

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

708 DOROTHEA DRIVE

Address

BOYLAN HEIGHTS

Historic District

Historic Property

072-15-MW

Certificate Number

6/2/2015

Date of Issue

12/2/2015

Expiration Date

Project Description:

- Repair/replace concrete stair;
- remove dangerous tree **S**

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature

Raleigh Historic Development Commission

A handwritten signature in black ink, appearing to read "Larry Stultz", is written over a horizontal line. The signature is fluid and cursive.

Pending the resolution of appeals, commencement of work is at your own risk.



Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 eFax 919-996-1831

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
 - Most Major Work Applications
 - Additions Greater than 25% of Building Square Footage
 - New Buildings
 - Demo of Contributing Historic Resource
 - Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 432247
 File # 072-15-MW
 Fee 29.00
 Amt Paid 29.00
 Check # C.C.
 Rec'd Date 5-13-15
 Rec'd By Fun

- If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address 708 Dorothea Drive, Raleigh, NC 27603

Historic District Boylan Heights

Historic Property/Landmark name (if applicable)

Owner's Name Nathan Romblad

Lot size 0.16 acres

(width in feet) 55' @ front, 90' @ back

(depth in feet) 102'

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

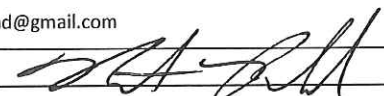
Applicant Nathan Romblad

Mailing Address 1905 Cameron Street

City Raleigh State North Carolina Zip Code 27605

Date 05/11/2015 Daytime Phone 919-538-9983

Email Address nromblad@gmail.com

Signature of Applicant 

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 12/2/15. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature  Date 6/2/15

Project Categories (check all that apply):

- Exterior Alteration
- Addition
- New Construction
- Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

- Yes
- No

(Office Use Only)

Type of Work 76, 66

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
2.3	Site Features and Plantings	Remove and provide replacement tree for water oak damaging sidewalk/stairs. Remove and provide replacement tree for diseased/dead willow oak tree.
2.5	Repair of Exterior Stairs and Walk	Repair damaged concrete stair from public sidewalk and sidewalk leading to entry stair of home.

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF				
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>	X				
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
6. Drawings showing proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s). <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				

708 Dorothea Drive – Certificate of Appropriateness Application Letter
May 12, 2015

Description of Project:

This application is to remove two large trees in the front yard of my home and provide replacement trees in a more suitable location.

The water oak at the front left corner of the property (as viewed from the street) has substantial roots that have destroyed the sidewalk, retaining wall and a portion of the stairs. These concrete structures are contributing factors to the historic home and are in need of replacement. To create a lasting structure I've hired an arborist to make a recommendation for replacing the concrete and it's his finding that the tree must be removed. Due to proximity of the walkway, stairs and retaining wall I'm proposing a new dogwood tree be planted further back on the left side of the property.

The willow oak at the front right corner of the property (as viewed from the street) is diseased and dying. Due to the size and danger of the tree, the arborist has recommended this tree be removed. Due to the proximity to the driveway on the property at 706 Dorothea Drive and the existing retaining wall, I've proposed replacing the tree with a new weeping cherry tree located in the backyard of the property.

