

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

607 N EAST STREET

Address

OAKWOOD

Historic District

Historic Property

077-15-MW

Certificate Number

6/9/2015

Date of Issue

12/9/2015

Expiration Date

Project Description:

- Repaint house same colors;
- enclose rear screened porches;
- construct new low rear deck;
- alter rear door;
- alter front porch;
- remove utility chimney;
- remove window A/C units.

OK to PERMIT

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____
Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.



Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 eFax 919-996-1831

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
 - Most Major Work Applications
 - Additions Greater than 25% of Building Square Footage
 - New Buildings
 - Demo of Contributing Historic Resource
 - Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 434793

File # 077-15-MW

Fee 29⁻

Amt Paid 29⁻

Check # 1052

Rec'd Date 6/4/15

Rec'd By [Signature]

• If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address **607 N EAST ST., RALEIGH NC**

Historic District **Oakwood Historic District**

Historic Property/Landmark name (if applicable) **N/A**

Owner's Name **Sharp Propeties**

Lot size **0.12 acres** (width in feet) **50'** (depth in feet) **105'**

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant **Sharp Properties NC**

Mailing Address **2000 Chichester Ct.**

City **Raleigh** State **NC** Zip Code **27615**

Date **05.28.15** Daytime Phone **919-810-8858**

Email Address **sharppropertiesnc@gmail.com**

Signature of Applicant _____

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 12/9/15. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature [Handwritten Signature] Date 6/9/15

Project Categories (check all that apply):

- Exterior Alteration
- Addition
- New Construction
- Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

- Yes
- No

(Office Use Only)

Type of Work _____

51, 57, 29, 24

22,

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
3.8	Entrances, Porches, Balconies	Enclose existing screen porches for finished space, remove existing pipe rail and center balustrade on front porch.
3.7	Windows and Doors	Remove two existing screen doors, add new door, add four new windows
3.4	Paint and Paint Color	Paint existing roof and entire exterior of house.
4.1	Decks	Construct new deck at grade

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF				
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s). <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	<input type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				

607 N East St.

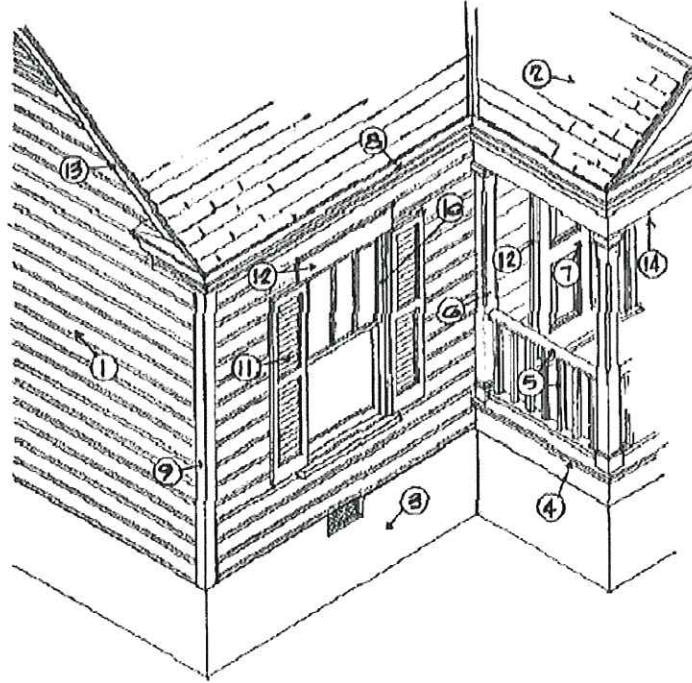
Minor Work COA application

The proposed work at 607 N East St. consists of enclosing the existing screen porches on the rear of the residence for finished space. Two existing windows on the rear will be retained in the same location. Four new windows will be installed, two at each corner of the newly enclosed porch. Wood, 6/6 double hung windows are proposed, see attached specification. New 5/4x4 trim will be installed at the new windows and door, painted to match the existing. The two existing screen doors will be removed, and the existing rear entry door will be installed at the newly enclosed screen porch. See photo of existing rear entry door, below. Wood siding will infill the existing screened areas, painted to match the existing wood siding.

At the rear of the residence, the two existing decks at grade will be removed, and a single deck at grade will be constructed in its place. The deck will be approximately 10'x28'. No railings are proposed. An existing utility chimney on the rear of the residence will be removed. On the front of the residence, the existing center balustrade between the two front entry doors will be removed. The existing pipe railing at the front steps will be removed. Existing AC window units will be removed, and on the front elevation one mailbox and a vent on the second story will be removed. Electrical wires, etc. that will no longer be used will also be removed.

