	Entrance Door	current door stained - leaving as is
8	Cornice	B.M. White Dove OC-17
9	Corner Boards	B.M. White Dove OC-17
10	Window Sash	B.M. Flint AF-560
11	Shutter	B.M. Montpelier AF-555
12	Door & Window Trim	B.M. White Dove OC-17
13	Rake	B.M. White Dove OC-17
14	Porch Ceiling	B.M. Constellation AF-540
15	Other	

body

ceiling

End
Sash
Floor

shutters



BENJAMIN MOORE®
COLOR PREVIEW®

OC-17

OC

trim white dove

Shirley

Address 223 Elm Street, Raleigh, NC 27601

Paint Manufacturer (Please submit color chips with this schedule)

Color Schedule

1	Body of House	BM Urban nature AF-440
2	Roofing	Landmark Georgetown Gray architectural shingles
3	Foundation	B.M. Flint AF-560
4	Porch Floor	B.M. Flint AF-560
5	Railing	B.M. White Dove OC-17
6	Columns	B.M. White Dove OC-17
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9	Corner Boards	B.M. White Dove OC-17
10	Window Sash	B.M. Flint AF-560
11	Shutter	B.M. Montpelier AF-555
12	Door & Window Trim	B.M. White Dove OC-17
13	Rake	B.M. White Dove OC-17
14	Porch Ceiling	B.M. Constellation AF-540
15	Other	



Trellis and shed not shown to
so that rear elevation can be seen.

223 Elm St - Existing Rear Elevation
Scale - 1/8" = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970





Trellis and shed not shown to
so that rear elevation can be seen.

New window
and new wood
deck landing.

Removed non-historic
masonry flue

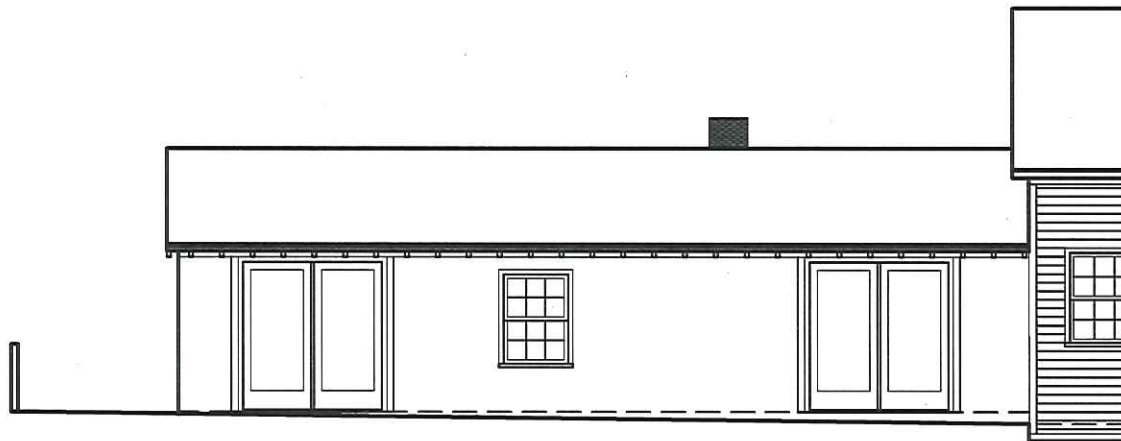
223 Elm St - New Rear Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0570

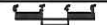


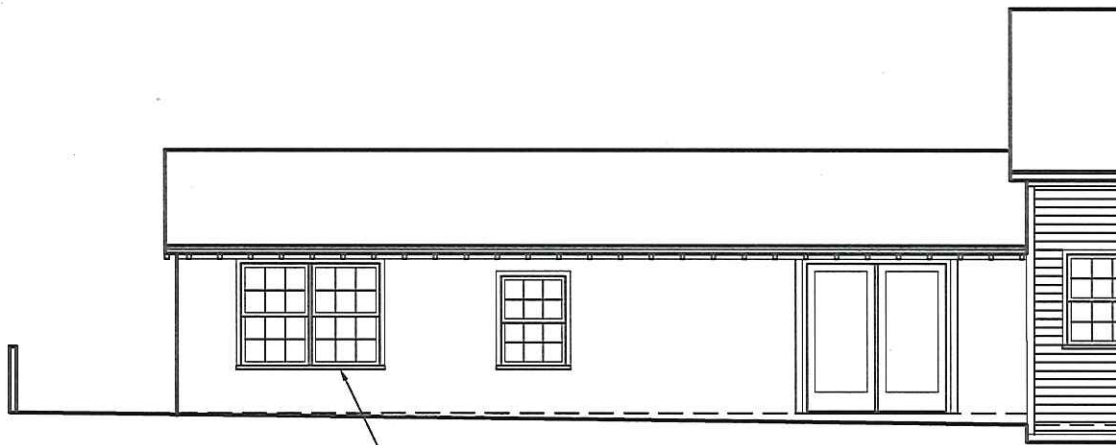


223 Elm St - Existing Driveway Side Elevation
Scale - 1/8" = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.636.0970





New wood window to be consistent with wood windows on addition. Sill to be raised + parge coated.

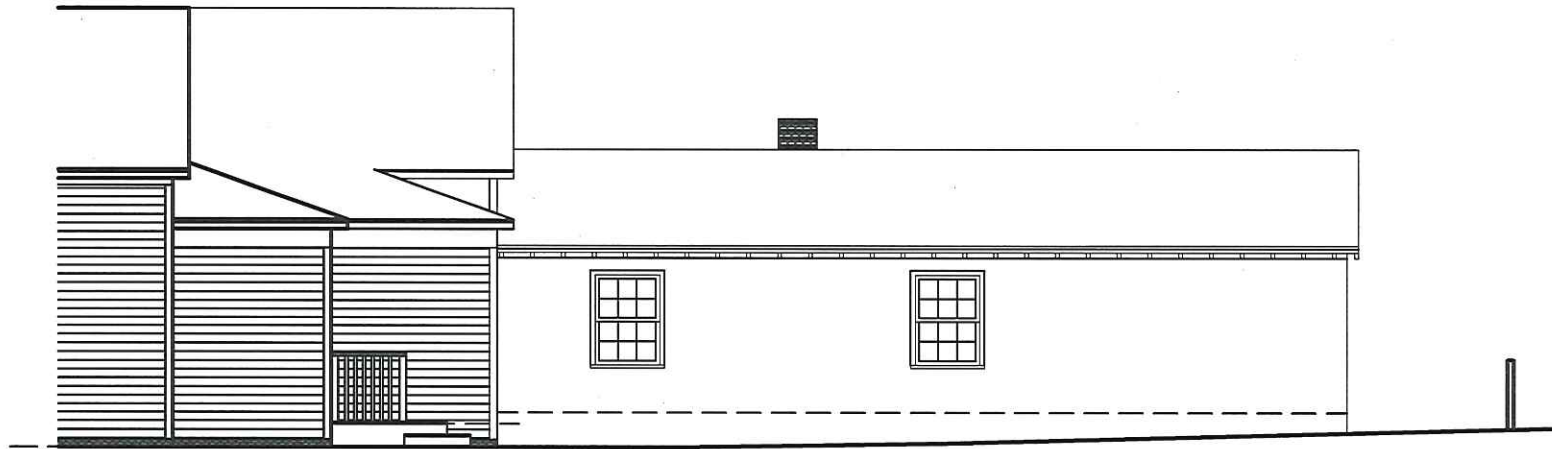
223 Elm St - New Driveway Side Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
306 Poll Street
Raleigh, NC 27604
919.696.0970





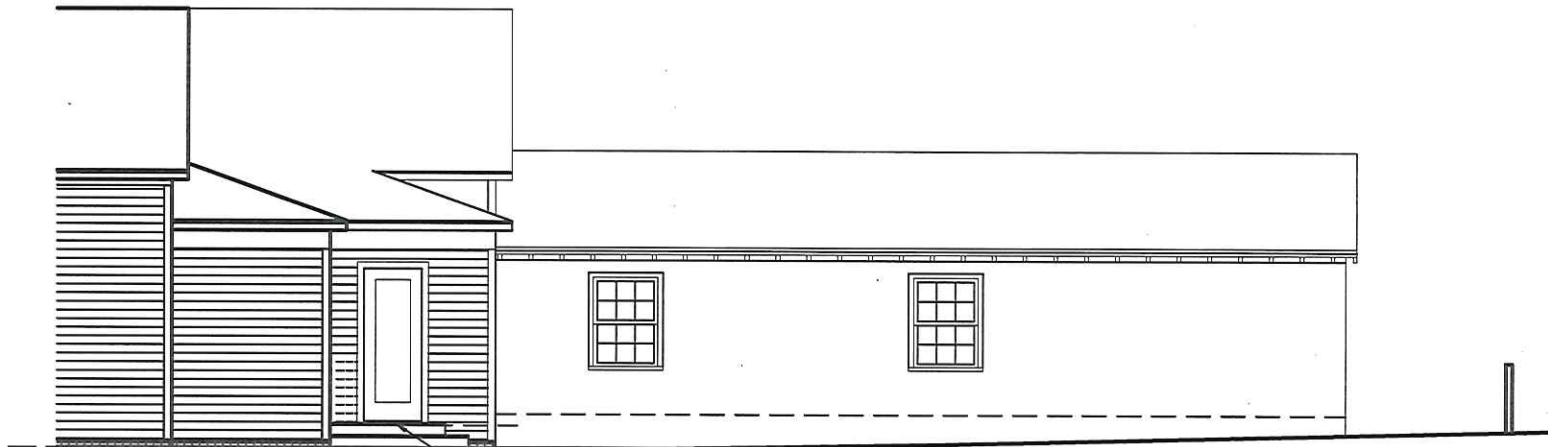
223 Elm St - Existing Patio Side Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
306 Poll Street
Raleigh, NC 27604
919.696.0970





New wood full lite door and new wood deck landing.

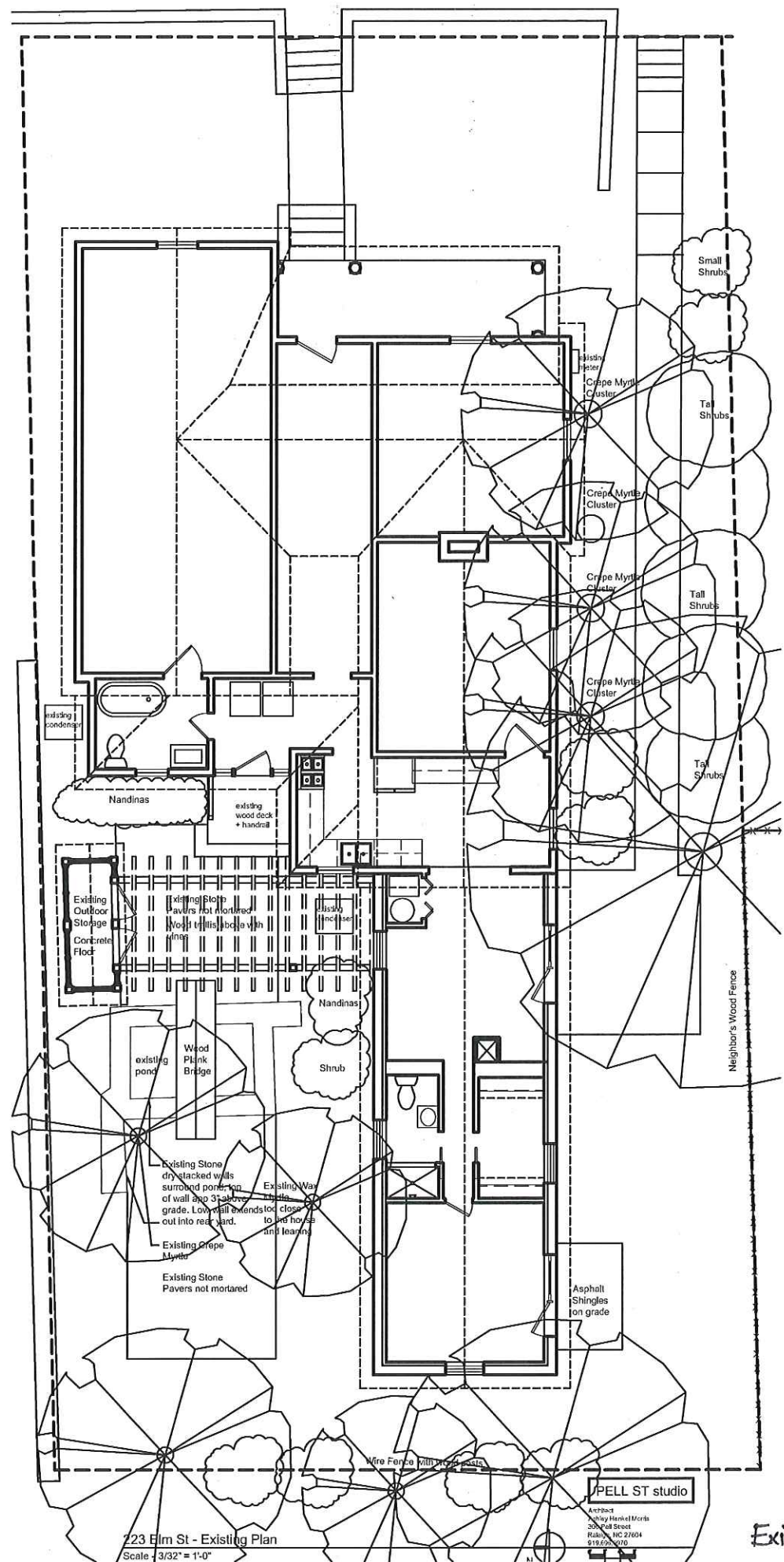
223 Elm St - New Patio Side Elevation

Scale - 1/8" = 1'-0"

