

**RHDC**  
 RALEIGH HISTORIC  
 DEVELOPMENT COMMISSION

# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

525 E LANE STREET

Address

OAKWOOD

Historic District

Historic Property

096-15-MW

Certificate Number

7/10/2015

Date of Issue

1/10/2016

Expiration Date

**Project Description:**

- Landscaping in side and front yards;
- install low wall;
- install new planting beds;
- install terraced walkway;
- install spigots

OK to PERMIT

*This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_  
 Raleigh Historic Development Commission

*Pending the resolution of appeals, commencement of work is at your own risk.*



# Planning & Development

Development Services  
Customer Service Center  
One Exchange Plaza  
1 Exchange Plaza, Suite 400  
Raleigh, North Carolina 27601  
Phone 919-996-2495  
eFax 919-996-1831

## Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



RALEIGH HISTORIC DEVELOPMENT COMMISSION

- Minor Work (staff review) – 1 copy**
- Major Work (COA Committee review) – 13 copies**
  - Most Major Work Applications
  - Additions Greater than 25% of Building Square Footage
  - New Buildings
  - Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

### For Office Use Only

Transaction # 438078  
 File # 096-15-MW  
 Fee \$29  
 Amt Paid \$29  
 Check # 2076  
 Rec'd Date 7-6-15  
 Rec'd By gum

• If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address 525 East Lane Street

Historic District Dakwood

Historic Property/Landmark name (if applicable)

Owner's Name Richard and Juanita Bronstein

Lot size 7,200 SF (width in feet) 60 (depth in feet) 120

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys: N/A

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant Gardener by Nature LLC - John L. Thomas

Mailing Address 5508 Swiftbrook Circle

City Raleigh State NC Zip Code 27606

Date July 1, 2015 Daytime Phone 919-828-2015/919-810-1927 cell

Email Address john@gardenerbynature.com

Signature of Applicant [Signature]

**Minor Work Approval (office use only)**

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 1/10/16. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature [Signature] Date 7/10/15

**Project Categories (check all that apply):**

Exterior Alteration

Addition

New Construction

Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes

No

(Office Use Only)

Type of Work 35, 46, 83

**Design Guidelines** Please cite the applicable sections of the design guidelines ([www.rhdc.org](http://www.rhdc.org)).

Section/Page	Topic	Brief Description of Work
2.3/13	Site Features and Plantings	Install plants at Foundation and East side.
2.4/15	Fences and walls	-Install terraces with low retaining walls-

TO BE COMPLETED BY APPLICANT			TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p><b>Minor Work (staff review) – 1 copy</b></p> <p><b>Major Work (COA Committee review) – 13 copies</b></p>					
1. <b>Written description.</b> Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. <b>Description of materials</b> (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. <b>Photographs</b> of existing conditions are required.	<input checked="" type="checkbox"/>				
4. <b>Paint Schedule</b> (if applicable)	<input type="checkbox"/>	<input type="checkbox"/>			
5. <b>Plot plan</b> (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. <b>Drawings</b> showing proposed work <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Plan drawings</li> <li><input checked="" type="checkbox"/> Elevation drawings showing the new façade(s).</li> <li><input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale.</li> <li><input checked="" type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet.</li> </ul>	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	<input type="checkbox"/>			
8. <b>Fee</b> ( <a href="#">See Development Fee Schedule</a> )	<input type="checkbox"/>				

# **Proposed Landscape Improvements**

**For**

**525 East Lane Street**

**Oakwood Historic District**

**(Minor Work COA)**

**Gardener by Nature LLC**

**July 1, 2015**

**Designed by Dale Batchelor and  
John L. Thomas**

## 525 East Lane Street

### OVERVIEW

The property at 525 East Lane Street is undergoing a major renovation. Having been divided into four apartments since the 1960s it is now being rebuilt as a single-family home for owners Richard and Juanita Bronstein.

We are here requesting a Minor Work COA to start construction of the following parts of the new landscape.

- Build a series of three terraces to modify the dangerous slope along the Elm Street side. Three wing walls, 24" high, are to run from the house to the sidewalk, meeting another wall running along the edge of the sidewalk. Retaining walls are to be 8" wide and made from old brick. See included drawings.

- Build a central 48" path through the terraces with a rise of three steps (18") at each wing wall. Paths to be edged in brick and surfaced in a pattern of brick and dwarf mondo grass that reflects the distinctive window sash of the home. (See included drawings.) Use brick salvaged on-site for path edgings and stepstones.

- Install new plantings in front and east side yards as shown in included drawings.

- The house currently has no outdoor water spigots. We propose to install 2 spigots on each side wall (front and rear) and two on the rear wall (east and west).