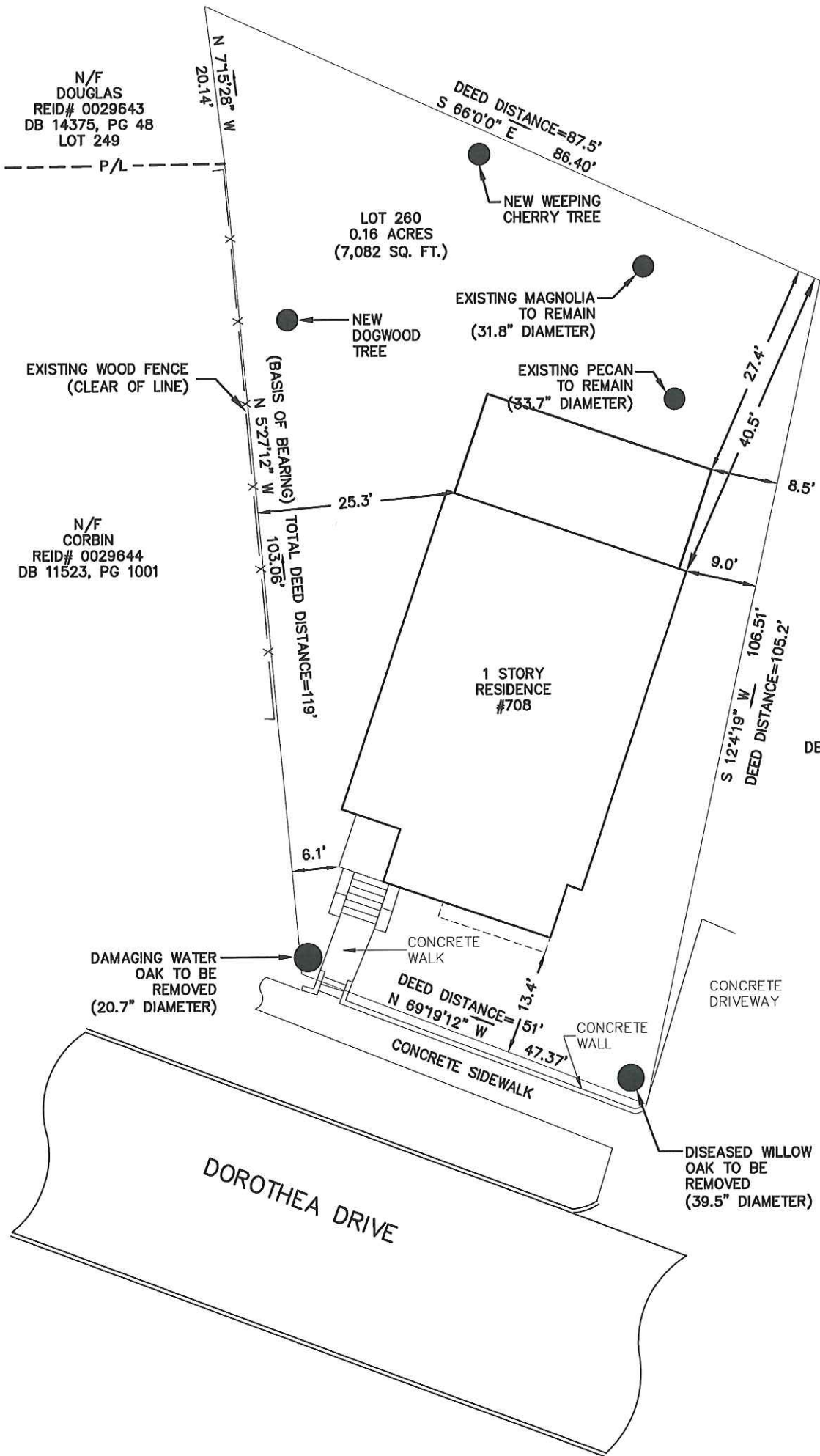
I propose replacing the damaged portions of the walkway, stairs and retaining wall in kind with the same size and type of structure.

Attached please find a plot plan sketch with new/existing trees and concrete structure locations. I've also included several pictures with descriptions. The last attachment is a letter from an ISA Certified arborist with recommendations for the trees in question. The last tree in his letter (pecan tree) was a portion of a major work application that was previously approved.

N/F
DOUGLAS
REID# 0029643
DB 14375, PG 48
LOT 249

N/F
CORBIN
REID# 0029644
DB 11523, PG 1001

N/F
HAIGNERE
REID# 0003401
DB 12270, PG 2559
LOT 259



LOT 260
0.16 ACRES
(7,082 SQ. FT.)