PELL ST studio

Architect
Ashley Henkel Morris
306 Pell Street
Raleigh, NC 27604
919.696.0970



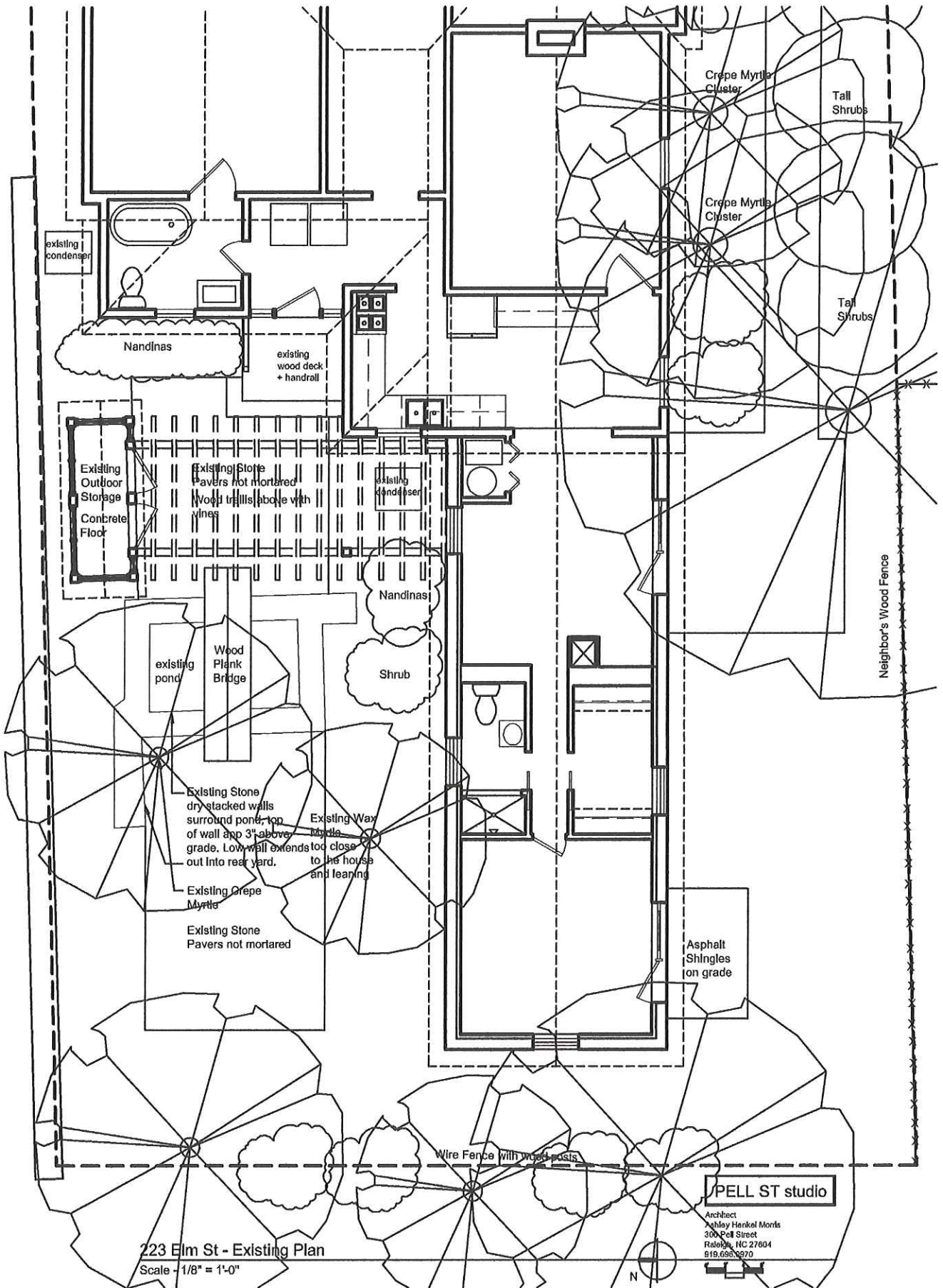


223 Elm St - Existing Plan
Scale 1/32" = 1'-0"

PELL ST studio

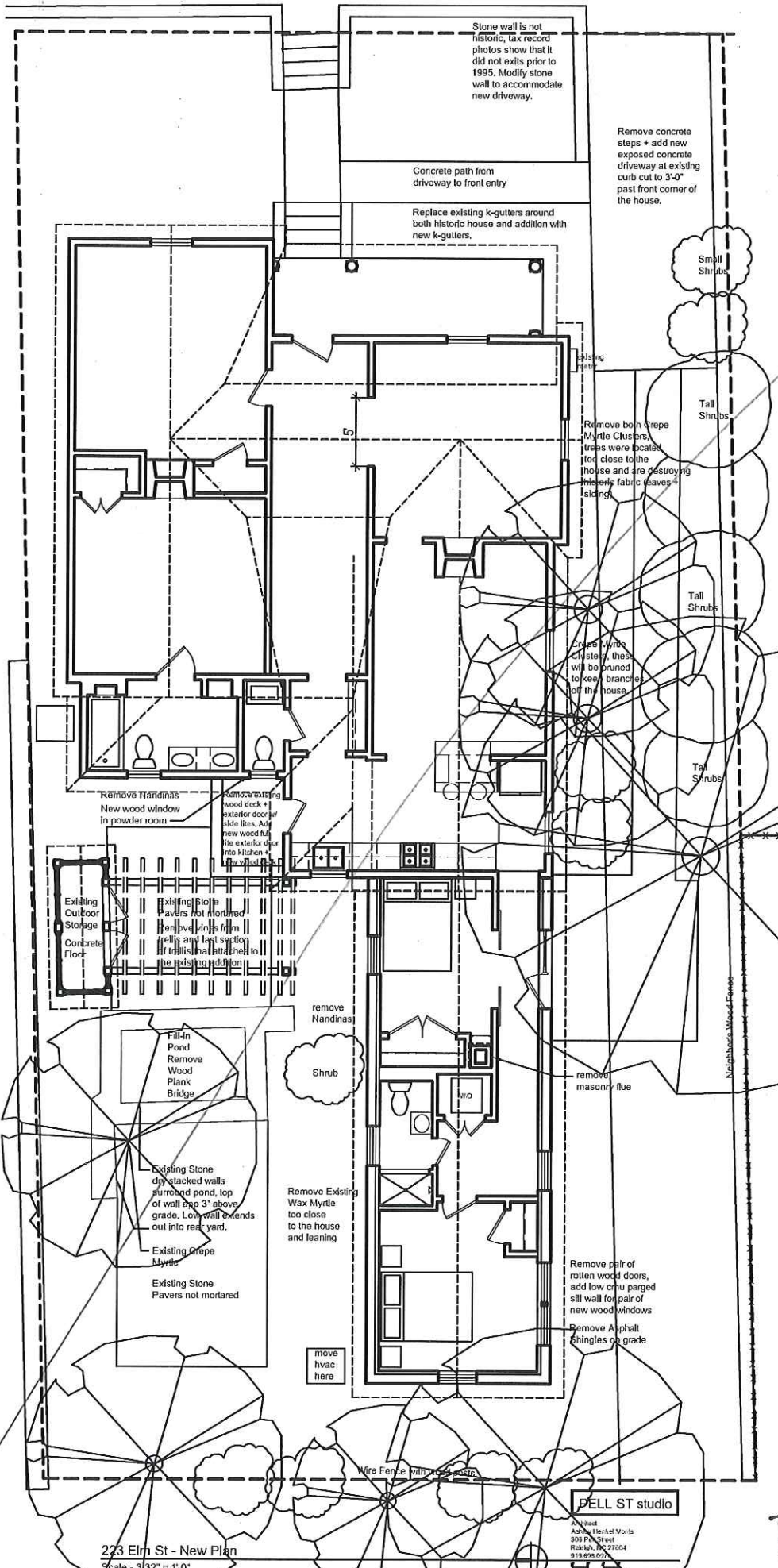
Architect
Shelley Harriet Morris
20098 Street
Raleigh, NC 27604
919.222.2710

Existing



223 Elm St - Existing Plan
 Scale - 1/8" = 1'-0"

Elm St



Remove concrete steps + add new exposed concrete driveway at existing curb cut to 3'-0" past front corner of the house.

Stone wall is not historic, tax record photos show that it did not exist prior to 1995. Modify stone wall to accommodate new driveway.

Concrete path from driveway to front entry

Replace existing k-gutters around both historic house and addition with new k-gutters.

Remove both Crape Myrtle Clusters. Trees were located too close to the house and are destroying historic fabric leaves + siding.

Remove vines on side of house. These will be burned to keep branches of the house.

Remove Nandinas
New wood window in powder room

Remove existing wood deck + exterior door + side flts. Add new wood flt. to exterior door into kitchen

Existing Outdoor Storage
Concrete Floor

Existing Stone
Pavers not mortared
Remove vines from walls and last section of this wall attached to the house

Fill-in Pond
Remove Wood Plank Bridge

Existing Stone
dry stacked walls surround pond, top of wall 2'-0" 3" above grade. Low wall extends out into rear yard.

Existing Crape Myrtle
Existing Stone
Pavers not mortared

remove Nandinas

Shrub

Remove Existing Wax Myrtle too close to the house and leaning

move hvac here

remove masonry flue

Remove pair of rotten wood doors, add low curb parged sill wall for pair of new wood windows

Remove Asphalt shingles on grade

Small Shrubs

Tall Shrubs

Tall Shrubs

Tall Shrubs

Neighboring Wood Fence

See revised 8/12/15



223 Elm St - New Plan
Scale - 3/32" = 1'-0"

PELL ST studio

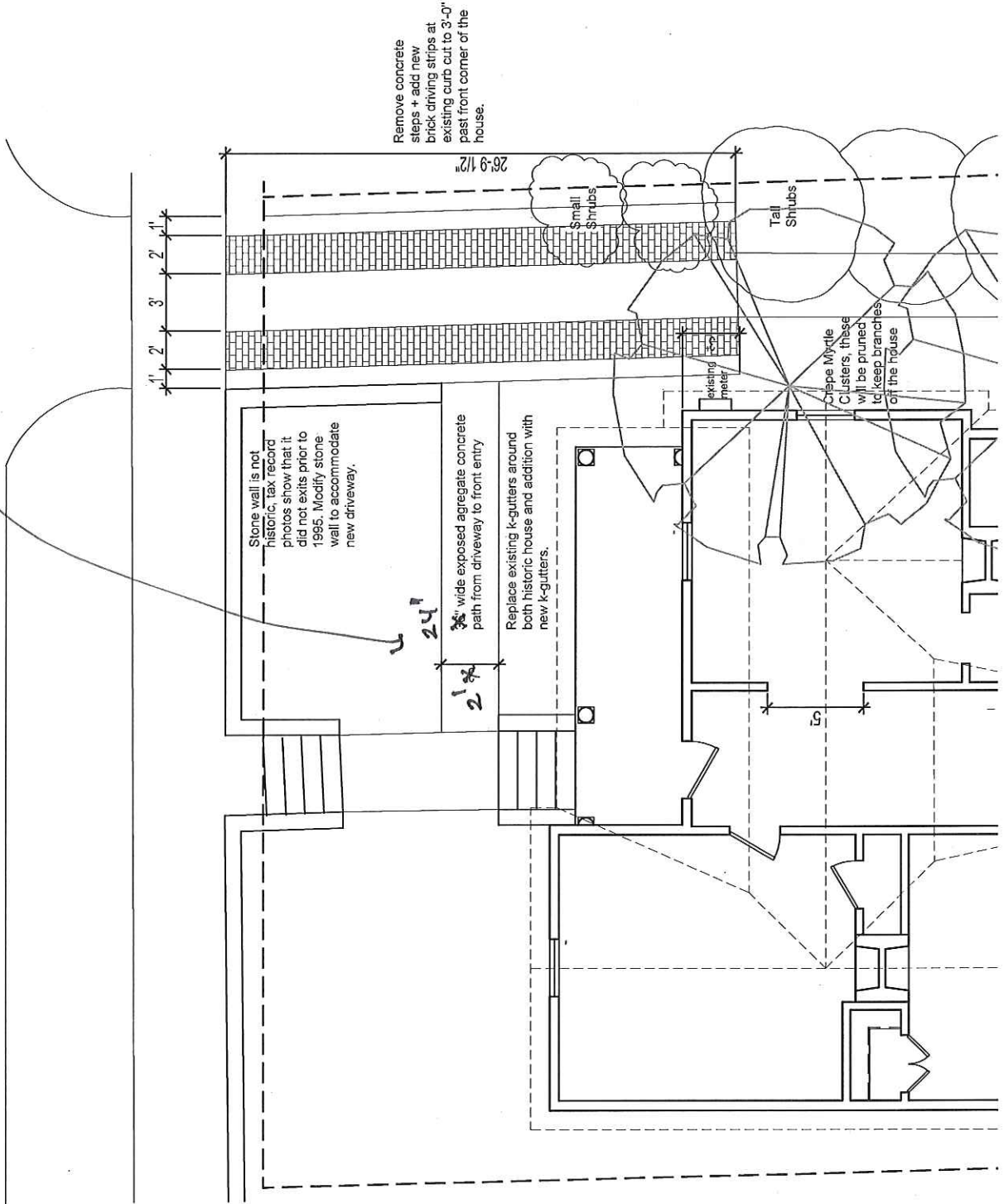
Architect
Ashley Herold Morris
303 PA Street
Raleigh, NC 27604
919.999.0929