SPEED  
LIMIT  
25

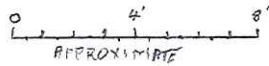
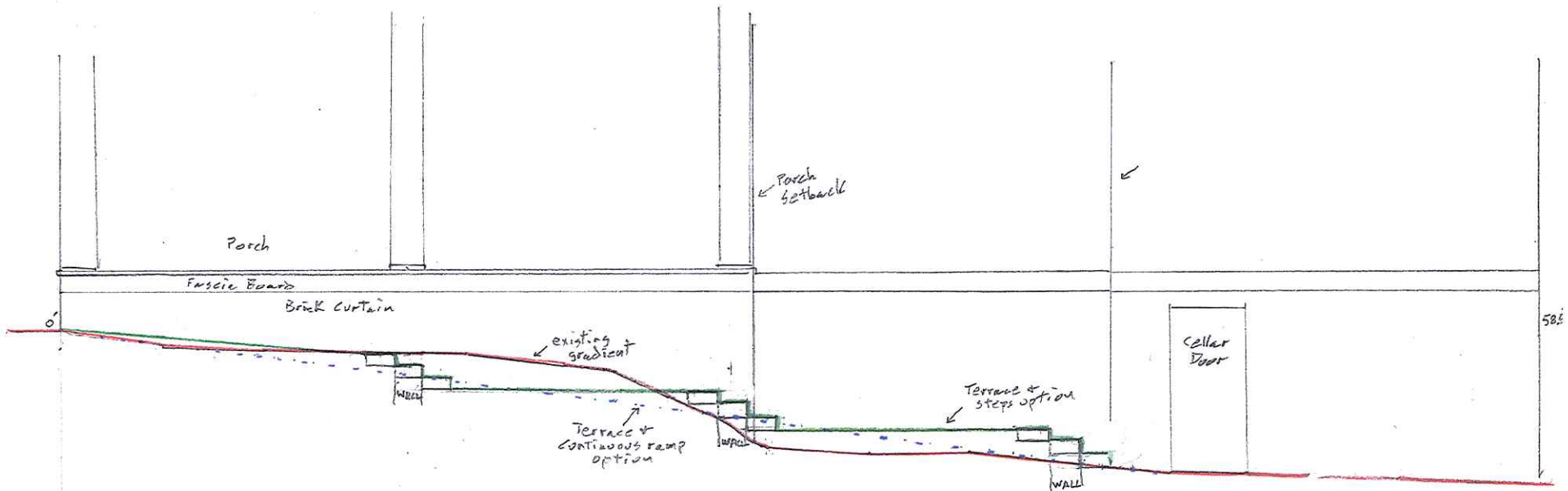




525 East Lane St.

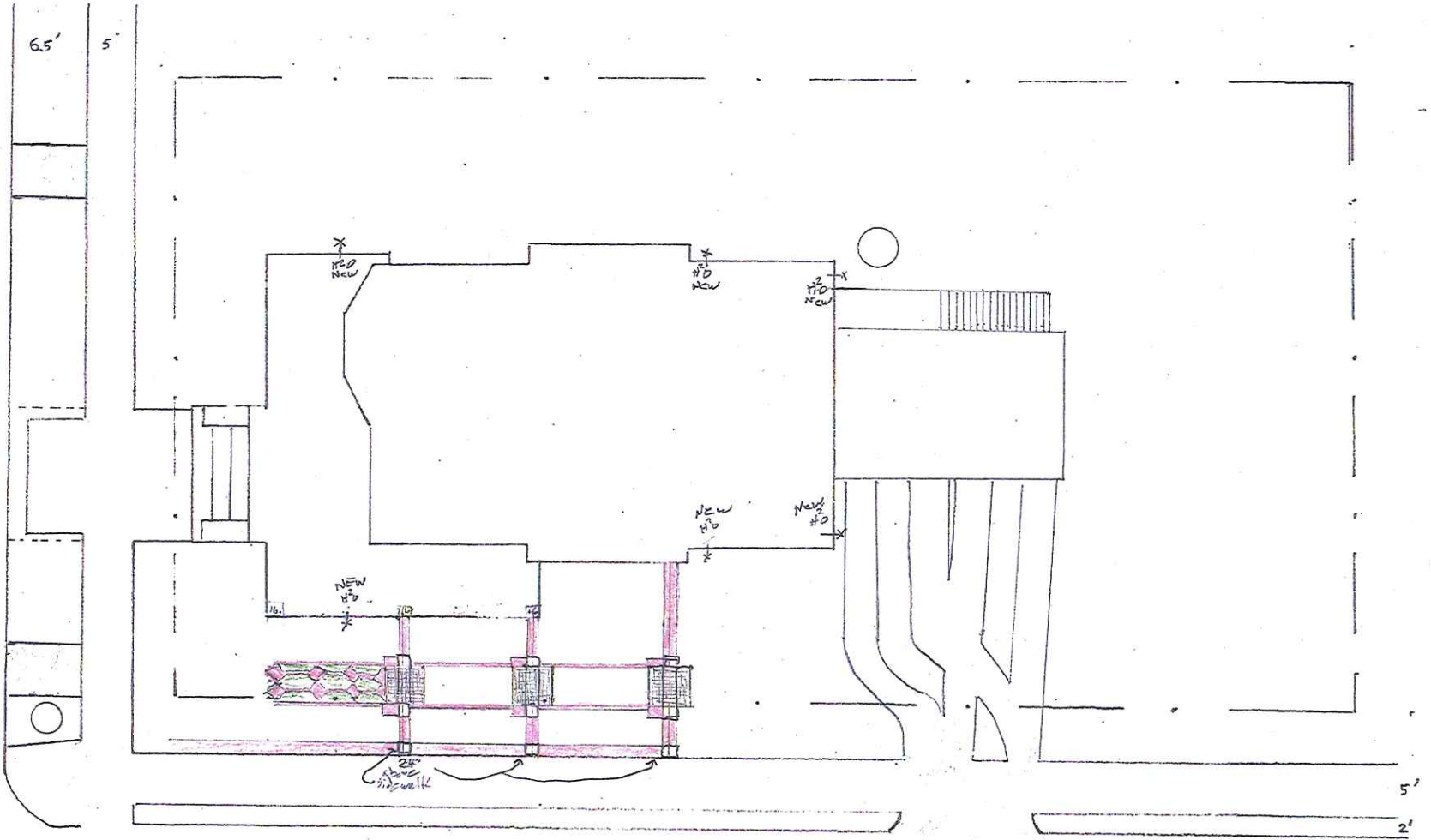
This dangerous slope along the Elm street sidewalk is to be treated by creating 3 terraces with low retaining walls and steps.



