

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

717 DOROTHEA DRIVE

Address

BOYLAN HEIGHTS

Historic District

Historic Property

076-15-MW

Certificate Number

6/9/2015

Date of Issue

12/9/2015

Expiration Date

Project Description:

- Install concrete front walk.

OK to PERMIT

This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.



Planning & Development

Development Services
Customer Service Center
One Exchange Plaza
1 Exchange Plaza, Suite 400
Raleigh, North Carolina 27601
Phone 919-996-2495
eFax 919-996-1831

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
 - Most Major Work Applications
 - Additions Greater than 25% of Building Square Footage
 - New Buildings
 - Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 4134420
 File # 076-15-MW
 Fee \$ 29
 Amt Paid \$ 29
 Check # CC
 Rec'd Date 6/2/15
 Rec'd By AKW

• If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address **717 DOROTHEA DR, RALEIGH, NC**

Historic District **BOYLAN HEIGHTS**

Historic Property/Landmark name (if applicable)

Owner's Name **THE FINLEY & LIGHTNER GROUP**

Lot size	(width in feet)	(depth in feet)
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For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant **LIONEL FINLEY**

Mailing Address **717 DOROTHEA DR**

City **RALEIGH** State **NC** Zip Code **27603**

Date **5/19/2015** Daytime Phone **919-210-8772**

Email Address **LFINLEY@FSIHOMES1.COM**

Signature of Applicant _____

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 12/9/15. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature *Lionel Finley* Date 6/9/15

Project Categories (check all that apply):

Exterior Alteration

Addition

New Construction

Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes

No

(Office Use Only)

Type of Work _____

SB

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
2 / 17	WALKWAYS, DRIVEWAYS, AND OFFSTREET PARKING ***	ADD SIDEWALK, L-SHAPE SIDEWALK TO DRIVEWAY. CAN'T ADD STRAIGHT TO PUBLIC WALKWAY BECAUSE OF TREE AND IT'S ROOTS
		NEW SIDEWALK WILL BE ACID WASHED TO MATCH EXISTING PUBLIC SIDEWALK
	***	SECOND OPTION IS TO CREATE AN S-CURVED SIDEWALK THAT CONNECTS DIRECTLY TO THE PUBLIC SIDEWALK INSTEAD OF THE DRIVEWAY

** Surface texture must be water washed to match adjacent. No borders TGT 6.9.15*

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>	X		✓		
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		✓		
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>		✓		
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input type="checkbox"/>		✓	
6. Drawings showing proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s). <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	<input type="checkbox"/>	<input type="checkbox"/>			✓
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
8. Fee (See Development Fee Schedule)	<input type="checkbox"/>				

SIDEWALK OPTION 2

- NOTES:
 1. SURVEY COMPLETED 4-29-15.
 2. THIS SURVEY WAS PERFORMED WITHOUT BENEFIT OF A TITLE REPORT.
 3. ADJOINING OWNERS TAKEN FROM DEEDS AND TAX RECORDS.
 4. THIS PROPERTY MAY BE SUBJECT TO EASEMENTS OR OTHER ENCUMBRANCES THAT A DETAILED TITLE SEARCH MAY DISCLOSE.
 5. ALL MEASUREMENTS SHOWN ARE HORIZONTAL GROUND DISTANCES.
 6. AREA CALCULATED BY COORDINATES.

CONCRETE NAIL SET NEAR THE APPARENT INTERSECTION OF DOROTHEA DRIVE & S BOYLAN AVENUE.