Proposed

Revised
8/12/15

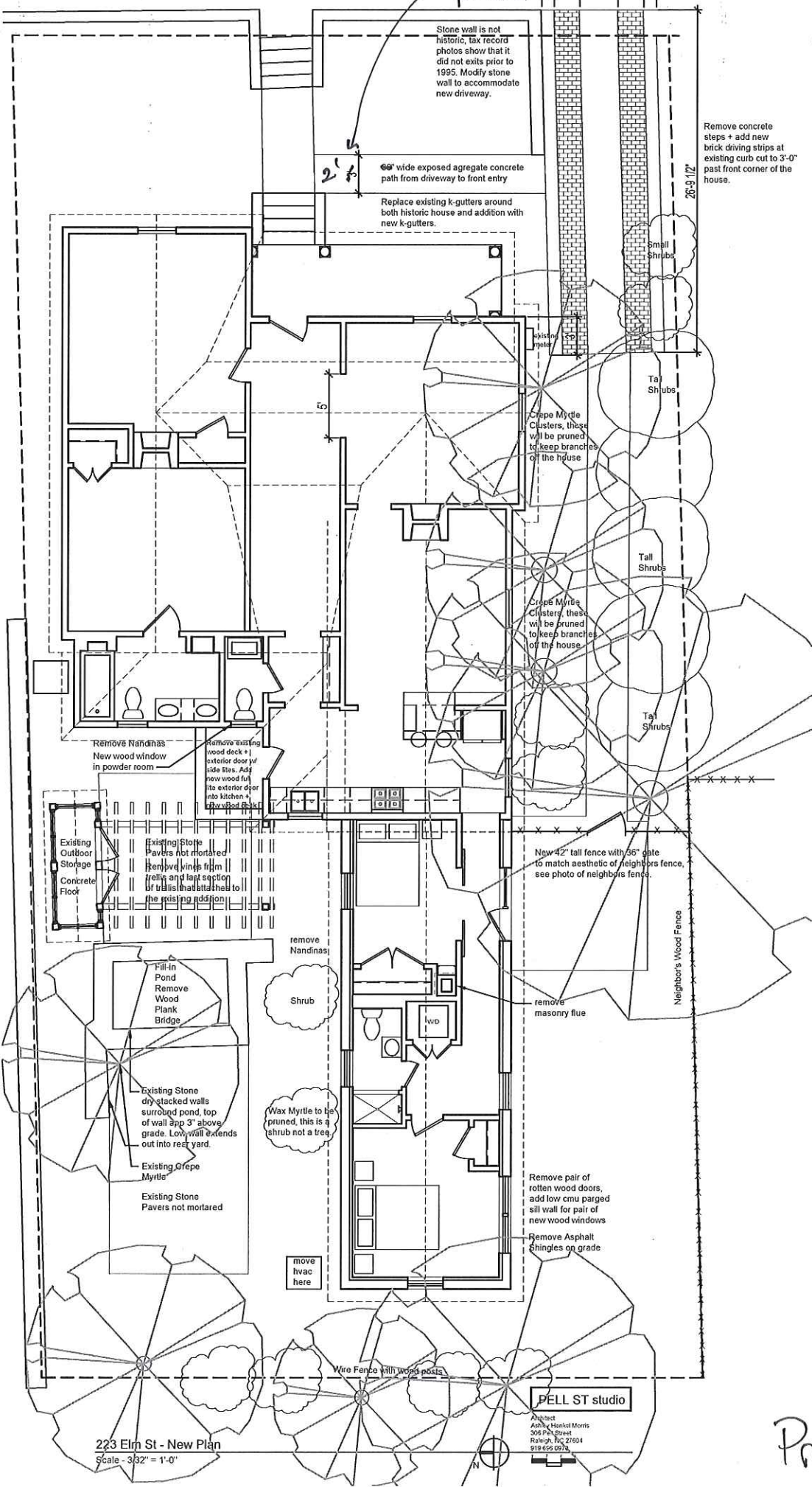
Proposed

per 8/12/15
email



per 8/12/15 email

Revised
8/12/15



Remove concrete steps + add new brick driving strips at existing curb cut to 3'-0" past front corner of the house.

2' f
66" wide exposed aggregate concrete path from driveway to front entry

Replace existing k-gutters around both historic house and addition with new k-gutters.

Stone wall is not historic, tax record photos show that it did not exist prior to 1995. Modify stone wall to accommodate new driveway.

Crape Myrtle Clusters, these will be pruned to keep branches of the house

Crape Myrtle Clusters, these will be pruned to keep branches of the house

Remove Nandinas
New wood window in powder room

remove existing wood deck + exterior door w/ side sto. Add new wood full its exterior door into kitchen + dry wood deck

Existing Outdoor Storage
Concrete Floor

Existing Stone Pavers not mortared
Remove vines from trellis and last section of trellis that attached to the existing addition

Fill-in Pond
Remove Wood Plank Bridge

Existing Stone dry-stacked walls surround pond, top of wall app 3" above grade. Low wall extends out into rear yard.

Existing Crape Myrtle
Existing Stone Pavers not mortared

remove Nandinas

Shrub

Wax Myrtle to be pruned, this is a shrub not a tree

move hvac here

New 42" tall fence with 36" gate to match aesthetic of neighbors fence, see photo of neighbors fence.

remove masonry flue

Remove pair of rotten wood doors, add low cmu parged sill wall for pair of new wood windows

Remove Asphalt Shingles on grade

Neighbor's Wood Fence

Wire Fence with wood posts

PELL ST studio

Architect
Ashley Hankel Morris
308 Park Street
Raleigh, NC 27604
919.659.0276

223 Elm St - New Plan
Scale - 3/32" = 1'-0"

Proposed

The owners would also like to replace the front gutter on the front porch with a new painted k-gutter to match the existing k-gutters around the existing house.



Front Elevation of 223 Elm St – Gutter damage is seen on front porch



Existing curb cut (will remain as is), low stone wall (will be cut back + wing wall moved towards house 2') + concrete steps that will be removed.



Concrete steps that will be removed, 2 crepe myrtle clusters too close to house

Photograph Date: 12/28/1995



Tax Photo from 1995, No Stone wall



Crepe Myrtle Clusters (2 at the front of the house), owners would like to remove these —







~~Wax myrtle to be removed, struggling and too close to the structure.~~



Existing wood trellis to remain, remove section of trellis that attaches to existing addition, small pond + low stone wall to remain, remove wood bridge, and exterior wood + glass door + side lites

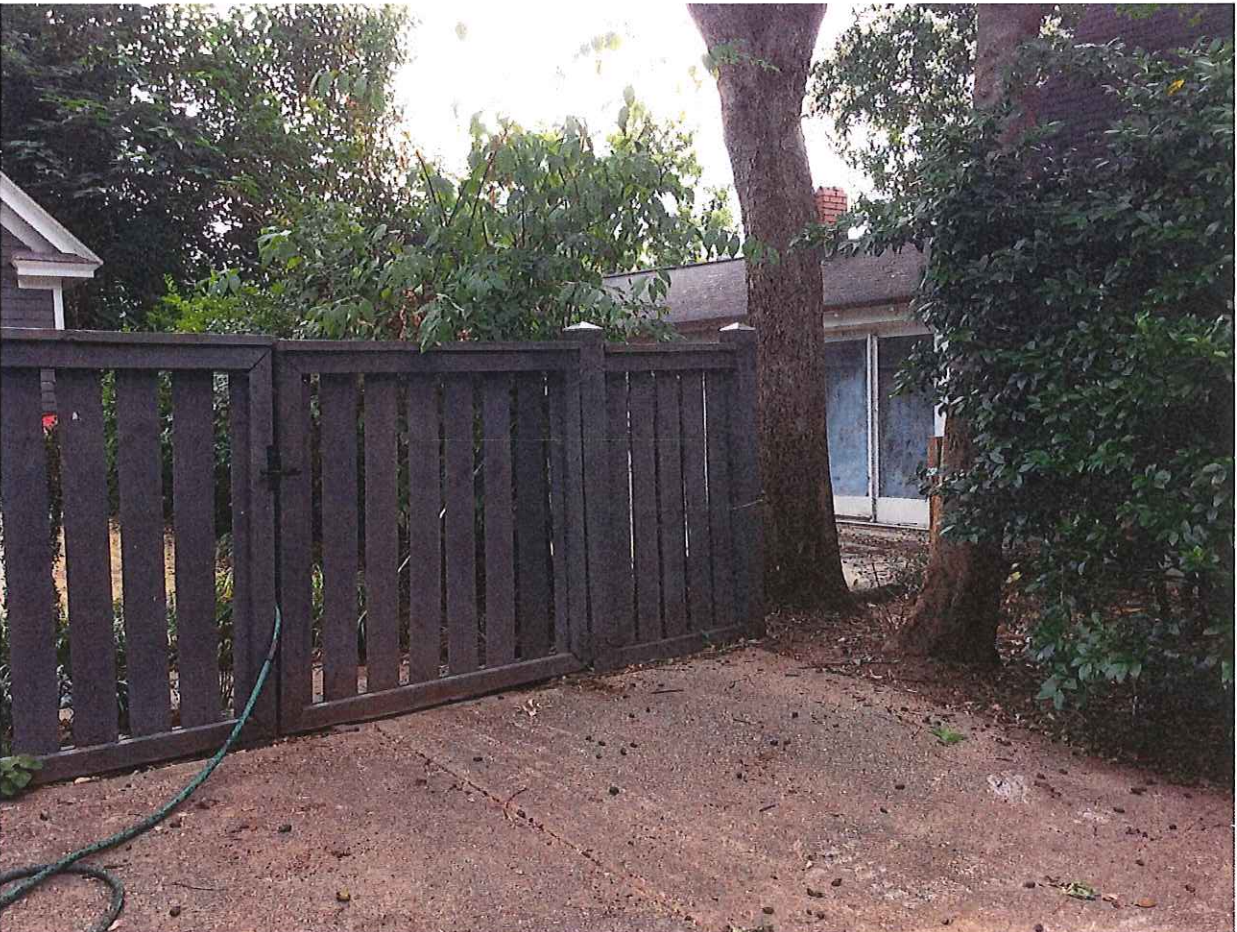


Portion of trellis that attaches to the existing rear addition to be removed

Wall conditions being met.



2015-08-11 09.42.24



2015-08-11 09.43.52

Fence design



Pond to be filled in, bridge to be removed, and stone wall to remain



Another photo of pond, shed + trellis. Crepe myrtle cluster to remain. Vines to be removed.