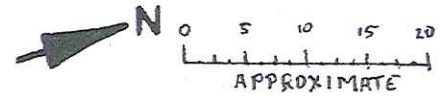


Gardener by Nature LLC
Bronstein residence
525 N. Lane Street
East Wall Gradient Analysis

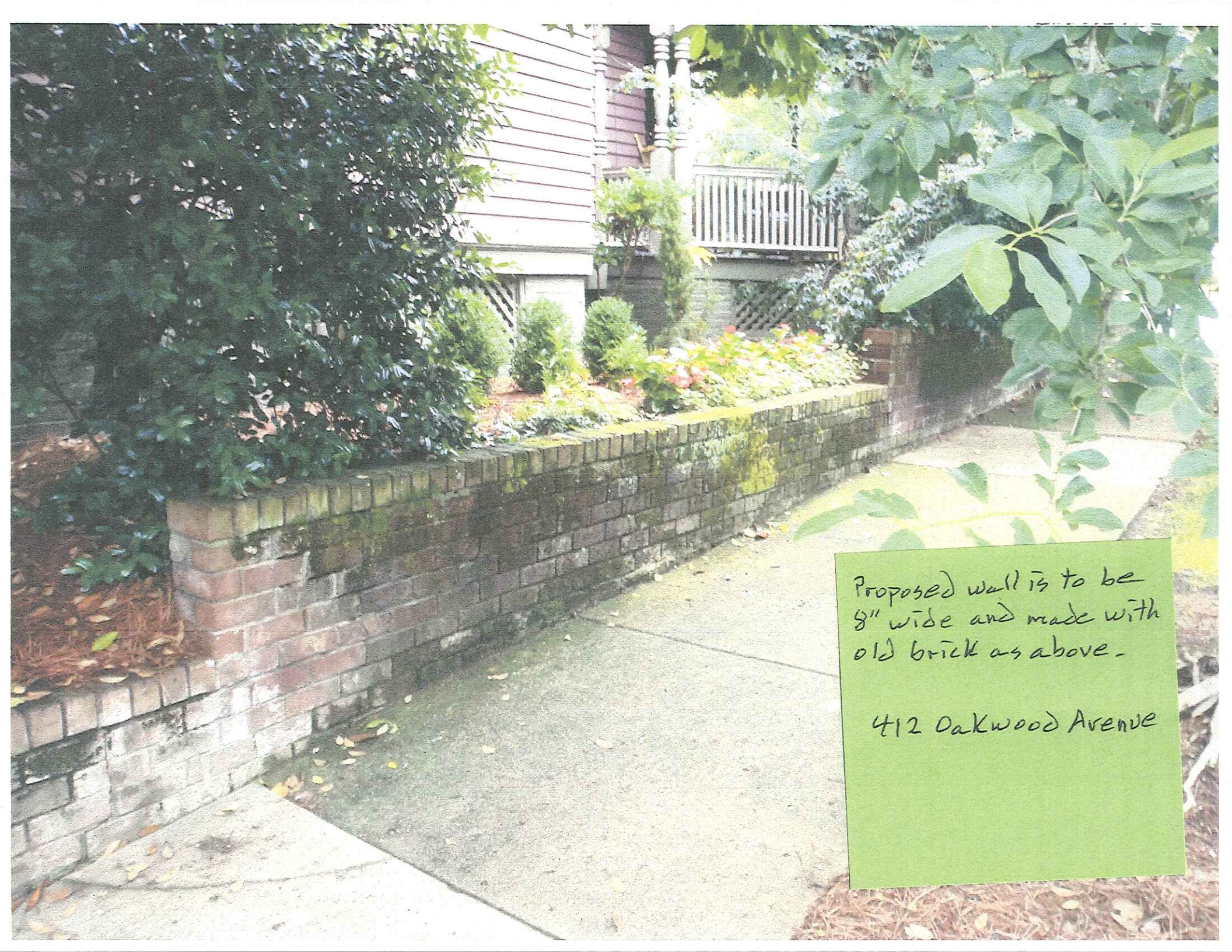
E. JARVIS ST



ELM ST