The entire exterior of the house will be repainted, to match the existing paint colors. The roof will be repainted, to match the existing color.

Raleigh Historic Development Commission – Certificate of Appropriateness Paint Schedule



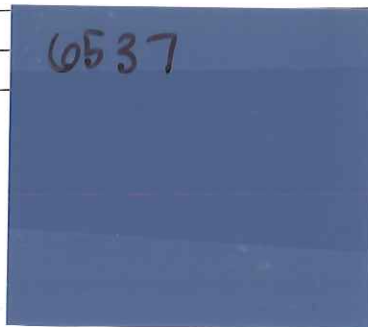
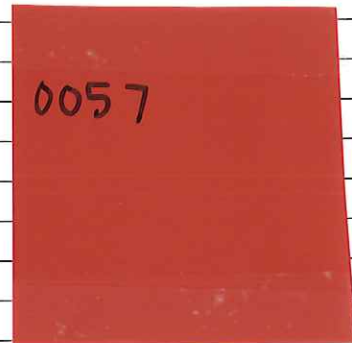
Applicant Sharp Properties

Address 607 N East Street, Raleigh NC

Paint Manufacturer (Please submit color chips with this schedule) Sherwin Williams

Color Schedule

1	Body of House SW 7015 / Repose Gray
2	Roofing Existing
3	Foundation SW 0057 / Chinese Red
4	Porch Floor SW 6533 / Mild Blue
5	Railing SW 6537 / Luxe Blue
6	Columns SW 6537 / Luxe Blue
7	Entrance Door SW 7005 / Pure White
8	Cornice SW 6537 / Luxe Blue
9	Corner Boards SW 6537 / Luxe Blue
10	Window Sash SW 7005 / Pure White
11	Shutter n/a
12	Door & Window Trim SW 6537 / Luxe Blue
13	Rake SW 6537 / Luxe Blue
14	Porch Ceiling SW 7005 / Pure White
15	Other



7005

7015

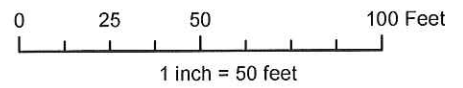
0057

6537

6533



607 N East Plot Plan



Disclaimer
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Existing rear entry door to be reinstalled at newly enclosed screen porch

607 N. EAST ST
COA APPLICATION-MINOR WORK



View of east or main facade



View of partial south facade

607 N. EAST ST
COA APPLICATION-MINOR WORK



View of front porch, north side



View of front porch, south side

607 N. EAST ST
COA APPLICATION-MINOR WORK



View of front porch from north side



View of front porch showing central rail

607 N. EAST ST
COA APPLICATION-MINOR WORK



North facade, partial view



North facade, partial view

607 N. EAST ST
COA APPLICATION-MINOR WORK



View of partial south facade, rear of residence



View of west facade, existing porch on southwest corner of residence

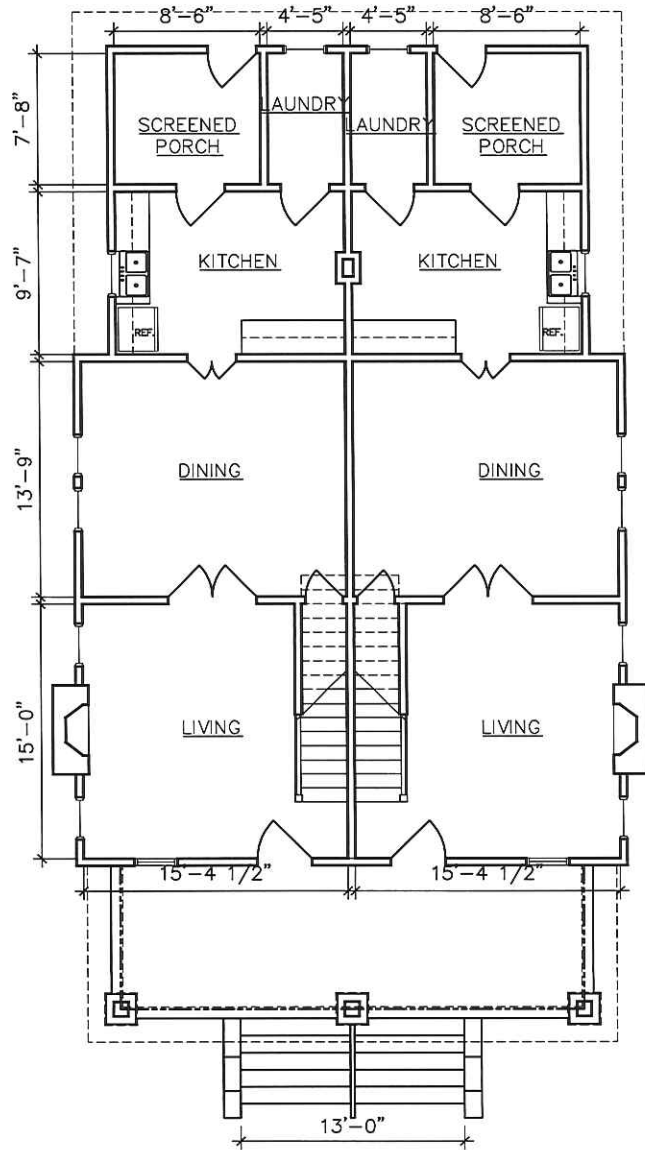
607 N. EAST ST
COA APPLICATION-MINOR WORK