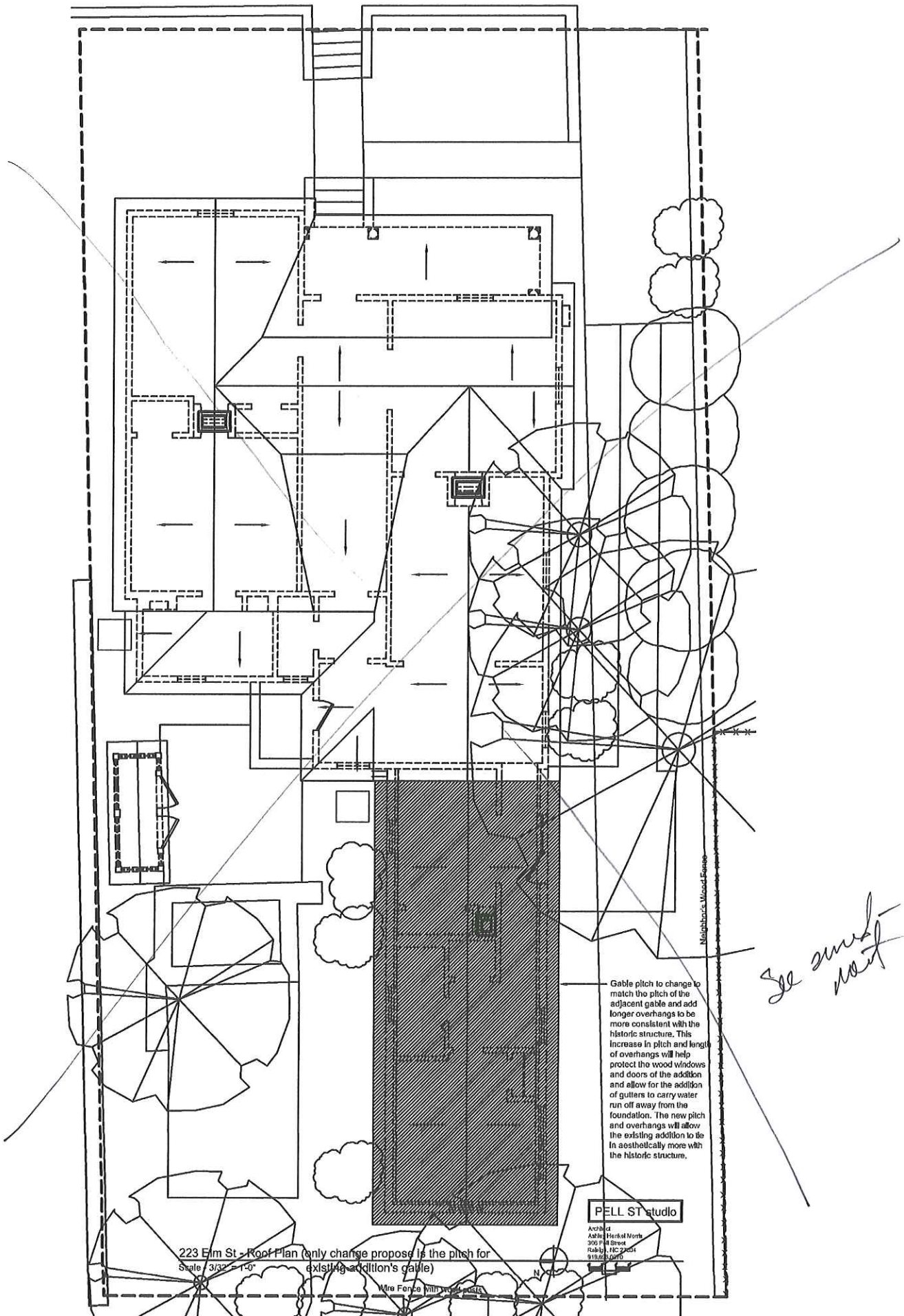
Existing wood full lite pair of doors that owners would like to change to a pair of wood windows (ganged) that fit into the same rough opening as the patio doors. Sill will be raised with a low cmu wall, parged and painted to match existing exterior wall.



Rear addition, patio doors that will be changed + masonry flue that will be removed



View looking back to rear crepe myrtle clusters that will be pruned to preserve the wood work



223 Elm St - Roof Plan (only change propose is the pitch for existing addition's gable)

Scale: 3/32" = 1'-0"

Gable pitch to change to match the pitch of the adjacent gable and add longer overhangs to be more consistent with the historic structure. This increase in pitch and length of overhangs will help protect the wood windows and doors of the addition and allow for the addition of gutters to carry water run off away from the foundation. The new pitch and overhangs will allow the existing addition to tie in aesthetically more with the historic structure.

PELL ST studio

Architect
 Address: Parkland North
 3007 44 Street
 Raleigh, NC 27604
 919.833.1000

See next page

Neighborhood Wood Frame

BLOUNT ST		OAKWOOD ST
BLOUNT ST	☒ SITE	LANE ST
		JONES ST

VICINITY MAP (no scale)

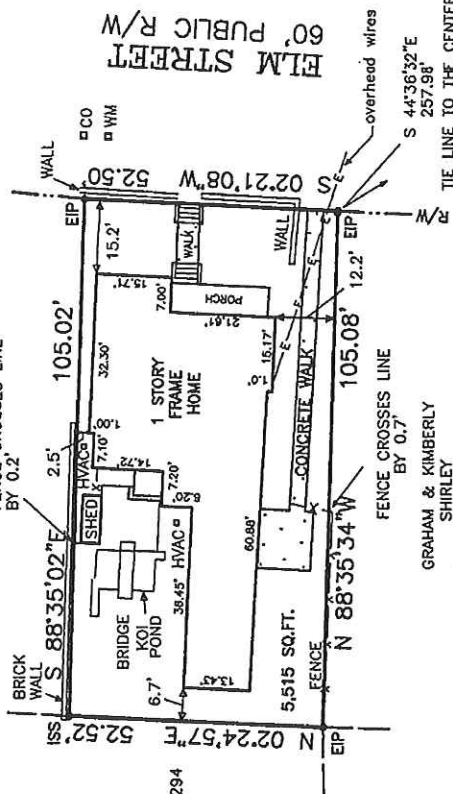
LEGEND

- EIP - EXISTING IRON PIPE
- ISS - IRON STAKE SET
- WM - WATER METER
- HVAC - HEAT/AC UNIT
- D.B. - DEED BOOK
- CO - SEWER CLEANOUT
- SQ.FT. - SQUARE FEET
- INTX. - INTERSECTION

NOTES

AREA BY COORDINATES.
THIS LOT IS NOT LOCATED IN A FEMA MAPPED FLOOD HAZARD AREA. FEMA MAP # 37201704000; & 37201703000; ZONE X; EFF. DATE 5/2/2006. SUBJECT TO ABOVE AND OR UNDERGROUND UTILITIES AND OR EASEMENTS.

JOSEPH NUNNERY
O.B. 15060 PG.437



GRAHAM & KIMBERLY
SHIRLEY
D.B. 15632 PG. 1917

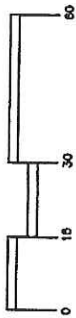
PHYSICAL SURVEY FOR

A. GRAHAM SHIRLEY
AND

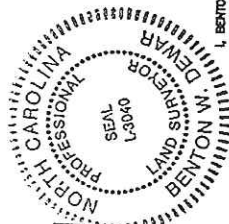
KIMBERLY B. SHIRLEY

222 ELM STREET, RALEIGH, NC 27601
DEED BOOK 12042 PAGE 734
PIN # 1704905100

RALEIGH TOWNSHIP
WAKE COUNTY - NORTH CAROLINA
SCALE: 1" = 30' - JUNE 29, 2015



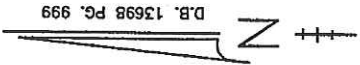
BENTON DEWAR & ASSOCIATES
PROFESSIONAL LAND SURVEYOR
5920 HONEYCUTT ROAD
HOLLY SPRINGS, NC 27640
(919)-552-9813



I, BENTON W. DEWAR CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY PERSONAL SUPERVISION THAT THE RATIO OF PRECISION IS 1:1000. THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES PLACED FROM INFORMATION FOUND IN BOOK FOR RECORDING IN THE REGISTERED OFFICES PER G.S. 17-30 AS AMENDED. LICENSE NUMBER AND SEAL THIS 29th DAY OF JUNE 2015

Benton W. Dewar
PROFESSIONAL LAND SURVEYOR L-3040

THIS PLAT IS OF A BOUNDARY SURVEY OF AN EXISTING PARCEL OF LAND AS AUTHORIZED BY A COUNTY OR MUNICIPALITY ORDINANCE THAT REGULATES PARCELS OF LAND.



D.B. 13698 PG. 999

ELM STREET
60' PUBLIC R/W

TIE LINE TO THE CENTERLINE
INTX. OF ELM ST. & JONES ST.

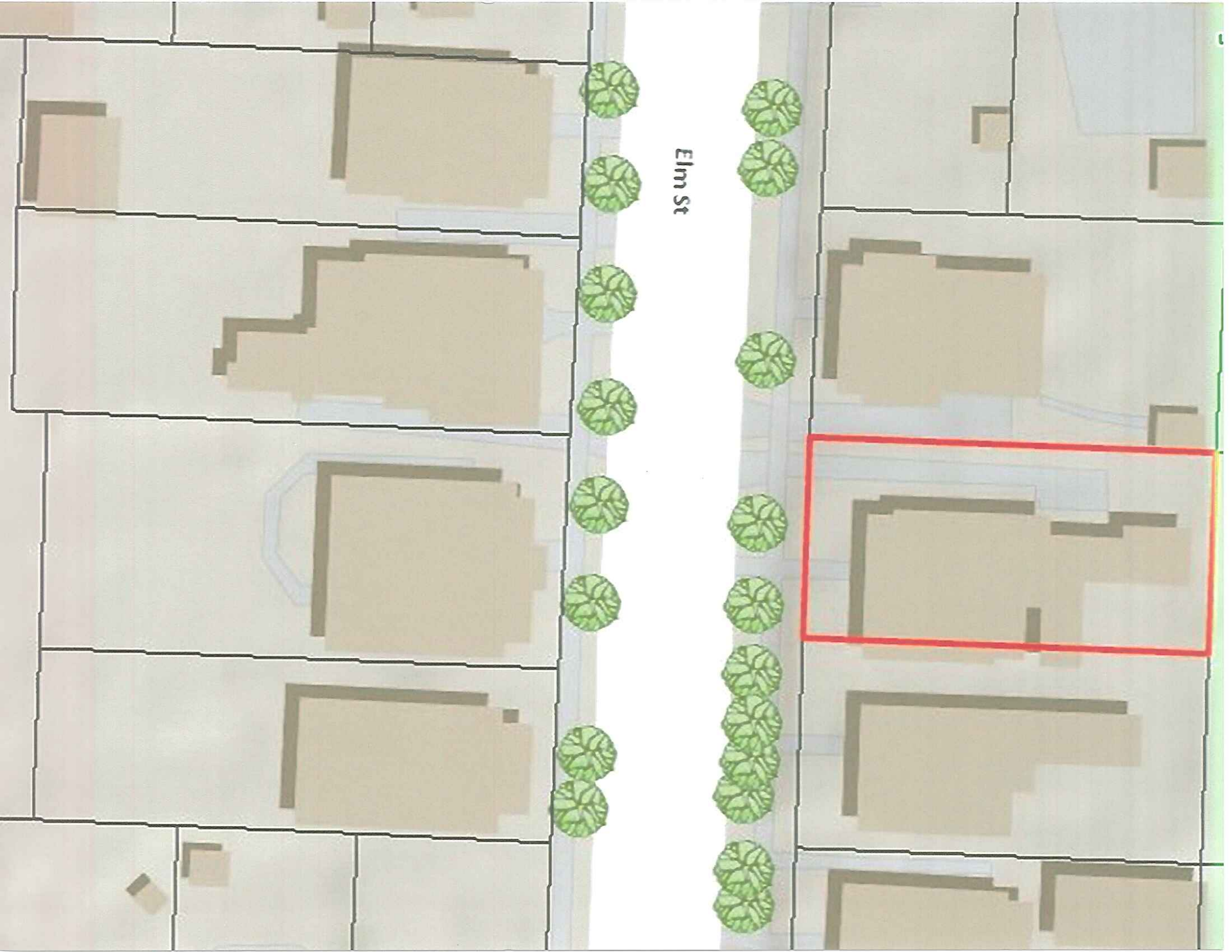
15-151s
222ELM\1600



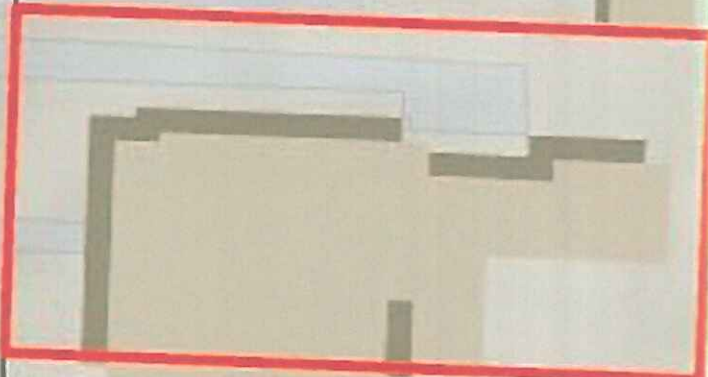
Existing gutter on front of
223 Elm street.