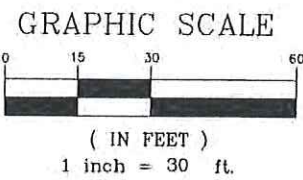
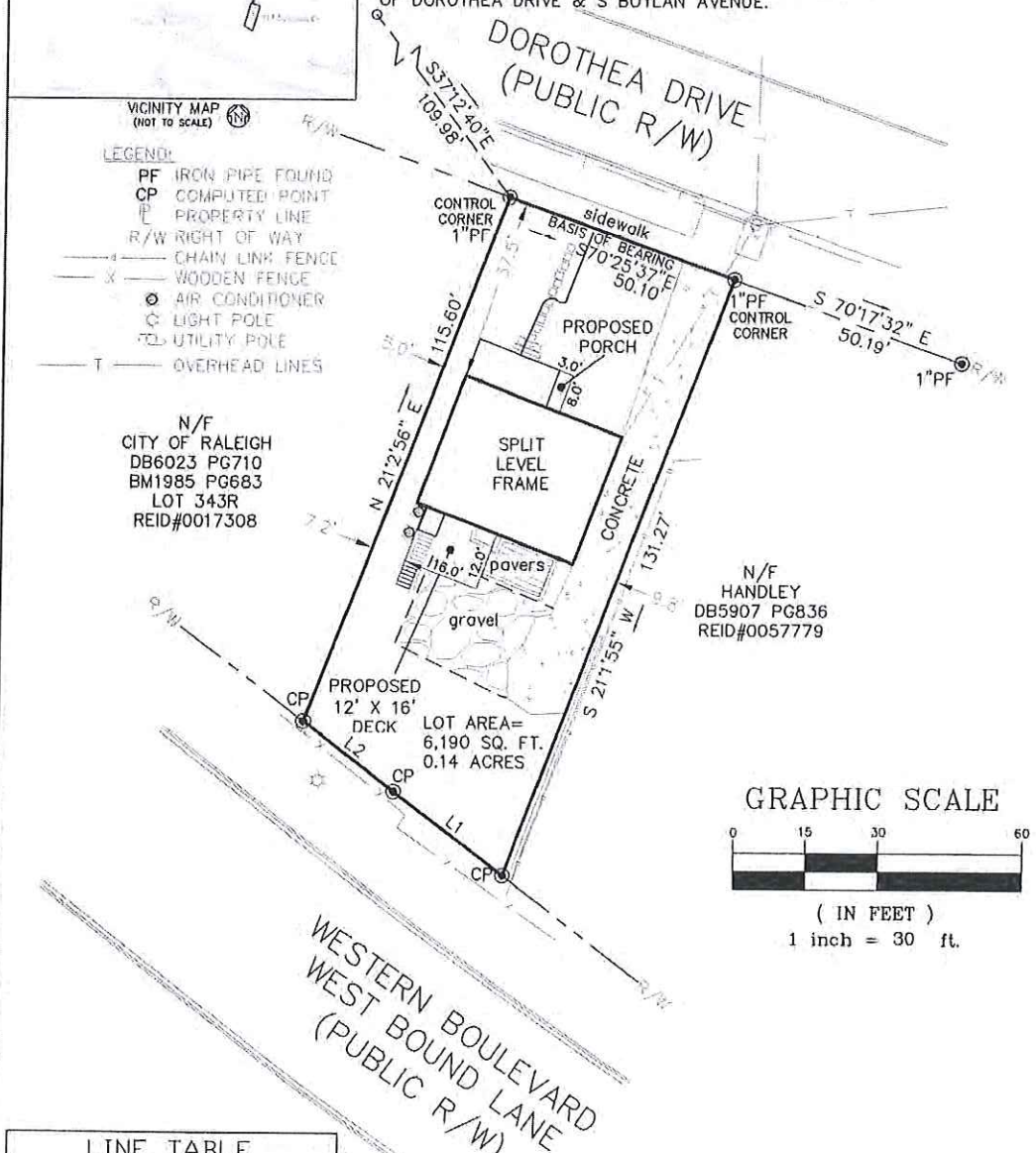


VICINITY MAP (NOT TO SCALE)

- LEGEND:
 PF IRON PIPE FOUND
 CP COMPUTED POINT
 — PROPERTY LINE
 — CHAIN LINK FENCE
 — X — WOODEN FENCE
 ○ AIR CONDITIONER
 ○ LIGHT POLE
 ○ UTILITY POLE
 — T — OVERHEAD LINES

N/F
 CITY OF RALEIGH
 DB6023 PG710
 BM1985 PG683
 LOT 343R
 REID#0017308

N/F
 HANDLEY
 DB5907 PG836
 REID#0057779



LINE TABLE		
LINE	LENGTH	BEARING
L1	28.61	N 53°26'17" W
L2	23.54	N 52°21'0" W

ADDRESS: 717 DOROTHEA DRIVE
 RALEIGH NC 27518
 PIN# 1703.10-35-1889
 REID# 0052385
 DB12826 PG1850
 BM1985 PG683 LOT 344R
 BM1993 PG1151 LOT 6A
 BOYLAN HEIGHTS S/D



I, Anthony S. DiBono, certify that this plat was drawn under my direct supervision from an actual survey made under my supervision; that the ratio of precision as calculated is 1:20,000+.
 Witness my original signature, registration number and seal this 4th day of May, 2015.

Anthony S. DiBono
 Anthony S. DiBono, PLS L-3967

FOR THE FIRM
 BOUNDARY ZONE, INC.
 FIRM NUMBER: C-3534

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE/PRECISION OF ONE FOOT IN 20,000 FEET, AND ANGULAR ERROR OF 3 SECONDS PER ANGLE POINT, AND WAS ADJUSTED USING COMPASS RULE.

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 20,000 FEET. THIS PLAT HAS BEEN PREPARED USING A TRIMBLE 5603 ROBOTIC TOTAL STATION.