EXISTING MAGNOLIA
TO REMAIN
(31.8" DIAMETER)

EXISTING PECAN
TO REMAIN
(33.7" DIAMETER)

1 STORY
RESIDENCE
#708

DAMAGING WATER
OAK TO BE
REMOVED
(20.7" DIAMETER)

DISEASED WILLOW
OAK TO BE
REMOVED
(39.5" DIAMETER)

DOROTHEA DRIVE



Figure 1 Water oak adjacent to sidewalk and steps



Figure 2 Damaged steps and concrete walkway to be replaced in kind



Figure 3 Broken walkway



Figure 4 Diseased / dead willow oak tree



Figure 5 Dead tree limbs overhanging house from willow oak



PROPOSAL

Nathan Romblad

708 Dorothea Drive
Raleigh, NC 27603

Phone: (919)538-9983

Proposed by: Christopher Reed

Job Name: Romblad 20150120

Date: 1/22/2015

Work Site: 708 Dorthea Drive
Raleigh, NC 27603

#	Item	Description	Qty	Cost
		Notes	1	\$0.00
		TREE PROTECTION PLAN		

For:

Nathan Romblad
708 Dorothea Drive
Raleigh, NC 27603
(919) 538-9983

Prepared by:

Christopher B. Reed
Leaf and Limb Tree Service - ISA Certified Arborist PD-0623A
2501 Blue Ridge Road
Suite 250
Raleigh, NC 27607
(919) 787-9551

#	Item	Description	Qty	Cost
1		Notes	1	\$0.00

WATER OAK TREE - Quercus nigra

LOCATION:

Front left of the house, near the sidewalk and left of the front steps and walkway.

HAZARDS:

The tree is growing with 2 to 3 feet of the front walkway and steps. The roots have already lifted the walkway and has cracked the front steps.

CONCERNS:

- The front walkway and steps will have to be replaced. In order to do this properly, approximately 1/2 of the roots on the right side of the tree will have to be cut and removed.
- By cutting and removing this amount of the trees root system, in my opinion, would be very detrimental to the long term health of the tree. I feel this action would kill this tree.

RECOMMENDATIONS:

Due to close proximity of the front steps and walkway and the damage being caused, I recommend removing this Water Oak tree. In my opinion, if the tree roots were cut, as they would need to be, the tree would die.

#	Item	Description	Qty	Cost
2		<p>Notes</p> <p>Willow Oak tree - Quercus phellos</p> <p>LOCATION:</p> <p>Front right of the house, near the sidewalk and close to the neighbors driveway.</p> <p>HAZARDS:</p> <ul style="list-style-type: none"> - There is a large pocket of decay on the right side of the stem. The decayed area is approximately 3 feet wide by 5 to 6 feet high. There are fruiting bodies (fungus) on the base of the stem and on the root flares. These fruiting bodies are a definite sign of internal decay. - There are several cavities throughout the canopy of the tree. These cavities are also a sign of internal decay and weaken the branches / leaders drastically. - This tree has 2 large co-dominate leaders. The leader on the right side of the tree is approximately half dead. - The tree is bordered on the sidewalk by a concrete retaining wall. The extensive root system is jeopardizing the integrity of the wall. Because of this, the wall is already leaning and has the possibility of collapse. <p>CONCERNS:</p> <ul style="list-style-type: none"> - Because of the size of this Willow Oak tree and the extent of decay and dead branches / leaders, it jeopardizes the safety of 2 houses. - There are several large branches over hanging the house. - There are several large branches, dead and alive, over hanging the neighbors driveway and property. <p>RECOMMENDATIONS:</p> <ul style="list-style-type: none"> - Due to the extent of visible decay and internal decay and the size of the tree, I recommend removing this tree. 	1	\$0.00
3		<p>Notes</p>	1	\$0.00

#	Item	Description	Qty	Cost
---	------	-------------	-----	------

trees roots and require less root pruning / removal than a traditional foundation.

- No mechanized construction equipment should be allowed near the critical root zone of the Pecan tree, to prevent soil compaction.

- Cut the English Ivy Vine that is climbing the tree at the ground and strip approximately 4 feet of the vines off of the stem. This will kill the vine. If this is not done, the vine could climb the entire height of the tree. The vines add additional, unnecessary weight to the tree. Ivy also retains moisture against the trunk making the tree susceptible to disease and decay. In extreme cases ivy can grow into the canopy and cover the tree leaves which interrupts the photo synthesis process and leads to the eventual decline of the tree.