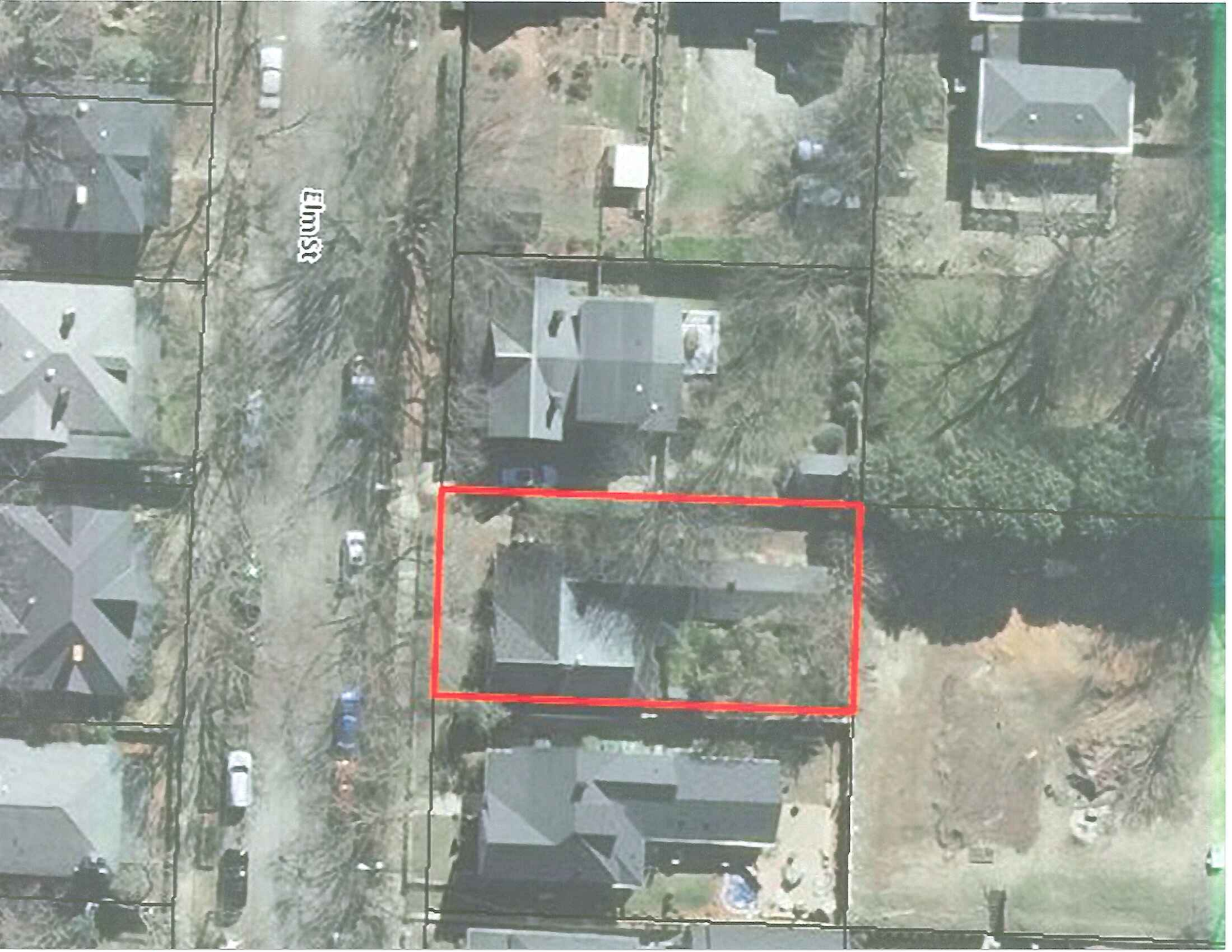
Request to replace existing ^{K-style} damaged gutter to match other existing K-style gutters