View of northwest corner of residence showing existing screen porch



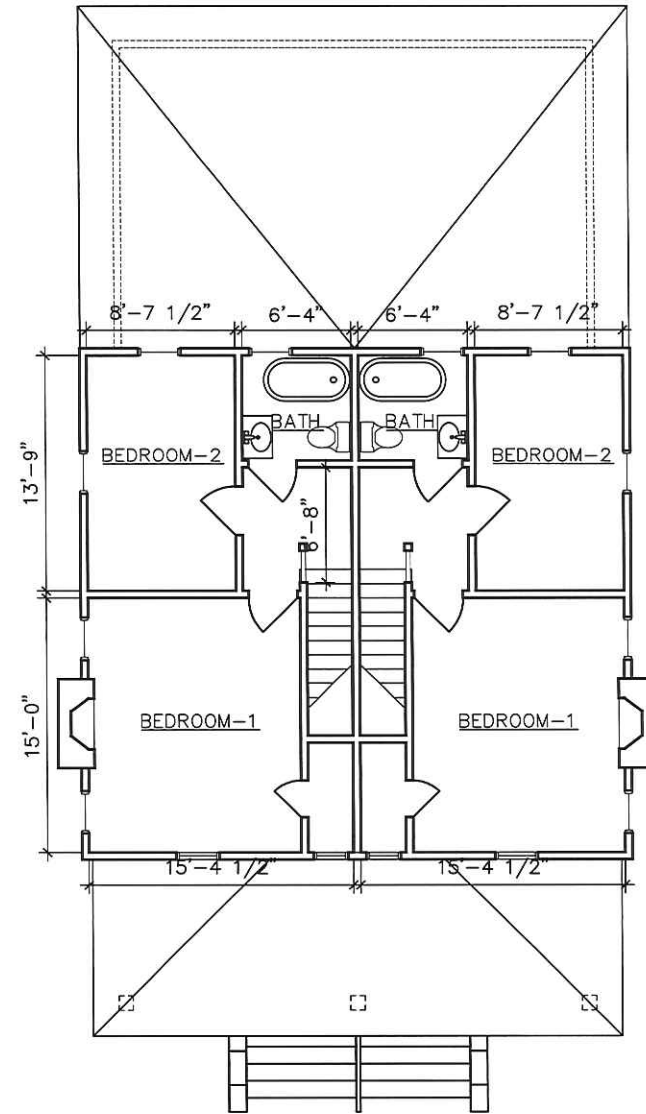
North facade, partial view showing screen porch



EXISTING FIRST FLOOR PLAN

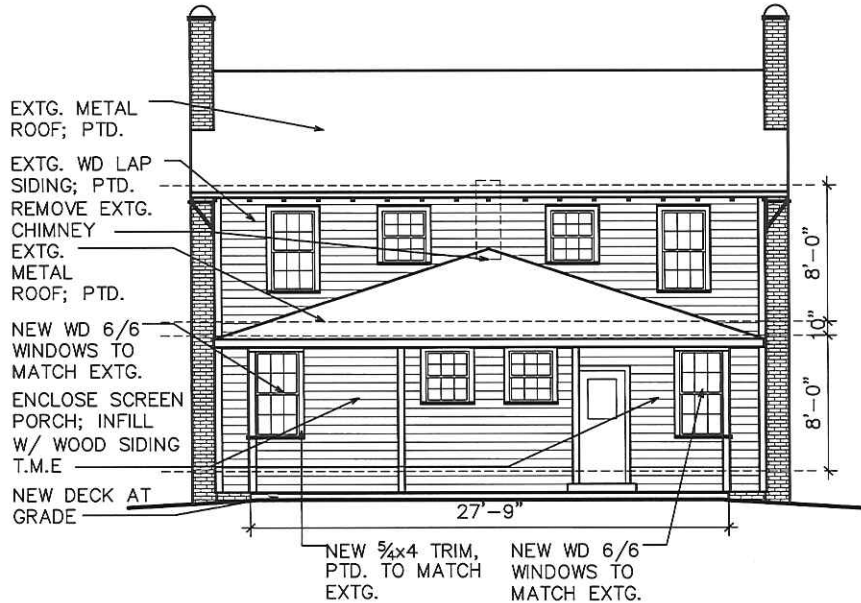
3/32" = 1'-0"