- Cut and remove all small trees and shrubs in the adjacent natural area. This area should start on the right side close to the garage on the neighbor's property, extend 40 feet across the front and then go to the back fence. The trees and shrubs at the base of the Pecan tree are competing for the necessary water and nutrients that the Pecan tree will need. The large magnolia along the back fence should stay. This is recommended because after pruning / removing so many roots, the Pecan tree will need every advantage to overcome the stress this will cause.

- If more than foot traffic will be near the remaining undisturbed roots and stem of the tree, I would recommend spreading mulch or wood chips approximately 6 inches deep around the base of the tree during construction. This would limit any possible soil compaction.

- After all the work has been completed, spread mulch or wood chips in the natural area around the tree as mentioned above. This will limit any vegetation from growing back and will also hold in moisture for the Pecan tree to utilize.

- To prevent damage to the bark and main stem, I would recommend installing some type of simple padding or cardboard around the stem. This should be attached with ropes or tape, not nails. I recommend this because the foundation will be so close to the stem and their will be workers very close to the tree.

- Provide Deep Root Fertilization to the Pecan tree after the construction is complete
- Make clean cuts of any roots that have been severed during the process. Roots should be cut while they are exposed
- Roots should be treated to prevent the onset of root rot.

NOTE: due to the amount of potential damage to the roots during construction, Leaf & Limb Tree Service cannot guarantee that there will be no adverse effect on the health or stability of the Pecan tree. We recommend that the construction process along the edge of the tree be minimal and that all steps mentioned above be followed to give the tree a maximum chance of recovery.

Notes:

Subtotal: \$0.00

Tax: \$0.00

Total: \$0.00

Customer Signature _____

Date _____

To accept please sign, date, and return this estimate or simply send us an email saying you would like to proceed. Please note that if you choose to accept this estimate, you thereby agree to our Terms & Conditions, which are listed at: www.leaflimb.com/terms

Please note that unless otherwise specified, all work is completed in accordance with ANSI A300 standards (e.g., pruning is performed without using spurs/spikes), which are the generally accepted arboriculture industry standards for tree care practices. In addition, we follow all safety standards set forth by OSHA, DOT, and ANSI Z133.1, which is the "American National Standard for Arboricultural Operations - Safety Requirements"

All work is performed by trained personnel who are familiar with the techniques and hazards of this type of work, and all of whom are covered with all necessary insurance, including workers compensation, general liability, and automobile liability.

Thanks you and we look forward to working with you!



Tully, Tania

From: Tully, Tania
Sent: Thursday, May 28, 2015 11:04 AM
To: 'Nathan Romblad'; Band, Daniel
Subject: RE: Minor Work COA - 708 Dorothea Drive

Hi Nathan –

Thanks for the additional information. Per our conversation, I have the authority to approve a donation to the NeighborWoods tree planting program (<http://www.raleighnc.gov/community/content/ParksRec/Articles/Programs/UrbanForestry/UFNeighborwoods.html>) in lieu of a replacement tree when there is not an appropriate location for a new tree of a similar species. If this is the route you wish to choose, a check to NeighborWoods in the amount of \$100 (\$50/tree) and the accompanying donation form needs to be provided. The donation will be earmarked for Boylan Heights.

Once this is received or the tree species in the application altered, I will be able to finalize processing of the application.

Best,
Tania

Tania Georgiou Tully, Preservation Planner
Long Range Planning Division
Raleigh Department of City Planning
919.996.2674
919.516.2684 (fax)
tania.tully@raleighnc.gov

COA process information is available [here](#).

From: Nathan Romblad [<mailto:nromblad@gmail.com>]
Sent: Friday, May 15, 2015 3:38 PM
To: Band, Daniel
Cc: Tully, Tania
Subject: Re: Minor Work COA - 708 Dorothea Drive

Daniel,

Below are my comments in red.

Thanks for the quick review!