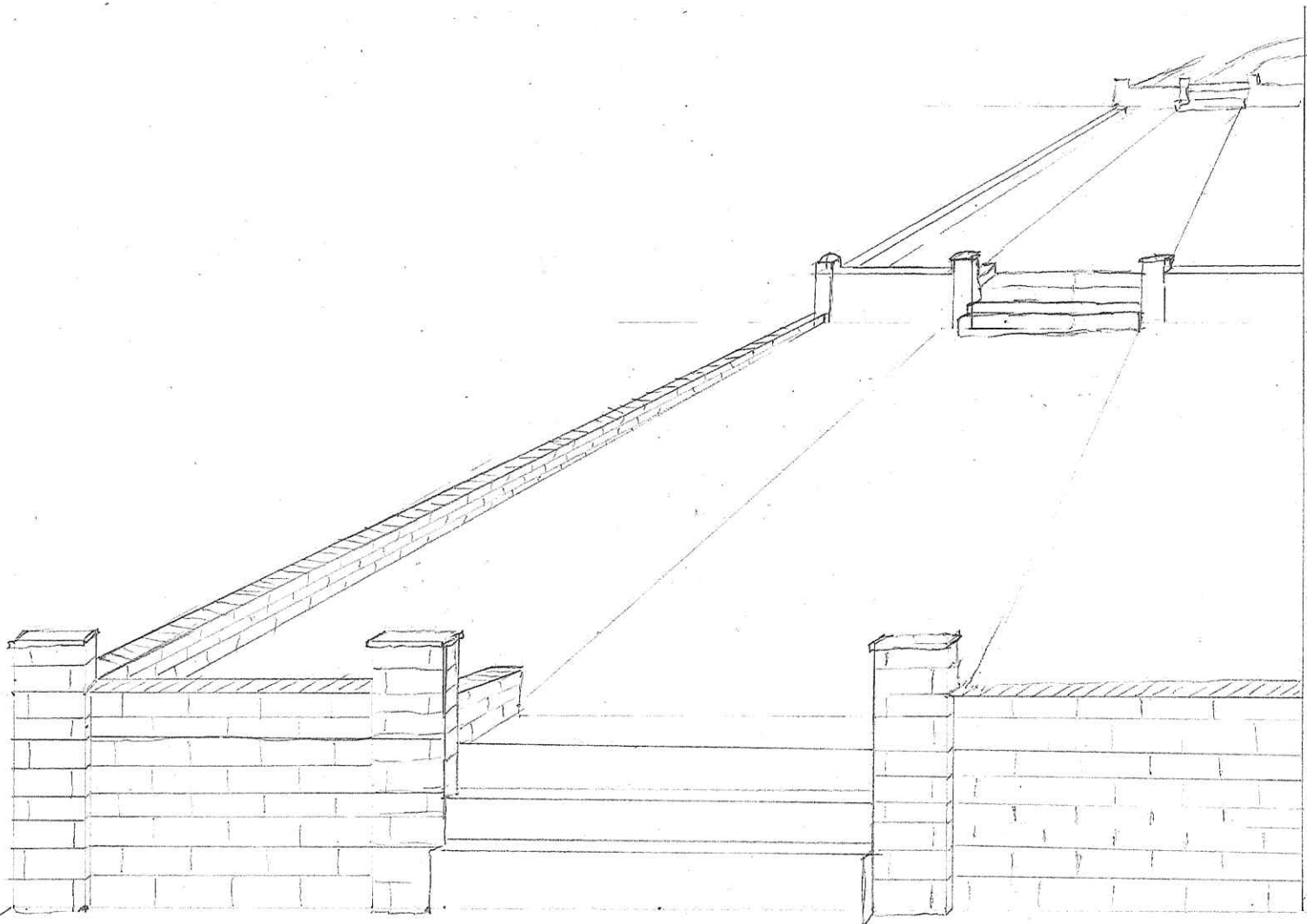


Gardener by Nature LLC	
Bronstein residence	
525 E. Lane St	Designers: Dale Bateklor John L. Thomas
Hardscape Plan: walls, steps, terraces, walkways	