607 N. East Street
 Raleigh, North Carolina
 05.26.15



EXISTING SECOND FLOOR PLAN

3/32" = 1'-0"



PROPOSED REAR ELEVATION

3/32" = 1'-0"

607 N. East Street
 Raleigh, North Carolina
 05.26.15

PROPOSED FRONT ELEVATION

3/32" = 1'-0"





EXISTING LEFT ELEVATION

3/32" = 1'-0"



EXISTING FRONT ELEVATION

3/32" = 1'-0"



EXISTING RIGHT ELEVATION

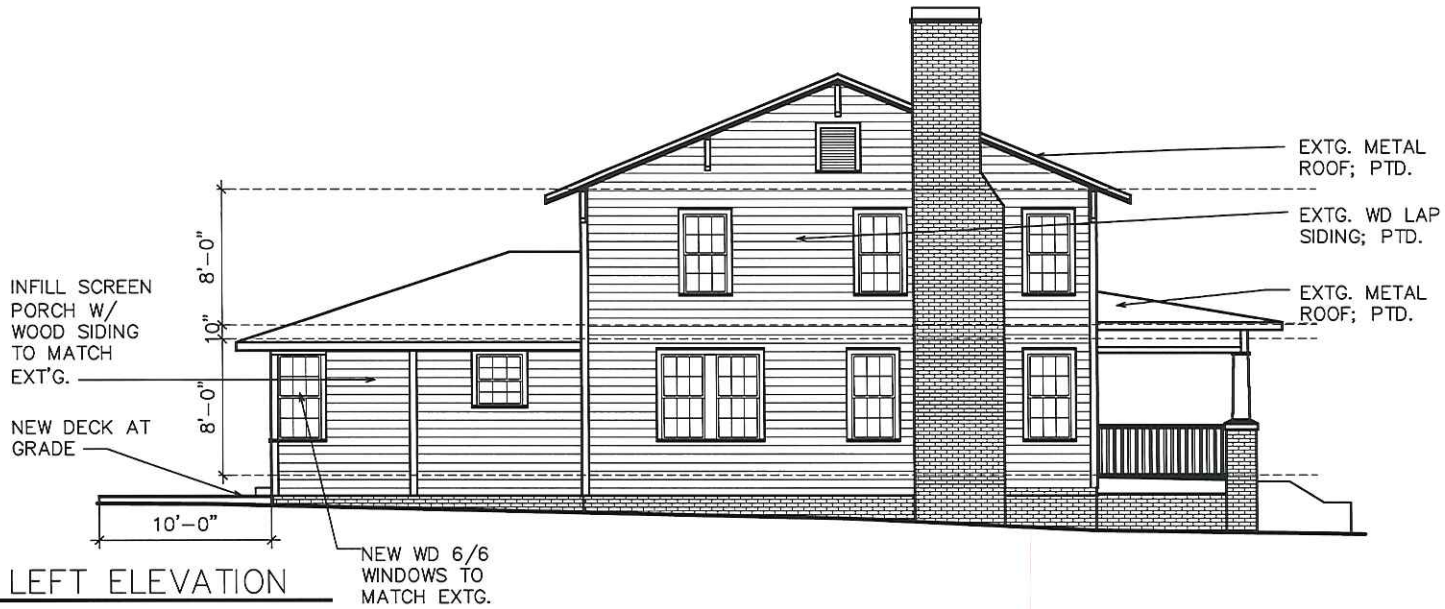
3/32" = 1'-0"