Nathan Romblad, PE, LEED AP BD+C

On Fri, May 15, 2015 at 9:33 AM, Band, Daniel <Daniel.Band@raleighnc.gov> wrote:

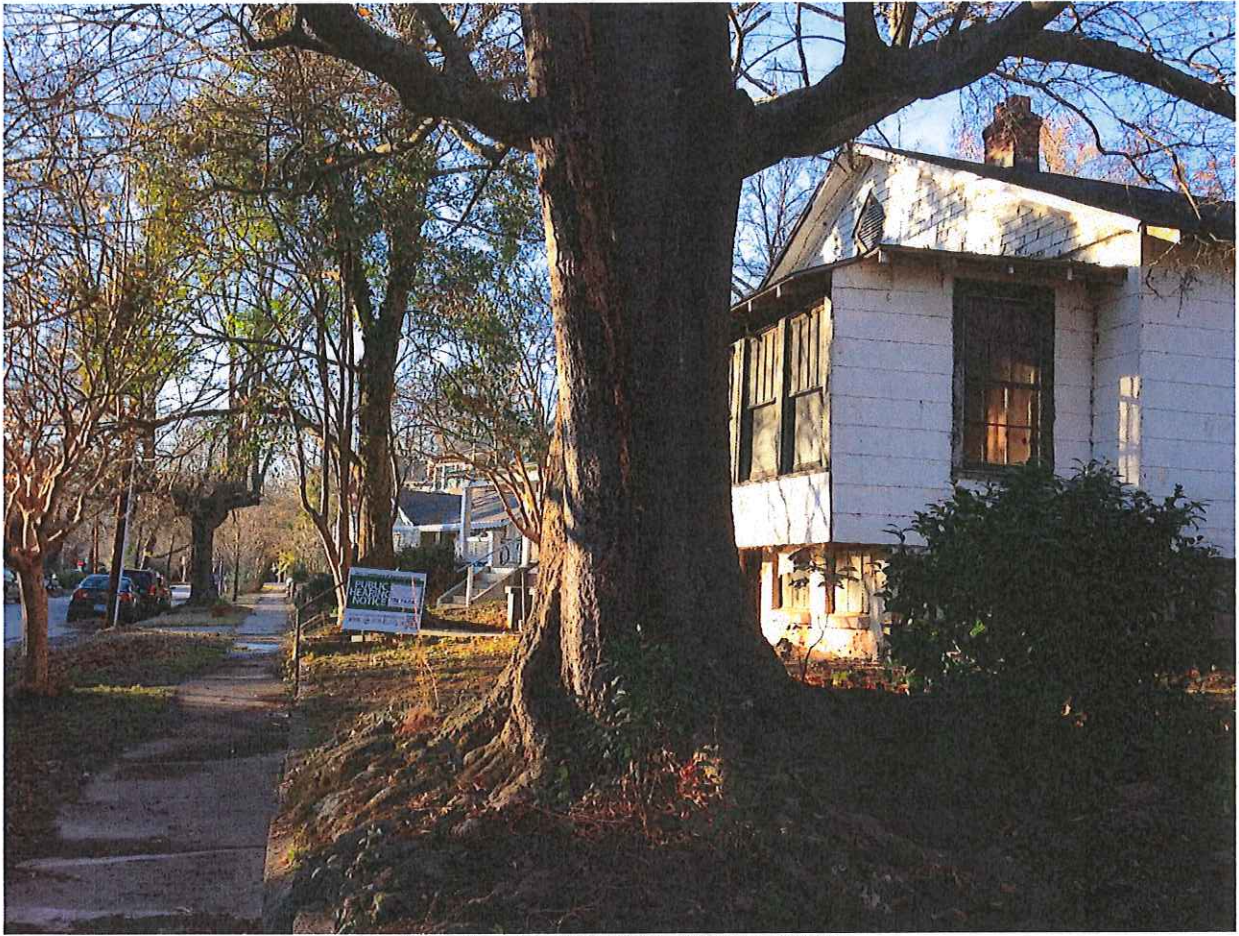
Nathan: Thanks for turning in an application for a Minor Work COA for 708 Dorothea Drive. I've reviewed the application and have a few comments. You may email additional materials.