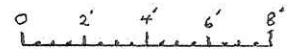
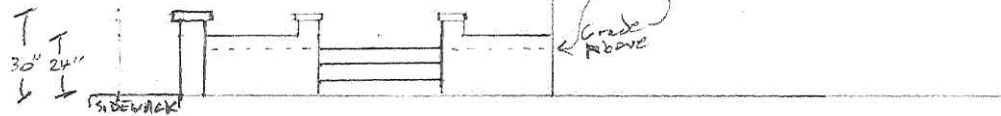
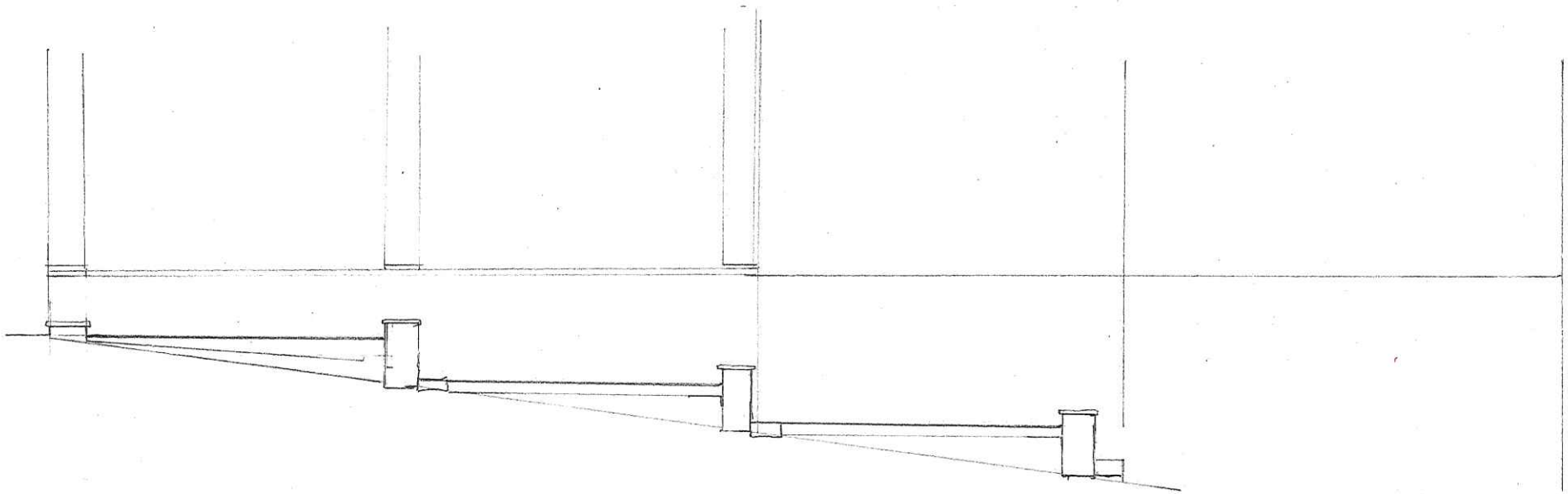


Proposed wall is to be  
8" wide and made with  
old brick as above.

412 Oakwood Avenue



Rough sketch



Gardener by Nature LLC  
 Bronstein Residence  
 525 E. Lane Street  
 retaining wall Elevations

SIDEWALK

8" Brick Cap

Stone Cap

Light?

Terrace

4' 5 1/4"

This step is level w upper grade  
18"

12"

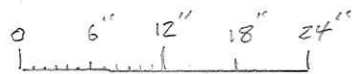
6"

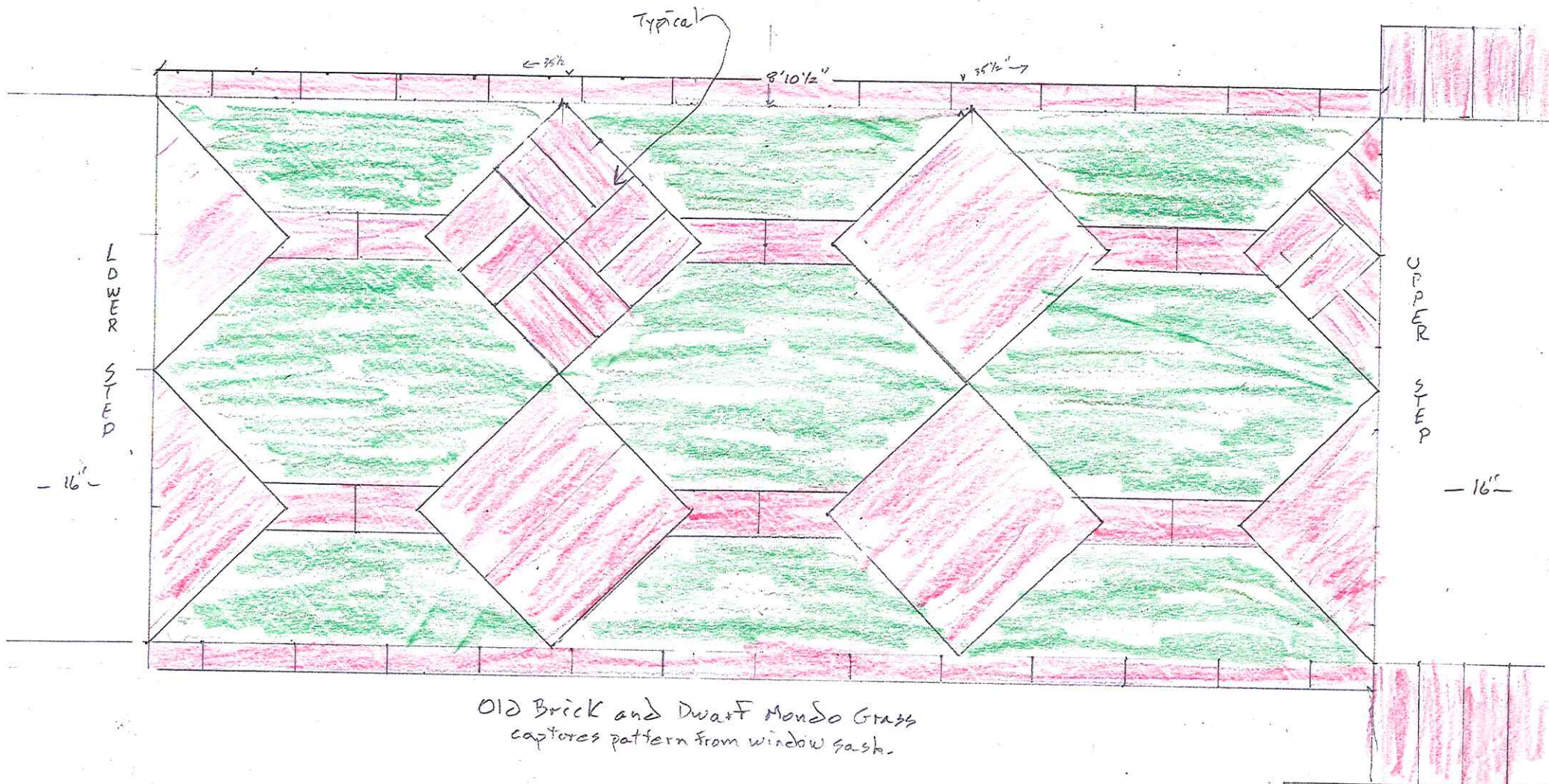
0"