607 N. East Street
Raleigh, North Carolina
05.14.15



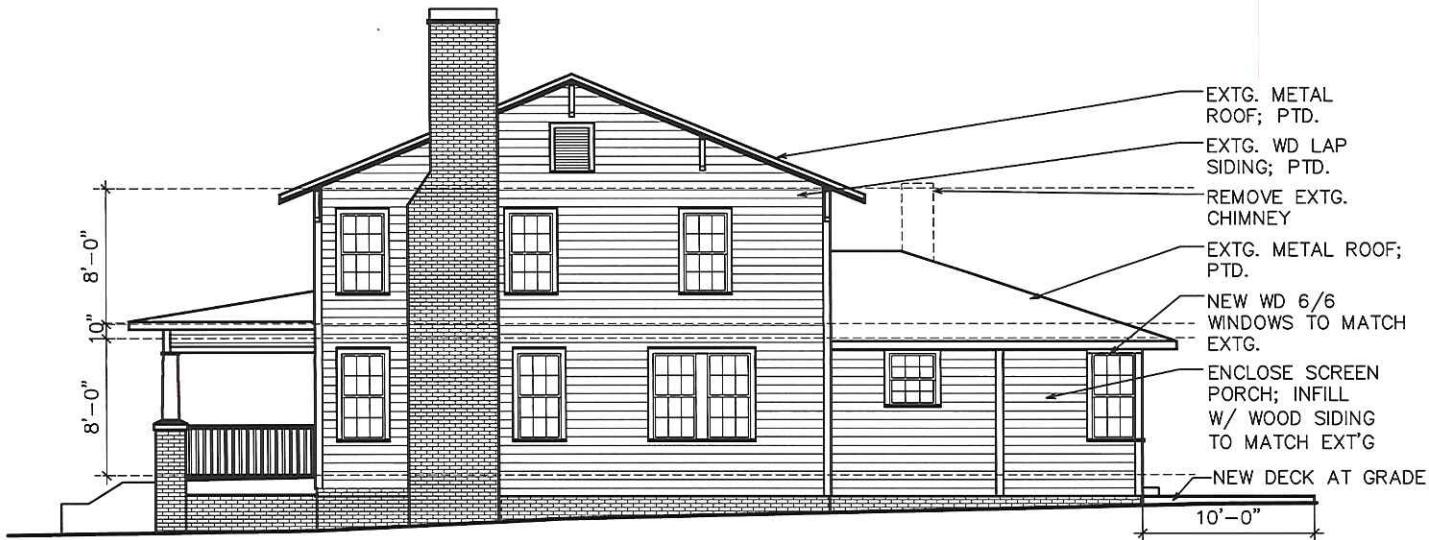
EX'G REAR ELEVATION

3/32" = 1'-0"



PROPOSED LEFT ELEVATION

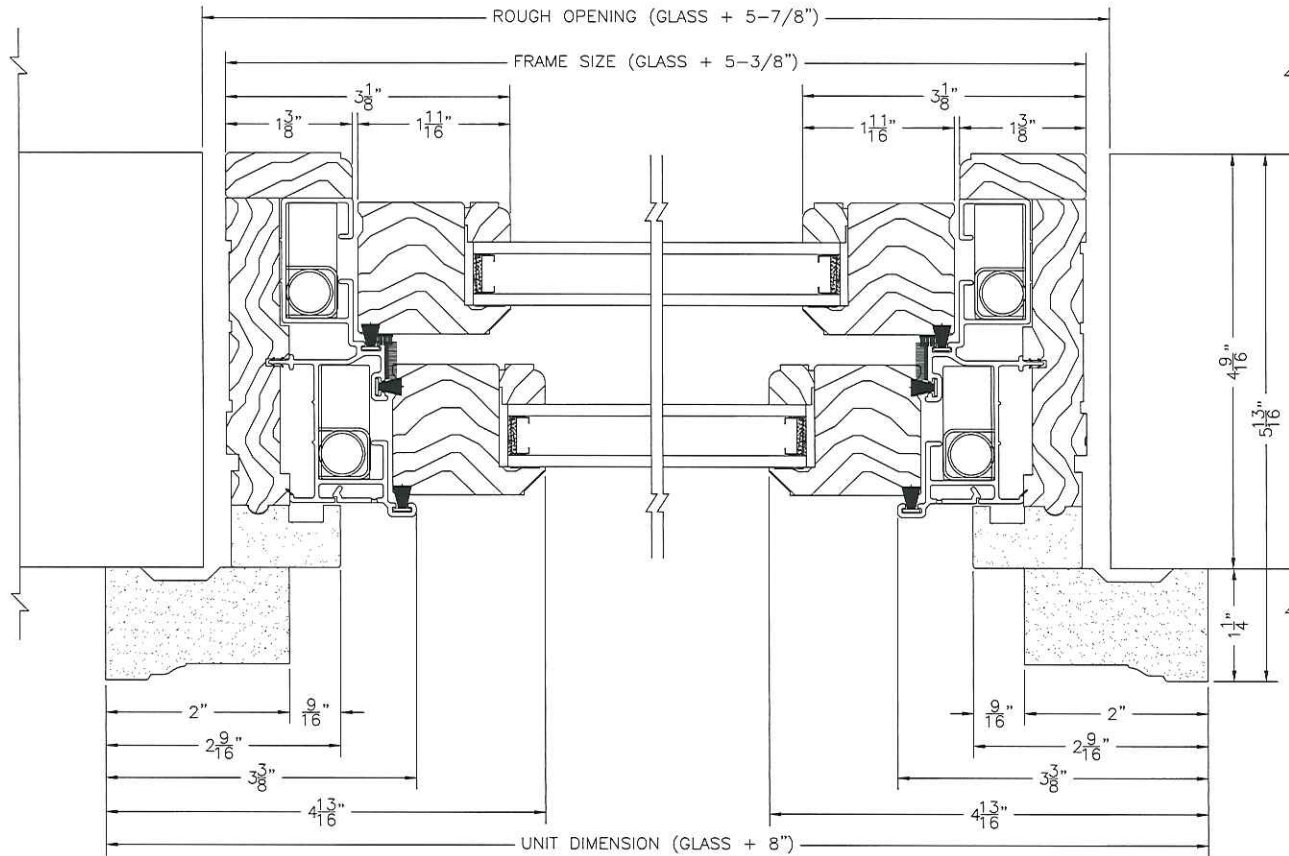
3/32" = 1'-0"