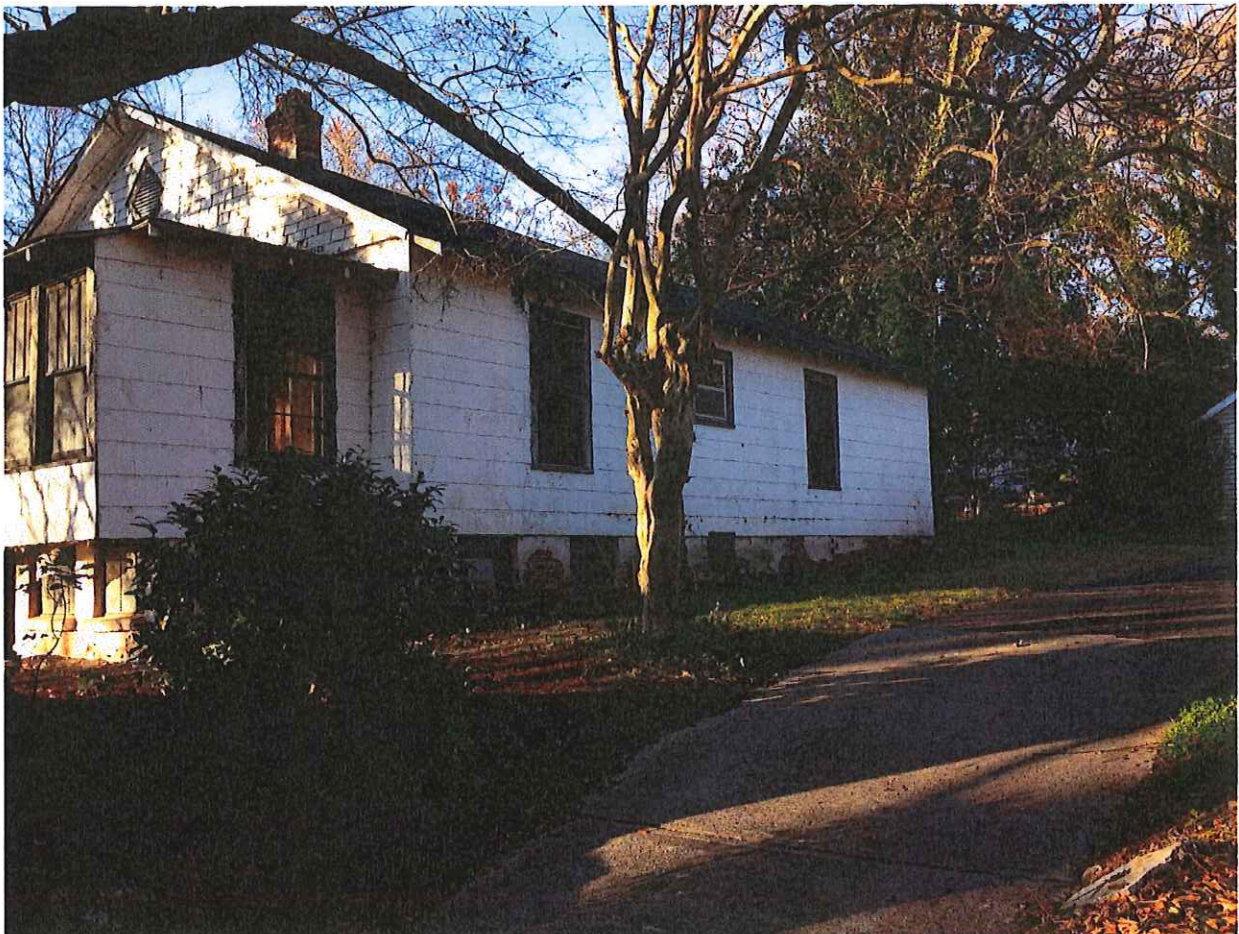
Dorothea Dr 708 2014-12-26 TGT(3)



Dorothea Dr 708 2014-12-26 TGT(5)



Dorothea Dr 708 2014-12-26 TGT(6)



Dorothea Dr 708 2014-12-26 TGT(8)

Band, Daniel

From: Band, Daniel
Sent: Friday, May 15, 2015 9:33 AM
To: 'nromblad@gmail.com'
Cc: Tully, Tania
Subject: Minor Work COA - 708 Dorothea Drive

Nathan: Thanks for turning in an application for a Minor Work COA for 708 Dorothea Drive. I've reviewed the application and have a few comments. You may email additional materials.