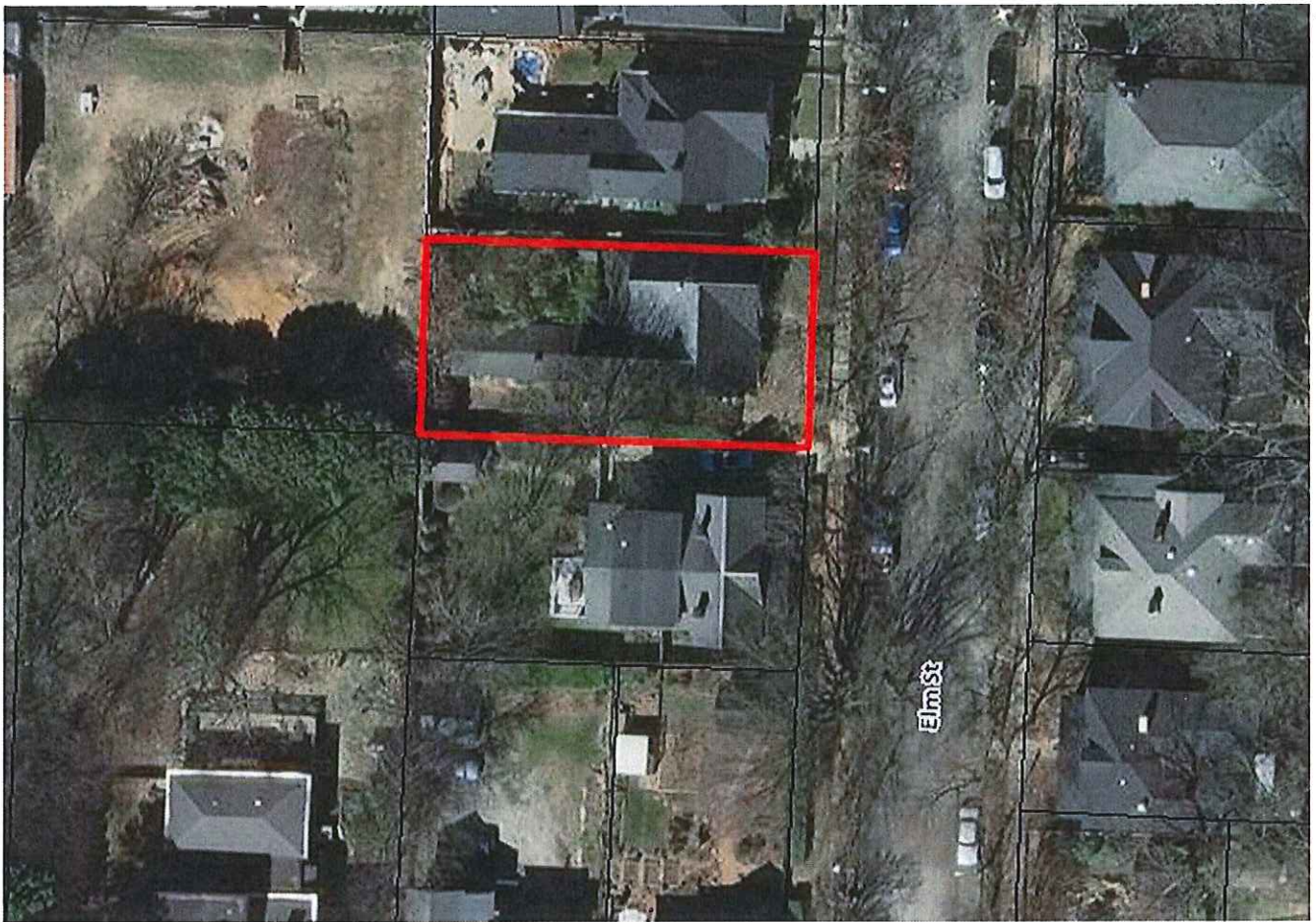


Elm St

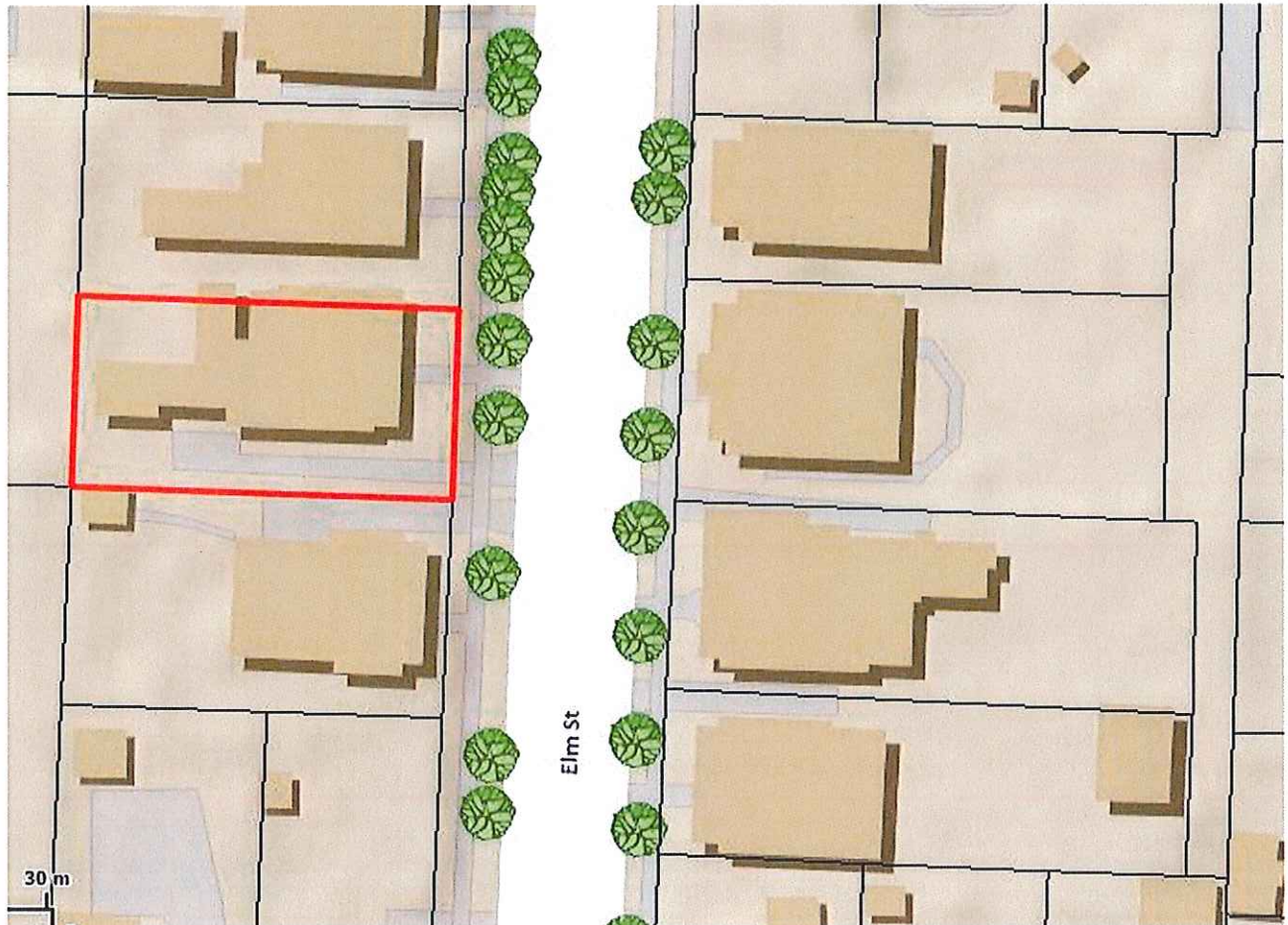




Elm St



223ElmSt-aerial



223ElmSt-imaps

Photograph Date: 12/28/1995



1995-Tax-photo-no-stone-wall

JELD-WEN
WINDOWS & DOORS

Siteline EX Clad Awning Windows
Premium Wood

1-WIDE UNITS

24 1/2" x 66 1/2" #1 JW114124 26 1/2" x 66 1/2" #1 JW114124 28 1/2" x 66 1/2" #1 JW114124 30 1/2" x 66 1/2" #1 JW114124 32 1/2" x 66 1/2" #1 24 1/2" x 72 1/2" #1 JW114124 26 1/2" x 72 1/2" #1 JW114124 28 1/2" x 72 1/2" #1 JW114124 30 1/2" x 72 1/2" #1 JW114124 32 1/2" x 72 1/2" #1 24 1/2" x 78 1/2" #1 JW114124 26 1/2" x 78 1/2" #1 JW114124 28 1/2" x 78 1/2" #1 JW114124 30 1/2" x 78 1/2" #1 JW114124 32 1/2" x 78 1/2" #1 24 1/2" x 84 1/2" #1 JW114124 26 1/2" x 84 1/2" #1 JW114124 28 1/2" x 84 1/2" #1 JW114124 30 1/2" x 84 1/2" #1 JW114124 32 1/2" x 84 1/2" #1	24 1/2" x 66 1/2" #2 JW114124 26 1/2" x 66 1/2" #2 JW114124 28 1/2" x 66 1/2" #2 JW114124 30 1/2" x 66 1/2" #2 JW114124 32 1/2" x 66 1/2" #2 24 1/2" x 72 1/2" #2 JW114124 26 1/2" x 72 1/2" #2 JW114124 28 1/2" x 72 1/2" #2 JW114124 30 1/2" x 72 1/2" #2 JW114124 32 1/2" x 72 1/2" #2 24 1/2" x 78 1/2" #2 JW114124 26 1/2" x 78 1/2" #2 JW114124 28 1/2" x 78 1/2" #2 JW114124 30 1/2" x 78 1/2" #2 JW114124 32 1/2" x 78 1/2" #2 24 1/2" x 84 1/2" #2 JW114124 26 1/2" x 84 1/2" #2 JW114124 28 1/2" x 84 1/2" #2 JW114124 30 1/2" x 84 1/2" #2 JW114124 32 1/2" x 84 1/2" #2	24 1/2" x 66 1/2" #3 JW114124 26 1/2" x 66 1/2" #3 JW114124 28 1/2" x 66 1/2" #3 JW114124 30 1/2" x 66 1/2" #3 JW114124 32 1/2" x 66 1/2" #3 24 1/2" x 72 1/2" #3 JW114124 26 1/2" x 72 1/2" #3 JW114124 28 1/2" x 72 1/2" #3 JW114124 30 1/2" x 72 1/2" #3 JW114124 32 1/2" x 72 1/2" #3 24 1/2" x 78 1/2" #3 JW114124 26 1/2" x 78 1/2" #3 JW114124 28 1/2" x 78 1/2" #3 JW114124 30 1/2" x 78 1/2" #3 JW114124 32 1/2" x 78 1/2" #3 24 1/2" x 84 1/2" #3 JW114124 26 1/2" x 84 1/2" #3 JW114124 28 1/2" x 84 1/2" #3 JW114124 30 1/2" x 84 1/2" #3 JW114124 32 1/2" x 84 1/2" #3	24 1/2" x 66 1/2" #4 JW114124 26 1/2" x 66 1/2" #4 JW114124 28 1/2" x 66 1/2" #4 JW114124 30 1/2" x 66 1/2" #4 JW114124 32 1/2" x 66 1/2" #4 24 1/2" x 72 1/2" #4 JW114124 26 1/2" x 72 1/2" #4 JW114124 28 1/2" x 72 1/2" #4 JW114124 30 1/2" x 72 1/2" #4 JW114124 32 1/2" x 72 1/2" #4 24 1/2" x 78 1/2" #4 JW114124 26 1/2" x 78 1/2" #4 JW114124 28 1/2" x 78 1/2" #4 JW114124 30 1/2" x 78 1/2" #4 JW114124 32 1/2" x 78 1/2" #4 24 1/2" x 84 1/2" #4 JW114124 26 1/2" x 84 1/2" #4 JW114124 28 1/2" x 84 1/2" #4 JW114124 30 1/2" x 84 1/2" #4 JW114124 32 1/2" x 84 1/2" #4	24 1/2" x 66 1/2" #5 JW114124 26 1/2" x 66 1/2" #5 JW114124 28 1/2" x 66 1/2" #5 JW114124 30 1/2" x 66 1/2" #5 JW114124 32 1/2" x 66 1/2" #5 24 1/2" x 72 1/2" #5 JW114124 26 1/2" x 72 1/2" #5 JW114124 28 1/2" x 72 1/2" #5 JW114124 30 1/2" x 72 1/2" #5 JW114124 32 1/2" x 72 1/2" #5 24 1/2" x 78 1/2" #5 JW114124 26 1/2" x 78 1/2" #5 JW114124 28 1/2" x 78 1/2" #5 JW114124 30 1/2" x 78 1/2" #5 JW114124 32 1/2" x 78 1/2" #5 24 1/2" x 84 1/2" #5 JW114124 26 1/2" x 84 1/2" #5 JW114124 28 1/2" x 84 1/2" #5 JW114124 30 1/2" x 84 1/2" #5 JW114124 32 1/2" x 84 1/2" #5	24 1/2" x 66 1/2" #6 JW114124 26 1/2" x 66 1/2" #6 JW114124 28 1/2" x 66 1/2" #6 JW114124 30 1/2" x 66 1/2" #6 JW114124 32 1/2" x 66 1/2" #6 24 1/2" x 72 1/2" #6 JW114124 26 1/2" x 72 1/2" #6 JW114124 28 1/2" x 72 1/2" #6 JW114124 30 1/2" x 72 1/2" #6 JW114124 32 1/2" x 72 1/2" #6 24 1/2" x 78 1/2" #6 JW114124 26 1/2" x 78 1/2" #6 JW114124 28 1/2" x 78 1/2" #6 JW114124 30 1/2" x 78 1/2" #6 JW114124 32 1/2" x 78 1/2" #6 24 1/2" x 84 1/2" #6 JW114124 26 1/2" x 84 1/2" #6 JW114124 28 1/2" x 84 1/2" #6 JW114124 30 1/2" x 84 1/2" #6 JW114124 32 1/2" x 84 1/2" #6	24 1/2" x 66 1/2" #7 JW114124 26 1/2" x 66 1/2" #7 JW114124 28 1/2" x 66 1/2" #7 JW114124 30 1/2" x 66 1/2" #7 JW114124 32 1/2" x 66 1/2" #7 24 1/2" x 72 1/2" #7 JW114124 26 1/2" x 72 1/2" #7 JW114124 28 1/2" x 72 1/2" #7 JW114124 30 1/2" x 72 1/2" #7 JW114124 32 1/2" x 72 1/2" #7 24 1/2" x 78 1/2" #7 JW114124 26 1/2" x 78 1/2" #7 JW114124 28 1/2" x 78 1/2" #7 JW114124 30 1/2" x 78 1/2" #7 JW114124 32 1/2" x 78 1/2" #7 24 1/2" x 84 1/2" #7 JW114124 26 1/2" x 84 1/2" #7 JW114124 28 1/2" x 84 1/2" #7 JW114124 30 1/2" x 84 1/2" #7 JW114124 32 1/2" x 84 1/2" #7	24 1/2" x 66 1/2" #8 JW114124 26 1/2" x 66 1/2" #8 JW114124 28 1/2" x 66 1/2" #8 JW114124 30 1/2" x 66 1/2" #8 JW114124 32 1/2" x 66 1/2" #8 24 1/2" x 72 1/2" #8 JW114124 26 1/2" x 72 1/2" #8 JW114124 28 1/2" x 72 1/2" #8 JW114124 30 1/2" x 72 1/2" #8 JW114124 32 1/2" x 72 1/2" #8 24 1/2" x 78 1/2" #8 JW114124 26 1/2" x 78 1/2" #8 JW114124 28 1/2" x 78 1/2" #8 JW114124 30 1/2" x 78 1/2" #8 JW114124 32 1/2" x 78 1/2" #8 24 1/2" x 84 1/2" #8 JW114124 26 1/2" x 84 1/2" #8 JW114124 28 1/2" x 84 1/2" #8 JW114124 30 1/2" x 84 1/2" #8 JW114124 32 1/2" x 84 1/2" #8
--	--	--	--	--	--	--	--

See list on elevation for grille pattern

JELD-WEN reserves the right to change specifications without notice.

SCALE 1/8" = 1'

Page 3-2

Architectural Detail Manual
December 2014

Window specs

TECHNICAL DATA: ELEVATIONS

Single Swing Patio Doors

Prime Unit Dimension Rough Opening Frame Glass	2'-0"	3'-0"	3'-4"
	2'-7"	2'-9"	3'-1"
	2'-7"	2'-9"	3'-1"
	20 1/8"	22 1/8"	26 1/8"
80 1/2"	2696	2896	3096
79 1/2"			
82 1/2"	2698	2898	3098
82"			
81 1/2"			
81"			
87 1/2"	2670	2870	3070
86 1/2"			
85 1/2"			
85"			
90 1/2"	2680	2880	3080
90"			
89 1/2"			
89"			
108 1/2"	2690	2890	3090
108"			
107 1/2"			
107"			

2-Wide Swing Patio Doors

Prime Unit Dimension Rough Opening Frame Glass	5'-4 1/2"	5'-6"	6'-4 1/2"
	5'-2 1/2"	5'-6 1/2"	6'-2 1/2"
	5'-1 1/2"	5'-5 1/2"	6'-1 1/2"
	20 1/8"	22 1/8"	26 1/8"
80 1/2"	5086	5486	6086
79 1/2"			
82 1/2"	5088	5488	6088
82"			
81 1/2"			
81"			
87 1/2"	5070	5470	6070
86 1/2"			
85 1/2"			
85"			
90 1/2"	5080	5480	6080
90"			
89 1/2"			
89"			
108 1/2"	5090	5490	6090
108"			
107 1/2"			
107"			

Unit Dimension given for wood In-Swing units only. Wood Out-Swing unit dimensions 3/8" larger in width and 3/16" larger in height.

Clad Unit Dimension is identical to Frame Size

Masonry Opening: Recommended minimum of Unit or Frame Dimension plus 1/2"