PROPOSED RIGHT ELEVATION

3/32" = 1'-0"

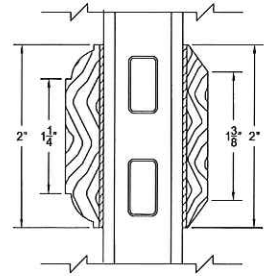
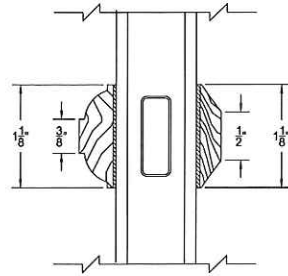
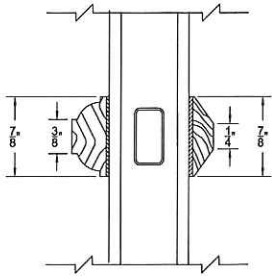
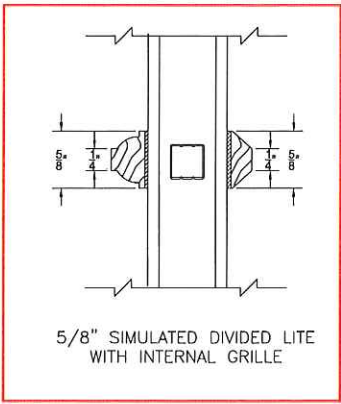
607 N. East Street
 Raleigh, North Carolina
 05.26.15



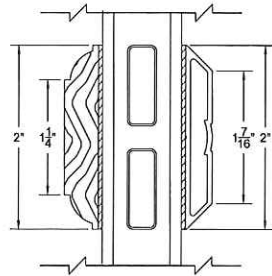
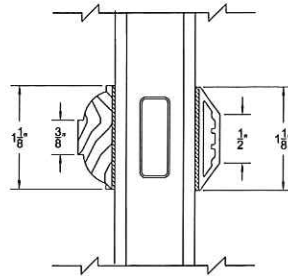
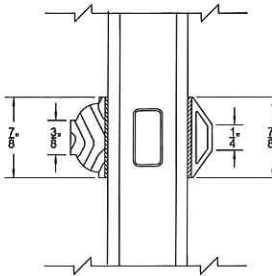
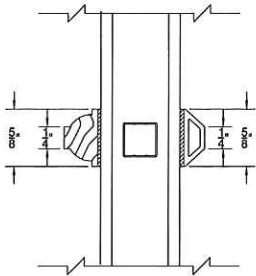
WOOD DOUBLE HUNG - HORIZONTAL SECTION
SCALE: 6" = 1' 0"

LINCOLN WOOD PRODUCTS, INC.