- We will need more information about the repair you plan to do on the damaged concrete stairs. Please specifically describe the work you plan to do? What materials will be used, etc?
- Per Guidelines 2.3.5 the replacement trees need to be of a similar or identical species.
- Additionally, please send in pictures that show the entire front of the home from the street and the surrounding tree canopy.

Thank you,

Daniel

Daniel Band, Planner I
Long Range Planning Division
Raleigh Planning Department
919-996-2180 - OEP, 2nd Floor

Tully, Tania

From: Nathan Romblad <nromblad@gmail.com>
Sent: Friday, May 15, 2015 3:38 PM
To: Band, Daniel
Cc: Tully, Tania
Subject: Re: Minor Work COA - 708 Dorothea Drive
Attachments: 2015-05-15 11.41.48.jpg

Follow Up Flag: Follow up
Flag Status: Flagged

Daniel,

Below are my comments in red.

Thanks for the quick review!

Nathan Romblad, PE, LEED AP BD+C

On Fri, May 15, 2015 at 9:33 AM, Band, Daniel <Daniel.Band@raleighnc.gov> wrote:

Nathan: Thanks for turning in an application for a Minor Work COA for 708 Dorothea Drive. I've reviewed the application and have a few comments. You may email additional materials.

- We will need more information about the repair you plan to do on the damaged concrete stairs. Please specifically describe the work you plan to do? What materials will be used, etc? **The plan is for the stairs to remain intact, but I fear they'll be damaged during tree removal. Therefore, I've measured and taken pictures of the stairs (22" high over three stairs and 52" total width). The sidewalk is 52" wide and 86" long from the stairs to the entry stairs to the house. This will be replaced with new concrete, since it is severely damaged due to the tree and will be removed once the tree is taken out. If the front retaining wall is damaged during removal, then it will be replaced with concrete block and provided with a concrete finish to match the existing wall. It's approximately 16" tall.**

Water-washed finish.

- Per Guidelines 2.3.5 the replacement trees need to be of a similar or identical species. **My preference is to use smaller trees, mainly because of the canopy of the property already and proximity to the home. There are two large crepe myrtles and one oak tree already in the front, that will remain, so I'm placing the new trees in the back with the large pecan and magnolia trees. If they need to be similar/identical species, please just adjust it to say they need to be willow oak trees. If you can provide approval with the trees as submitted, that would be helpful.**

- Additionally, please send in pictures that show the entire front of the home from the street and the surrounding tree canopy. **Picture attached.**

Thank you,

Neighborhoods
OK.
Per 5/22 Plan
Conv.



2015-05-15 11.41.48

COA Boylan Heights



NeighborWoods Tree Planting Program Tax Deductible Contribution Form

Name Nathan Romblad

Phone Number 919-538-9983

Work Phone Number 919-538-9983

Address 708 Dorothea Drive

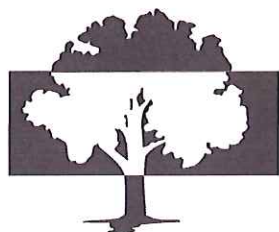
City Raleigh State NC Zip 27603

I am sending a check, made out to Raleigh NeighborWoods, for a one time tax deductible contribution of \$ 100.00

Please return to:

Raleigh Business Office
Attention: NeighborWoods
105 Pullen Road
Raleigh, NC 27607

Or email at trees@raleighnc.gov



RALEIGH Parks,
Recreation *and*
Cultural Resources
parks.raleighnc.gov