ARCH SUSTAIN

16" Column

Gardener by Nature LLC  
525 E. Lane  
step and wall detail



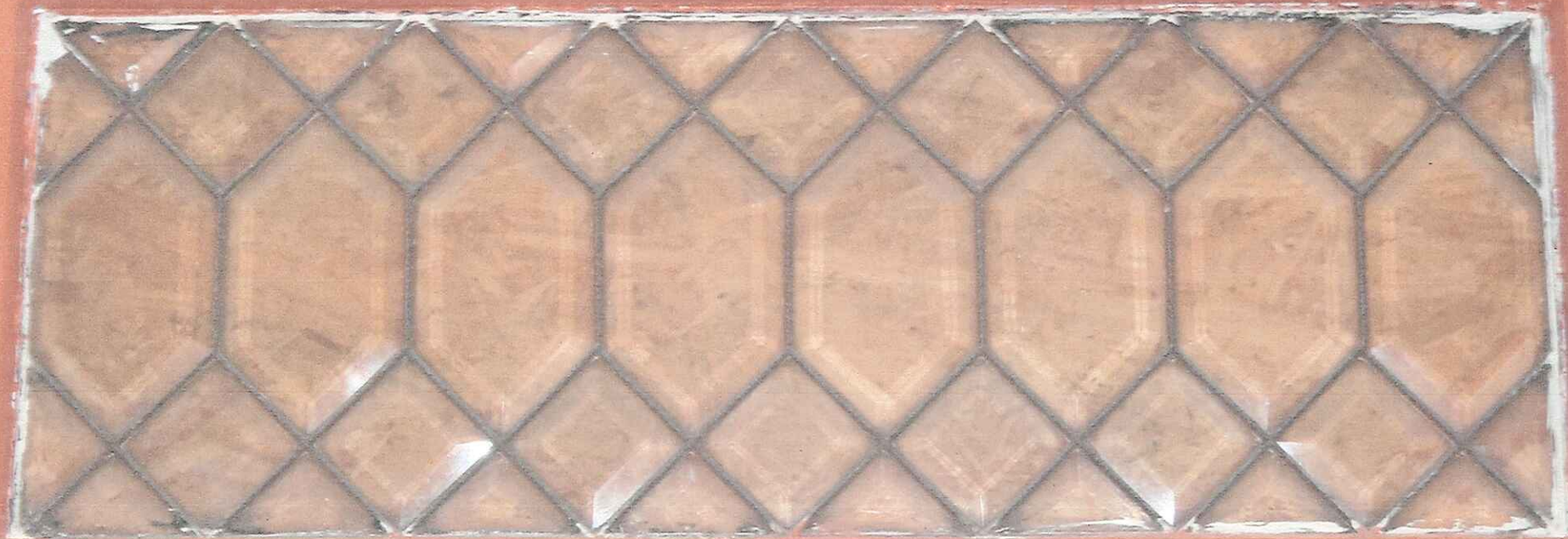


Old Brick and Dwarf Mondo Grass captures pattern from window sash.



Gardener by Nature LLC
Bronstein - 525 E. Lane St
Brickwork detail for Terrace Walkways
Designers: Dale Batchelor John L Thomas