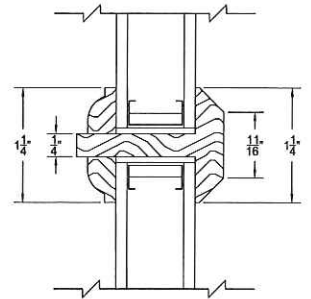
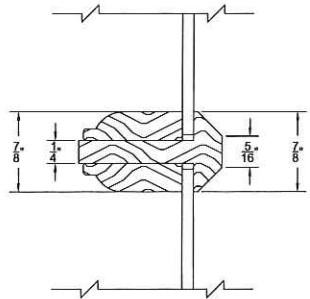
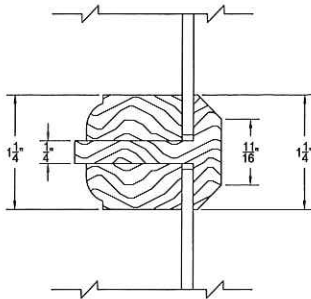
1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461



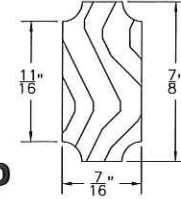
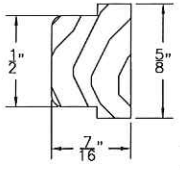
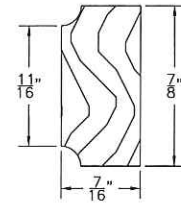
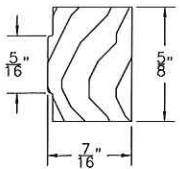
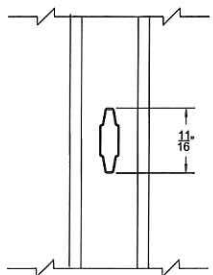
WOOD SIMULATED DIVIDED LITE



CLAD/WOOD SIMULATED DIVIDED LITE



TRUE DIVIDED LITE



GRID OPTIONS - STANDARD PRODUCTS
 SCALE: 6" = 1' 0"
LINCOLN WOOD PRODUCTS, INC.

1400 W. TAYLOR ST. Merrill, WI 54452 (715) 536-2461



Tully, Tania

From: Band, Daniel
Sent: Friday, June 05, 2015 9:43 AM
To: sharppropertiesnc@gmail.com
Cc: Tully, Tania
Subject: Minor Work COA - 607 N East St

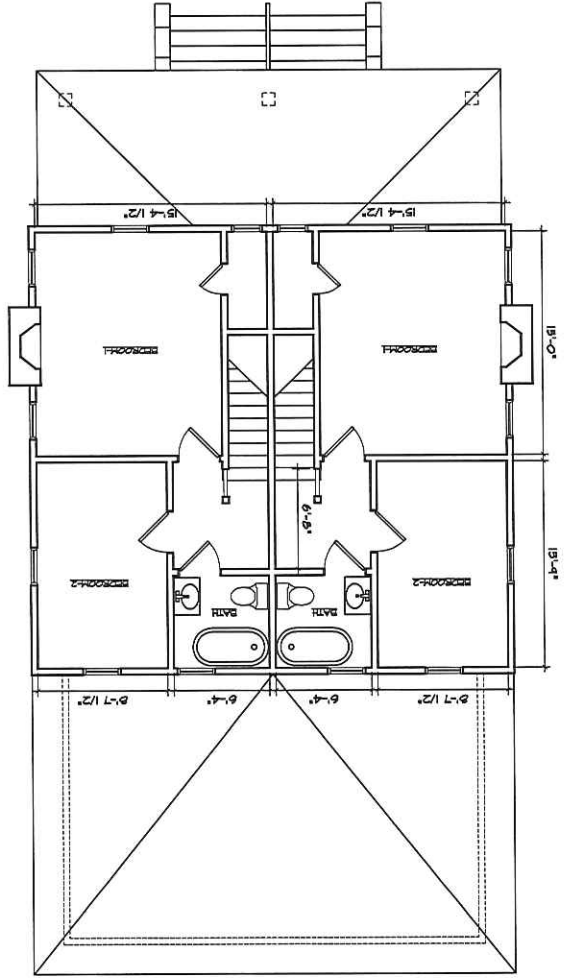
Thanks for turning in an application for a Minor Work COA for 607 N East St. I've reviewed the application and have a few comments. You may email in supplemental materials.

- Please mark in the photos or drawings that you sent all elements on the home which are to be removed.
- Please include an additional photo of the rear that clearly shows both existing decks.