PROJECT
 R15075-01
 SHEET
 1 OF 1

BOUNDARY SURVEY
 PREPARED for LIONEL FINLEY
 RALEIGH TOWNSHIP
 WAKE COUNTY, NORTH CAROLINA - 05/04/15

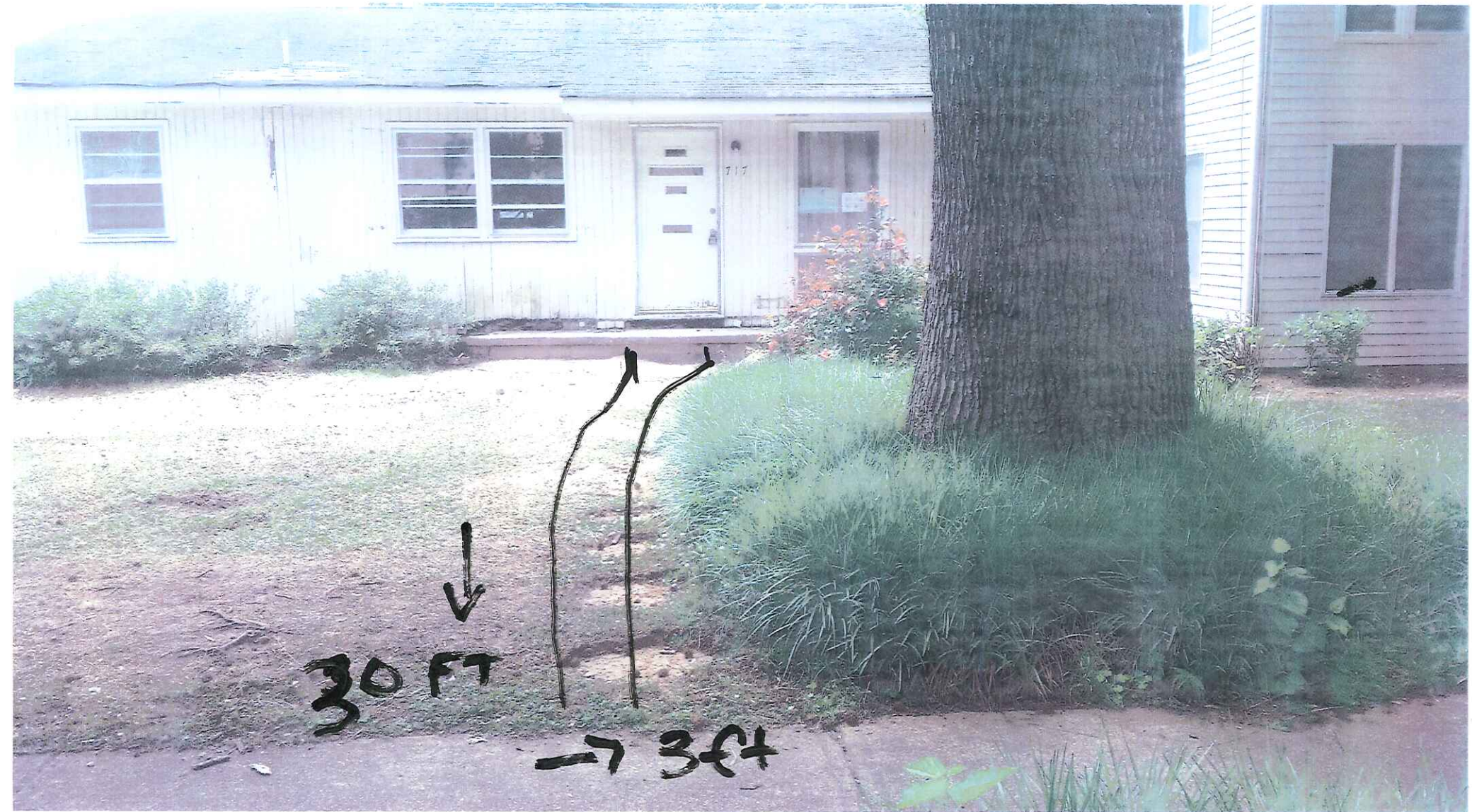
BOUNDARY ZONE, INC.
 APEX 2205 CANDUN DRIVE, STE. C
 APEX, NORTH CAROLINA 27523
 ATLANTA 235 PEACHTREE ST. NE, STE. 400
 ATLANTA, GEORGIA 30303
 BUFORD 4195 SOUTH LEE ST., STE. 1
 BUFORD, GEORGIA 30518
 APEX: (919) 363-9226
 FAX: (919) 363-9228
 WWW.BOUNDARYZONE.COM

721

Dorothea



3 FT WIDE



3 x 30

FRONT STREET



DANGER

DANGER

DANGER

FROM HOUSE