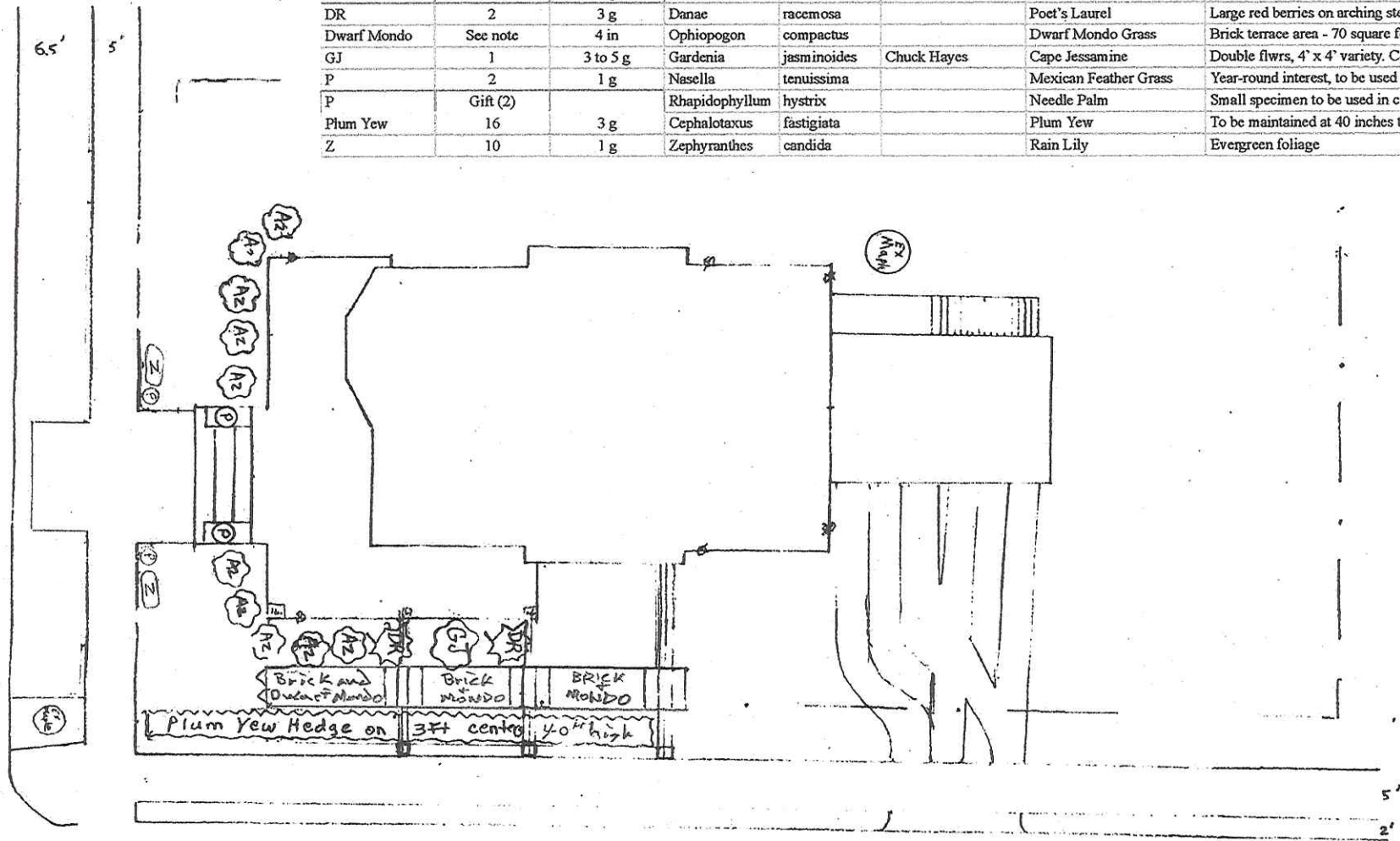




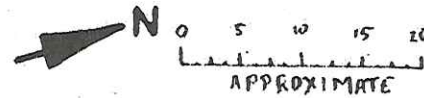
The brick pattern inlay in the terrace walkway reflects this pattern from the window sash. The inlay is to be done with original brick salvaged from the site.

### 525 East Lane Phase 1 Plant List

Plan Key	Quantity	Size	Genus	Species	Variety	Common Name	Notes
AZ	10	3 g	Rhododendron		Autumn Sunset	Reblooming Azalea	To be planted in two phases
DR	2	3 g	Danae	racemosa		Poet's Laurel	Large red berries on arching stems
Dwarf Mondo	See note	4 in	Ophiopogon	compactus		Dwarf Mondo Grass	Brick terrace area - 70 square feet on 4- to 6- inch centers
GJ	1	3 to 5 g	Gardenia	jasminoides	Chuck Hayes	Cape Jessamine	Double flwrs, 4' x 4' variety. Could sub 'Summer Snow'
P	2	1 g	Nasella	tenuissima		Mexican Feather Grass	Year-round interest, to be used in containers near walk
P	Gift (2)		Rhapidophyllum	hystrix		Needle Palm	Small specimen to be used in containers on steps
Plum Yew	16	3 g	Cephalotaxus	fastigiata		Plum Yew	To be maintained at 40 inches tall
Z	10	1 g	Zephyranthes	candida		Rain Lily	Evergreen foliage



Bronstein Residence  
 525 East Lane Street  
 Designers: Dale Batchelor  
 John L. Thomas  
 Gardener by Nature LLC  
 Phase One  
 Planting Plan  
 25 June 2015





Across Elm Street at  
601 E. Lane, the same  
slope is treated with a  
wing wall creating terraces.  
It appears to be original  
construction.