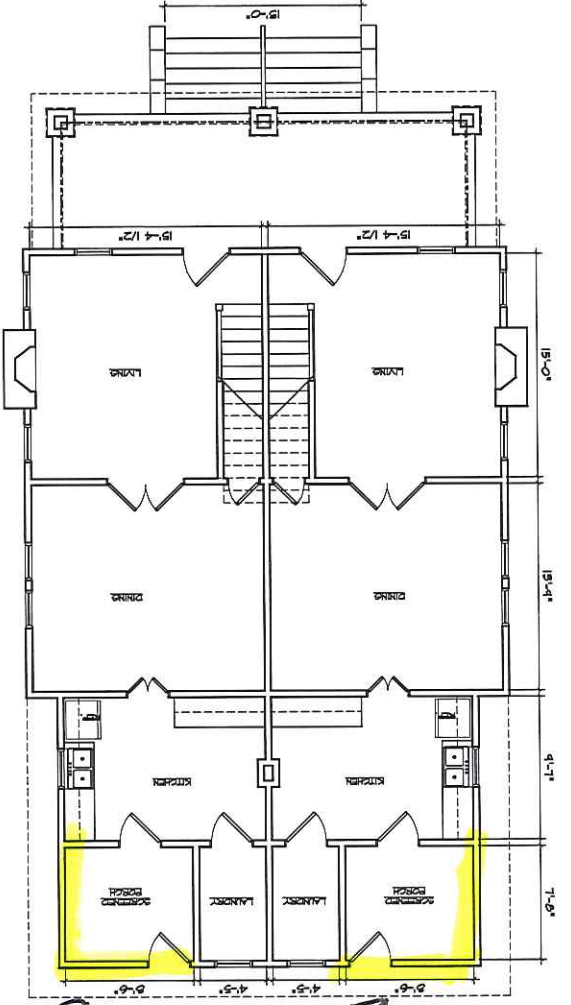
Thank you,
Daniel

Daniel Band, Planner I
Long Range Planning Division
Raleigh Planning Department
919-996-2180 - OEP, 2nd Floor

SECOND FLOOR PLAN - EXTG
 1/8" = 1'-0"



FIRST FLOOR PLAN - EXTG
 1/8" = 1'-0"



portches being enclosed

Existing Floor Plan

Existing

Screened
Panel



LEFT SIDE ELEVATION
1/8" = 1'-0"

Removal
of
vent



FRONT ELEVATION
1/8" = 1'-0" 2491

Screened
Panel



RIGHT SIDE ELEVATION
1/8" = 1'-0"



REAR ELEVATION
1/8" = 1'-0"

607 N. EAST STREET
Raleigh, North Carolina
03.31.15

M
MAURER
architecture
919.829.4969

- AC window units are gone.
- Previous owner kept.

Proposed

*Enclosed
Porch*



NEW NO 6/6
WINDOWS TO
MATCH EXTS.

LEFT SIDE ELEVATION
1/8" = 1'-0"



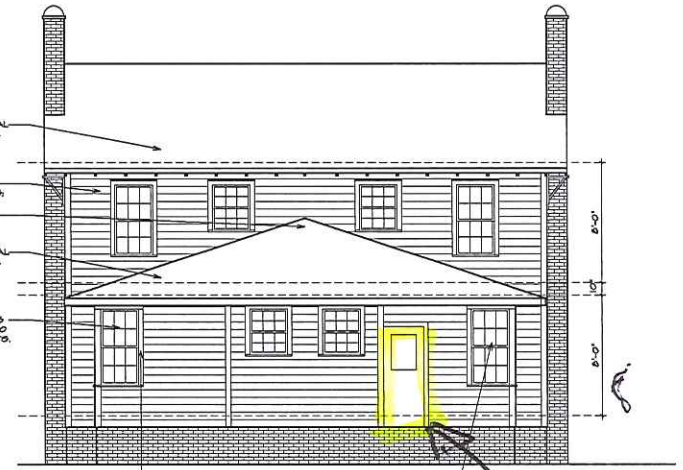
REMOVE PIPE
RAILING

FRONT ELEVATION
1/8" = 1'-0"



EXTS. METAL
ROOF, FTD.
EXTS. NO
LAP SIDING,
FTD.
REMOVE
EXTS.
CHIMNEY
EXTS. METAL
ROOF, FTD.
NEW NO 6/6
WINDOWS TO
MATCH EXTS.

RIGHT SIDE ELEVATION
1/8" = 1'-0"



NEW 2x4 TRIM,
FTD. TO MATCH EXTS.

NEW NO 6/6
WINDOWS TO
MATCH EXTS.

REAR ELEVATION
1/8" = 1'-0"

*↑
Enclosed
Porch*

*ONE FRONT
door*

607 N. EAST STREET
Raleigh, North Carolina
03.31.15





IMG_4936