Standard lite division depicted on single panel

Door-specs

JELD-WEN WINDOWS & DOORS

Siteline EX Clad Double-Hung Windows Premium Wood

2-WIDE UNITS

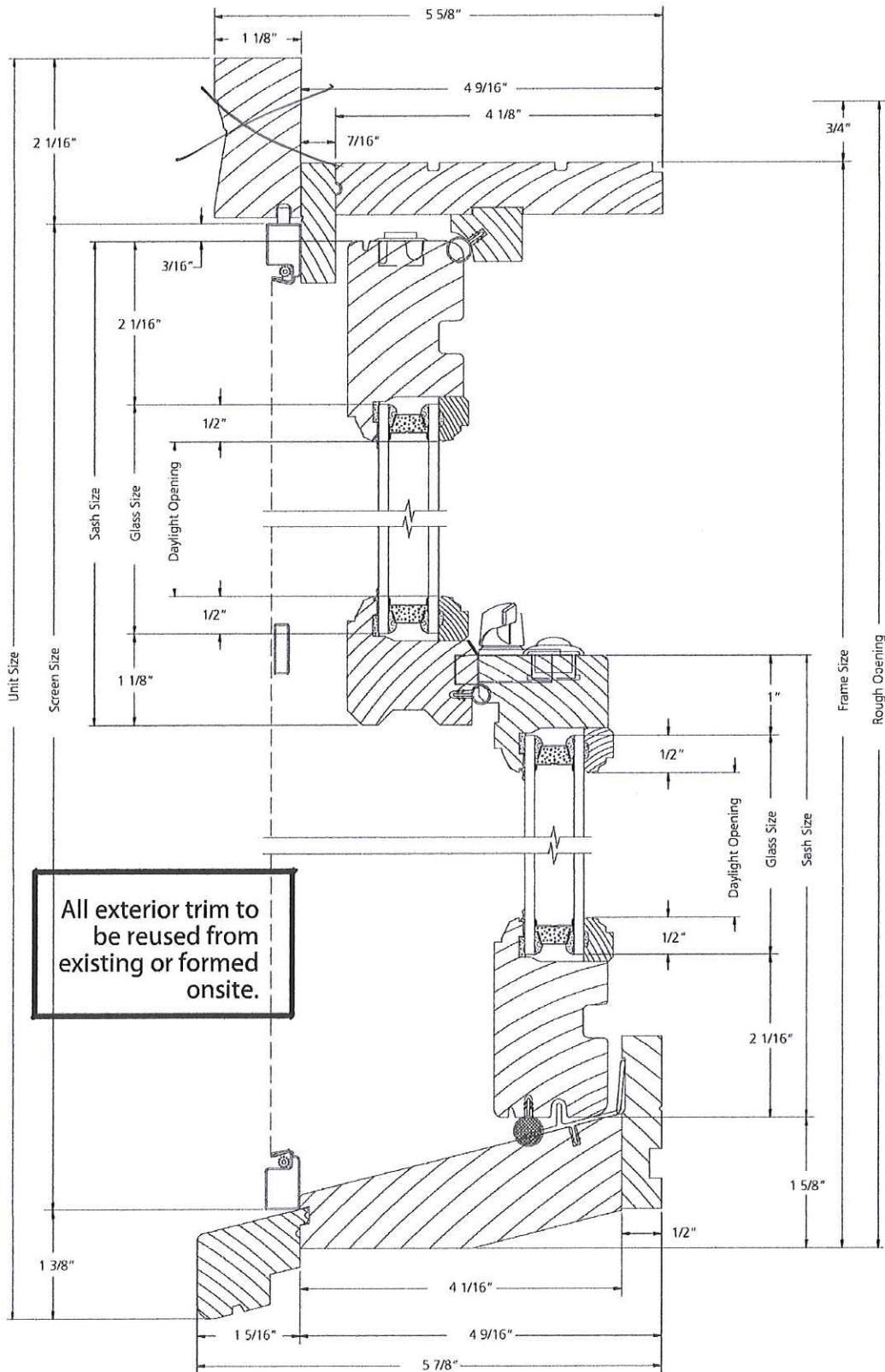
GLASS DIVISIONS IN FRAME Rough Opening Frame Size Masonry Opening	48 1/2" x 72 1/2" 48 1/2" x 72 1/2" 48 1/2" x 72 1/2"	54 1/2" x 72 1/2" 54 1/2" x 72 1/2" 54 1/2" x 72 1/2"	60 1/2" x 72 1/2" 60 1/2" x 72 1/2" 60 1/2" x 72 1/2"	66 1/2" x 72 1/2" 66 1/2" x 72 1/2" 66 1/2" x 72 1/2"	72 1/2" x 72 1/2" 72 1/2" x 72 1/2" 72 1/2" x 72 1/2"	78 1/2" x 72 1/2" 78 1/2" x 72 1/2" 78 1/2" x 72 1/2"	84 1/2" x 72 1/2" 84 1/2" x 72 1/2" 84 1/2" x 72 1/2"
16 1/2" x 16 1/2"	82200-1	82200-1	82200-1	82200-1	82200-1	82200-1	82200-1
16 1/2" x 24 1/2"	82200-2	82200-2	82200-2	82200-2	82200-2	82200-2	82200-2
16 1/2" x 32 1/2"	82200-3	82200-3	82200-3	82200-3	82200-3	82200-3	82200-3
24 1/2" x 16 1/2"	82200-4	82200-4	82200-4	82200-4	82200-4	82200-4	82200-4
24 1/2" x 24 1/2"	82200-5	82200-5	82200-5	82200-5	82200-5	82200-5	82200-5
24 1/2" x 32 1/2"	82200-6	82200-6	82200-6	82200-6	82200-6	82200-6	82200-6
32 1/2" x 16 1/2"	82200-7	82200-7	82200-7	82200-7	82200-7	82200-7	82200-7
32 1/2" x 24 1/2"	82200-8	82200-8	82200-8	82200-8	82200-8	82200-8	82200-8
32 1/2" x 32 1/2"	82200-9	82200-9	82200-9	82200-9	82200-9	82200-9	82200-9
40 1/2" x 16 1/2"	82200-10	82200-10	82200-10	82200-10	82200-10	82200-10	82200-10
40 1/2" x 24 1/2"	82200-11	82200-11	82200-11	82200-11	82200-11	82200-11	82200-11
40 1/2" x 32 1/2"	82200-12	82200-12	82200-12	82200-12	82200-12	82200-12	82200-12
48 1/2" x 16 1/2"	82200-13	82200-13	82200-13	82200-13	82200-13	82200-13	82200-13
48 1/2" x 24 1/2"	82200-14	82200-14	82200-14	82200-14	82200-14	82200-14	82200-14
48 1/2" x 32 1/2"	82200-15	82200-15	82200-15	82200-15	82200-15	82200-15	82200-15
56 1/2" x 16 1/2"	82200-16	82200-16	82200-16	82200-16	82200-16	82200-16	82200-16
56 1/2" x 24 1/2"	82200-17	82200-17	82200-17	82200-17	82200-17	82200-17	82200-17
56 1/2" x 32 1/2"	82200-18	82200-18	82200-18	82200-18	82200-18	82200-18	82200-18
64 1/2" x 16 1/2"	82200-19	82200-19	82200-19	82200-19	82200-19	82200-19	82200-19
64 1/2" x 24 1/2"	82200-20	82200-20	82200-20	82200-20	82200-20	82200-20	82200-20
64 1/2" x 32 1/2"	82200-21	82200-21	82200-21	82200-21	82200-21	82200-21	82200-21

w/graphics to match existing

ELEVATION FRAME SIZES
 16 1/2" x 16 1/2"
 16 1/2" x 24 1/2"
 16 1/2" x 32 1/2"
 24 1/2" x 16 1/2"
 24 1/2" x 24 1/2"
 24 1/2" x 32 1/2"
 32 1/2" x 16 1/2"
 32 1/2" x 24 1/2"
 32 1/2" x 32 1/2"
 40 1/2" x 16 1/2"
 40 1/2" x 24 1/2"
 40 1/2" x 32 1/2"
 48 1/2" x 16 1/2"
 48 1/2" x 24 1/2"
 48 1/2" x 32 1/2"
 56 1/2" x 16 1/2"
 56 1/2" x 24 1/2"
 56 1/2" x 32 1/2"
 64 1/2" x 16 1/2"
 64 1/2" x 24 1/2"
 64 1/2" x 32 1/2"

window-specs-2

**1-WIDE UNIT
DP35**

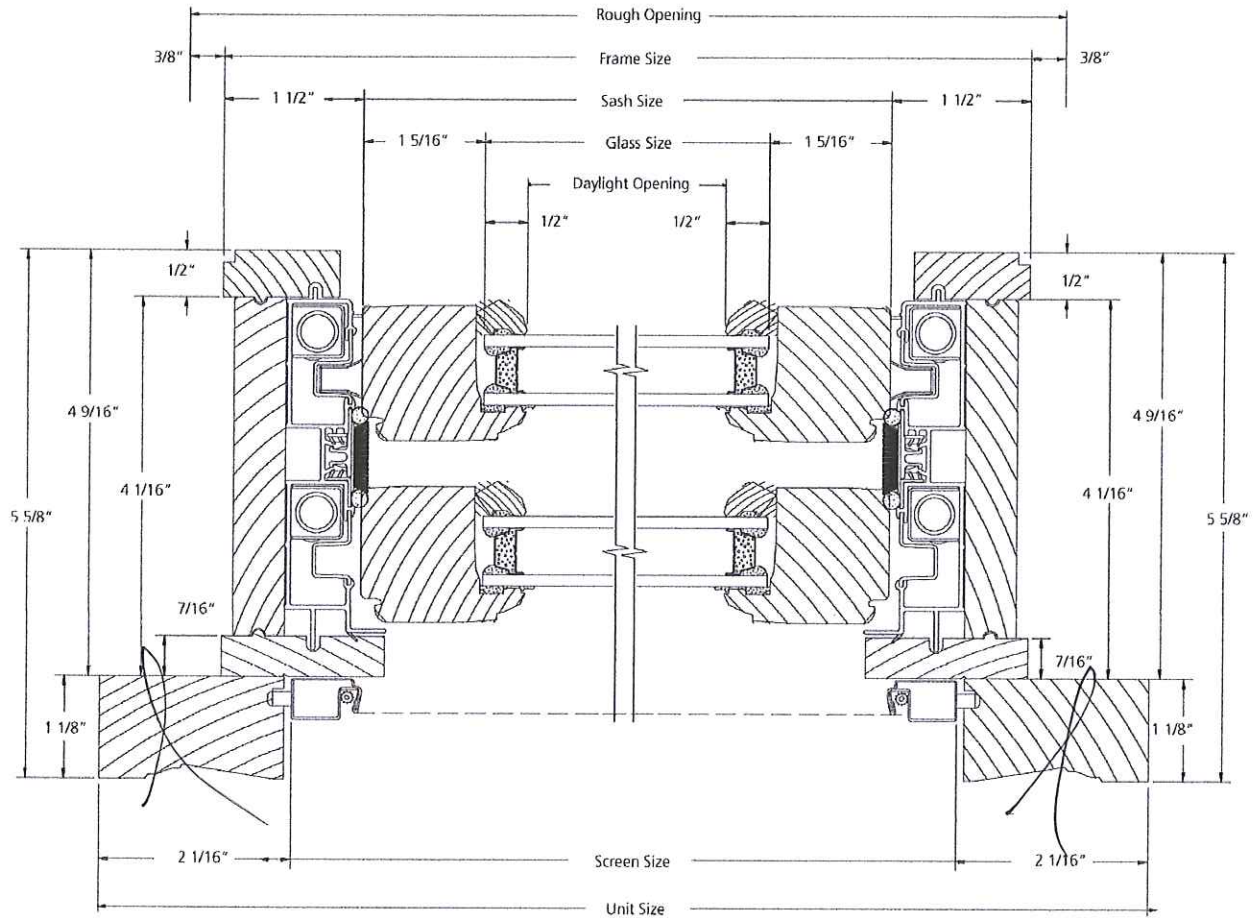


All exterior trim to be reused from existing or formed onsite.

VERTICAL SECTION

SCALE: 6" = 1'

1-WIDE UNIT



HORIZONTAL SECTION

Exterior trim to be rused
from existing or formed
onsite.

SCALE: 6" = 1'

Tully, Tania

From: Tully, Tania
Sent: Friday, August 07, 2015 2:19 PM
To: 'Ashley Morris'
Cc: Band, Daniel; kimberlybshirley@gmail.com
Subject: RE: 223 Elm St - Minor Work App

Ashley –

I've reviewed the amended application and have the following comments and questions. I begin by matching your email numbers & then have added as necessary.

1. There is a note that trim will match existing. Please provide close up photo of trim being matched. Please also provide muntin specifications/sections.
2. Please confirm that the new wood siding will be woven in with the existing so as to avoid matching vertical joints. The awning window specs provided are for aluminum clad wood windows. Please resubmit for wood windows and include muntin specifications/sections.
3. Please provide section drawing for door.
4. OK
5. The proposed site plan still notes that crape myrtle trees and a Wax Myrtle tree are to be removed. Please submit revised drawing.
6. OK
7. Per the Guidelines and confirmed with recent COA decisions, the driveway needs to have a driving strip appearance. Solid concrete is not approvable by staff. Typically this involves 2 to 2-1/2 foot running strips with 3' between. Please provide a larger scale drawing with dimensions. The adjacent driveway at 221 Elm Street was approved under the prior set of Design Guidelines.
8. OK
9. What will be the surface of the filled-in pond?
10. For the wall being relocated please provide a close-up photo of the wall conditions being matched.
11. What is the dimension of the new walkway? It needs to be subservient to the main front walk, and thus may need to be narrower.
12. I received the color chart & gutter photos.

Best,
Tania

Tania Georgiou Tully, Preservation Planner
Long Range Planning Division
Raleigh Department of City Planning
919.996.2674
919.516.2684 (fax)
tania.tully@raleighnc.gov

COA process information is available [here](#).

From: Ashley Morris [<mailto:pellststudio@gmail.com>]
Sent: Tuesday, July 28, 2015 4:14 PM
To: Tully, Tania; Band, Daniel
Subject: 223 Elm St - Minor Work App



2015-08-11 09.45.48



2015-08-11 09.45.02

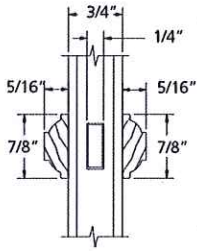


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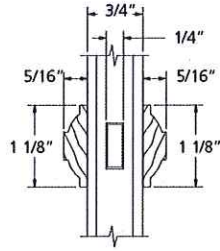


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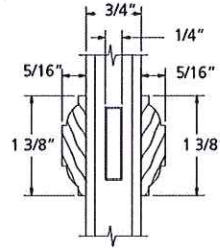
DIVIDED LITE OPTIONS