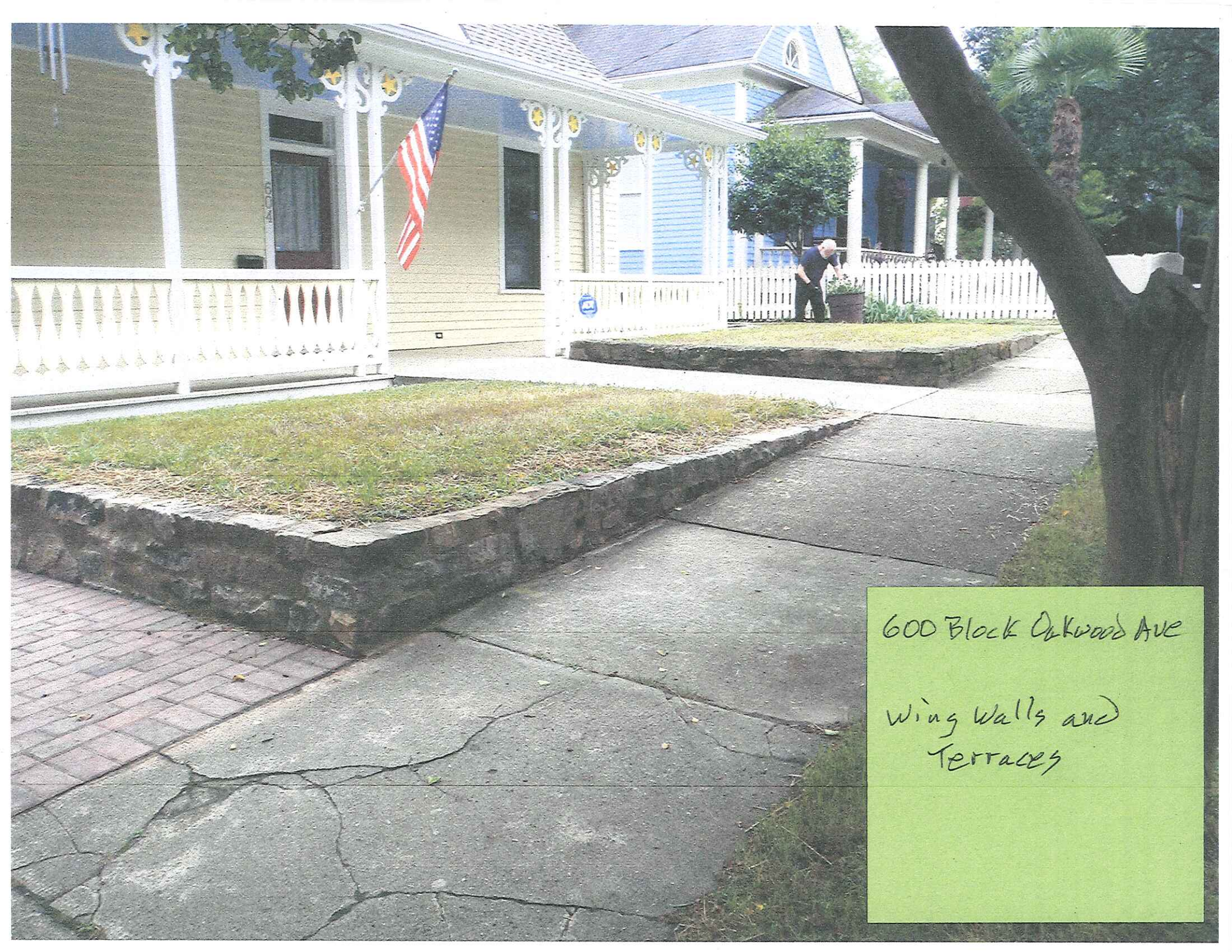
605 and 603 East Lane



Next door, again on the same slope, we were approved in 2009 to build this series of wing walls and terraces, 605 and 603 E. Lane St.



530 Oakwood Ave  
Wing Wall + Terrace



600 Block Oakwood Ave

Wing Walls and  
Terraces



308 Pell St.

Wing Walls and  
Terrace

## Tully, Tania

---

**From:** John Thomas <john@gardenerbynature.com>  
**Sent:** Thursday, July 09, 2015 1:54 PM  
**To:** Band, Daniel  
**Cc:** Tully, Tania  
**Subject:** Re: Minor Work COA - 525 E Lane

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Daniel,

Thanks for your review. The proposed water spigots are to be of standard residential size.

Best,  
John

Gardener by Nature LLC  
5508 Swiftbrook Circle  
Raleigh, NC 27606  
(919) 828-2015  
<http://gardenerbynature.com>

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**From:** "Band, Daniel" <Daniel.Band@raleighnc.gov>  
**To:** "john@gardenerbynature.com" <john@gardenerbynature.com>  
**Cc:** "Tully, Tania" <Tania.Tully@raleighnc.gov>  
**Sent:** Thursday, July 9, 2015 1:34 PM  
**Subject:** Minor Work COA - 525 E Lane

John: Thank you for submitting a Minor Work COA application for 525 East Lane St. I've reviewed the application and have only one comment. Additional materials may be sent by email.

- Please confirm that the proposed water spigots are of typical residential size.

Thank you,

Daniel

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Daniel Band, Planner I  
Long Range Planning Division  
Raleigh Planning Department  
919-996-2180 - OEP, 2<sup>nd</sup> Floor

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