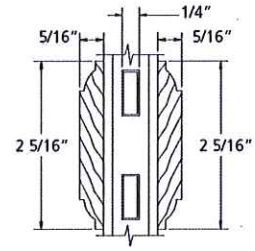
7/8" SDL



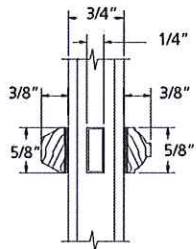
1 1/8" SDL



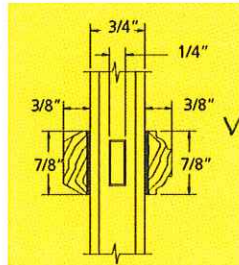
1 3/8" SDL



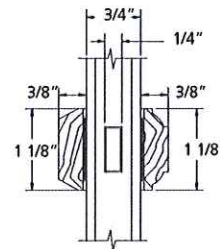
2 5/16" SDL



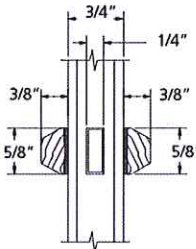
5/8" PUTTY/BEAD SDL



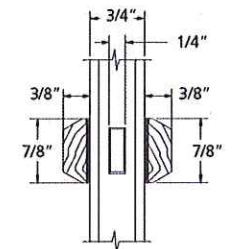
7/8" PUTTY/BEAD SDL



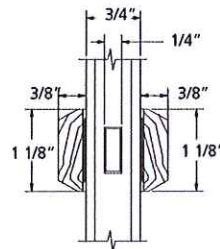
1 1/8" PUTTY/BEAD SDL



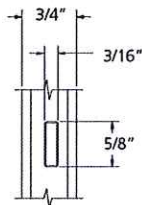
5/8" PUTTY/PUTTY SDL



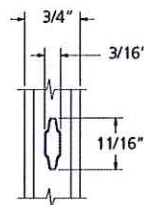
7/8" PUTTY/PUTTY SDL



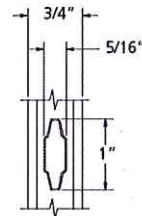
1 1/8" PUTTY/PUTTY SDL



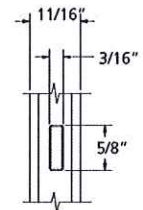
5/8" GRILLE



23/32" GRILLE



1" GRILLE



5/8" GRILLE

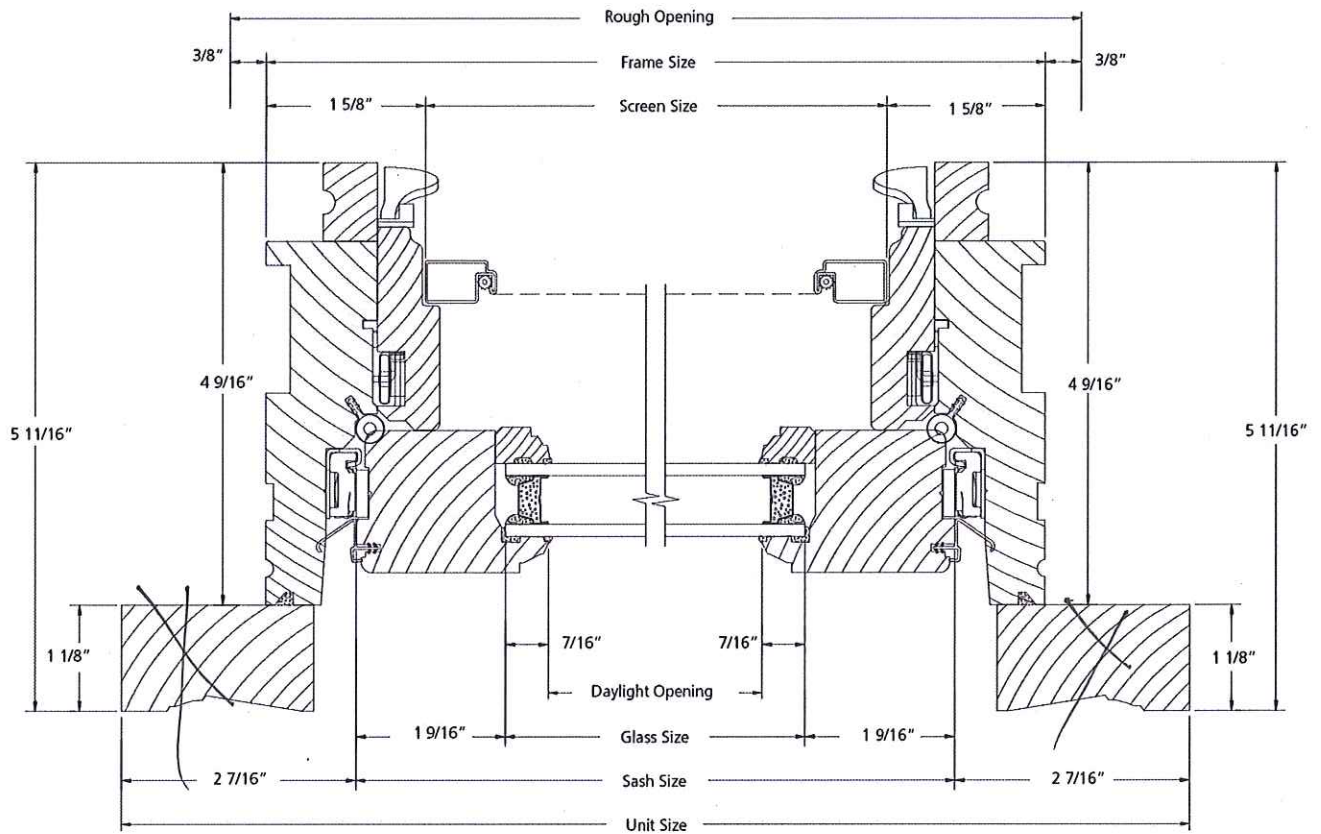
GRILLES MEETING
NFRC 3mm RULE

GRILLE PROFILES:

3/16" x 5/8"	ALLMETAL 1021101018XX140
3/16" x 1"	ALLMETAL 1020101018XX164
1/4" x 5/8"	ALLMETAL 1020102018XX140
1/4" x 1"	ALLMETAL 1020102018XX164
5.5mm x 18mm CONTOUR	ALLMETAL 1020301010XX255
8mm x 25mm CONTOUR	ALLMETAL 1020301018XX380

SCALE: NTS

1-WIDE UNIT



HORIZONTAL SECTION

Trim will be built onsite to match existing

SCALE: 6" = 1'

1-WIDE UNITS

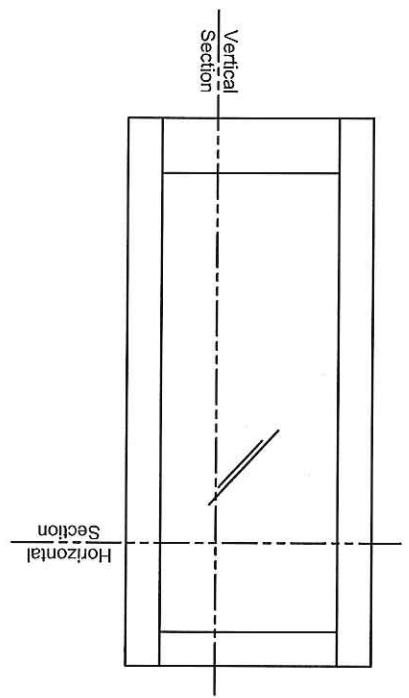
M.O. BRICKMOUND	21 1/2" (546)	23 1/2" (597)	27 1/2" (699)	31 1/2" (800)	33 1/2" (851)	35 1/2" (902)	39 1/2" (1003)
M.O. ADAMS/FLAT CASING	24 1/2" (645)	26 1/2" (673)	30 1/2" (775)	34 1/2" (876)	36 1/2" (927)	38 1/2" (978)	42 1/2" (1080)
ROUGH OPENING	18 3/4" (476)	20 3/4" (527)	24 3/4" (629)	28 3/4" (730)	30 3/4" (781)	32 3/4" (832)	36 3/4" (933)
FRAME SIZE	18" (457)	20" (508)	24" (610)	28" (711)	30" (762)	32" (813)	36" (914)
DAYLIGHT OPENING	12 3/32" (307)	14 3/32" (358)	18 3/32" (460)	22 3/32" (561)	24 3/32" (612)	26 3/32" (663)	30 3/32" (764)
19 15/16" (506) 22 7/16" (570) 18 3/4" (476) 18" (457) 12 3/32" (307)							
22 15/16" (583) 24 7/16" (621) 20 3/4" (527) 20" (508) 14 3/32" (358)							
26 15/16" (684) 28 7/16" (722) 24 3/4" (629) 24" (610) 18 3/32" (460)							
30 15/16" (786) 32 7/16" (824) 28 3/4" (730) 28" (711) 22 3/32" (561)							
32 15/16" (837) 34 7/16" (875) 30 3/4" (781) 30" (762) 24 3/32" (612)							
38 15/16" (989) 40 7/16" (1027) 36 3/4" (933) 36" (914) 30 3/32" (764)							
44 15/16" (1141) 46 7/16" (1180) 42 3/4" (1086) 42" (1067) 36 3/32" (917)							
50 15/16" (1294) 52 7/16" (1332) 48 3/4" (1238) 48" (1219) 42 3/32" (1070)							

ELEVATION SYMBOL LEGEND:
M.O. = MASONRY OPENING
VALUES IN () ARE IN MILLIMETER CONVERSIONS
##* INDICATES DESIGN PRESSURE (DP) RATING WITH STANDARD GLAZING
##** INDICATES OPTIONAL DESIGN PRESSURE (DP) RATING

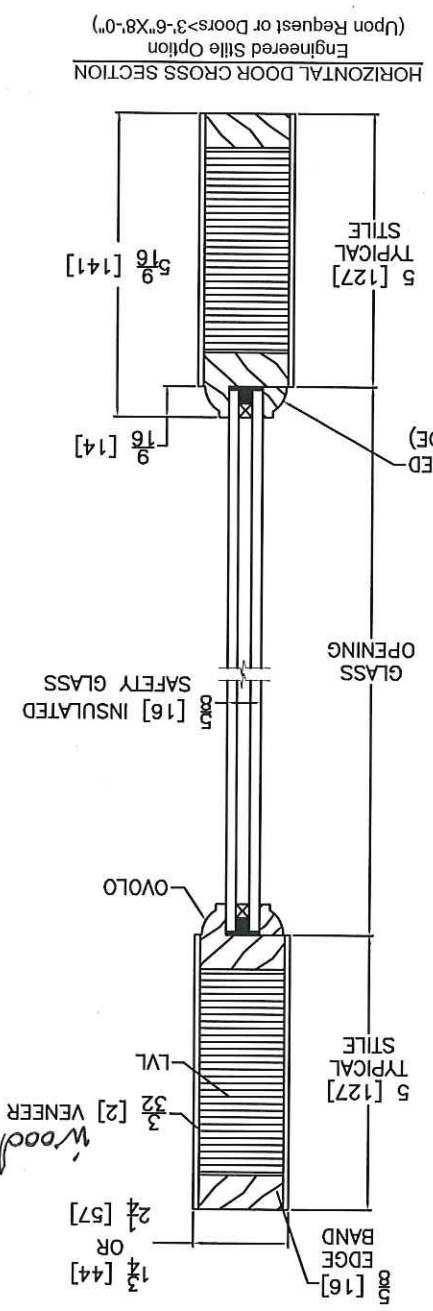
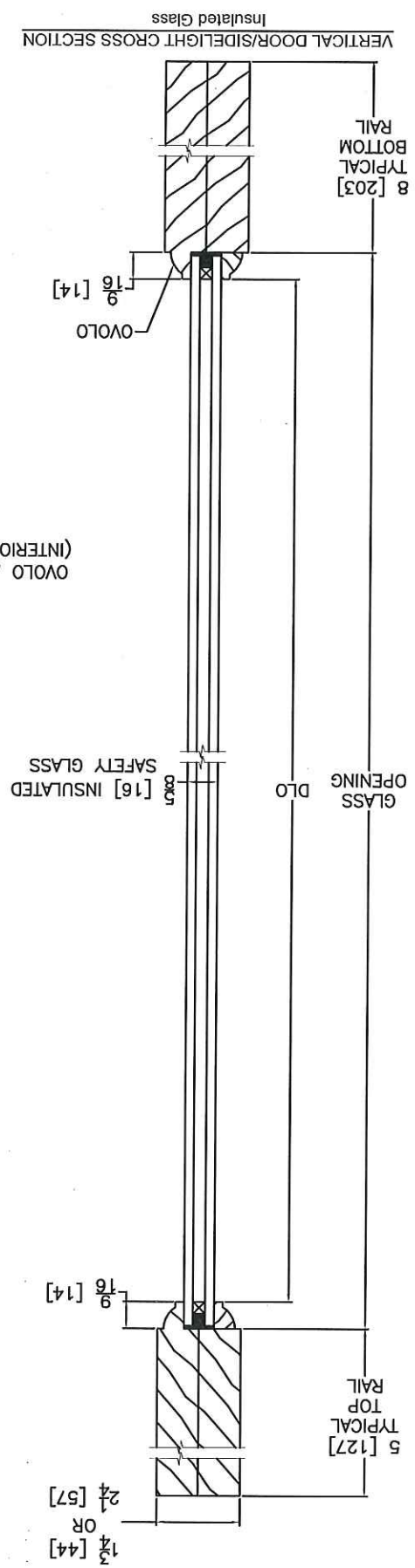
Note: Elevations shown DO NOT have exterior trim. Subtract 1/2" (12.7) from M.O. (Masonry Opening) for Unit Sizes. Masonry Openings above include Sill Nose, see Trim Options page for Sill Nose specifications. For other Trim Options refer to the Unit Sizing, Rough Opening & Masonry Openings page.

SCALE 1/4" = 1'

Notes:
 Style,Rail,Panel & Glass
 vary by Size & Model of Door.
 Typical Sizes are Shown.



WOOD DOOR CROSS SECTIONS
 500



Scale: 3" = 1'-0"