



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

821 RUNNYMEDE ROAD

Address

Historic District

MATSUMOTO HOUSE

Historic Property

171-14-MW

Certificate Number

11/6/2014

Date of Issue

11/6/2015

Expiration Date

Project Description:

- Renew and change previously approved COA 003-14-CA.
- Change design of new railing;
- change material of ramp

OK to PERMIT

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.



Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 eFax 919-996-1831

Group 34926

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



RALEIGH HISTORIC DEVELOPMENT COMMISSION

- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
 - Most Major Work Applications
 - Additions Greater than 25% of Building Square Footage
 - New Buildings
 - Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 412764

File # 71-14-MW

Fee 29.00

Amt Paid 29.00

Check # 7071

Rec'd Date 10-23-14

Rec'd By Trudy McBride

• If completing by hand, please use BLACK INK. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address 821 Runnymede Road, Raleigh

Historic District

Historic Property/Landmark name (if applicable) Matsumoto House

Owner's Name HUSTON PASCHAL

Lot size (width in feet) 140 ft. frontage (depth in feet) 279.2 ft. deep on E side
156.84 ft. wide at rear 272 ft. deep on W side

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant HUSTON PASCHAL

Mailing Address 821 Runnymede Road

City Raleigh State NC Zip Code 27607

Date 22 October 2014 Daytime Phone 919.787.4619

Email Address h.paschal821@att.net

Signature of Applicant HUSTON PASCHAL

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 11/6/15. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature [Signature] Date 11/6/14

Project Categories (check all that apply):

Exterior Alteration - maintenance, restoration

Addition

New Construction

Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes

No

(Office Use Only)

Type of Work 91, 89

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
2.3, p 12	Site Features and Plantings	restoration of front entry walk, patio, and planters; restoration of ramp with handrails
		Renew COA 003-14-CA + Revise

TO BE COMPLETED BY APPLICANT	TO BE COMPLETED BY CITY STAFF				
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2" x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>				
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>				
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>				
4. Paint Schedule (if applicable)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
6. Drawings showing proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s). <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>			
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			
8. Fee (See Development Fee Schedule)	<input checked="" type="checkbox"/>				

Project description
821 Runnymede Road

I am applying for a renewal of the COA (number 003-14-CA) approval, as amended with conditions, received at the 3 February 2014 Commission meeting. Please note that the railing design has been modified.

The conditions are being met:

The historic wing wall not be relocated and will not be replaced with brick.

The surface texture of the new section of driveway will match that of the existing driveway.

The forecourt will not be replaced with brick.

Details and specifications of the following were asked for and are provided:

new steps, elongated to create a better path to the ramp, as approved – drawing attached

brick sample – sample attached; and mockup of wall available at house

patio layout and new concrete surface texture – drawing attached; sample of surface texture available at house

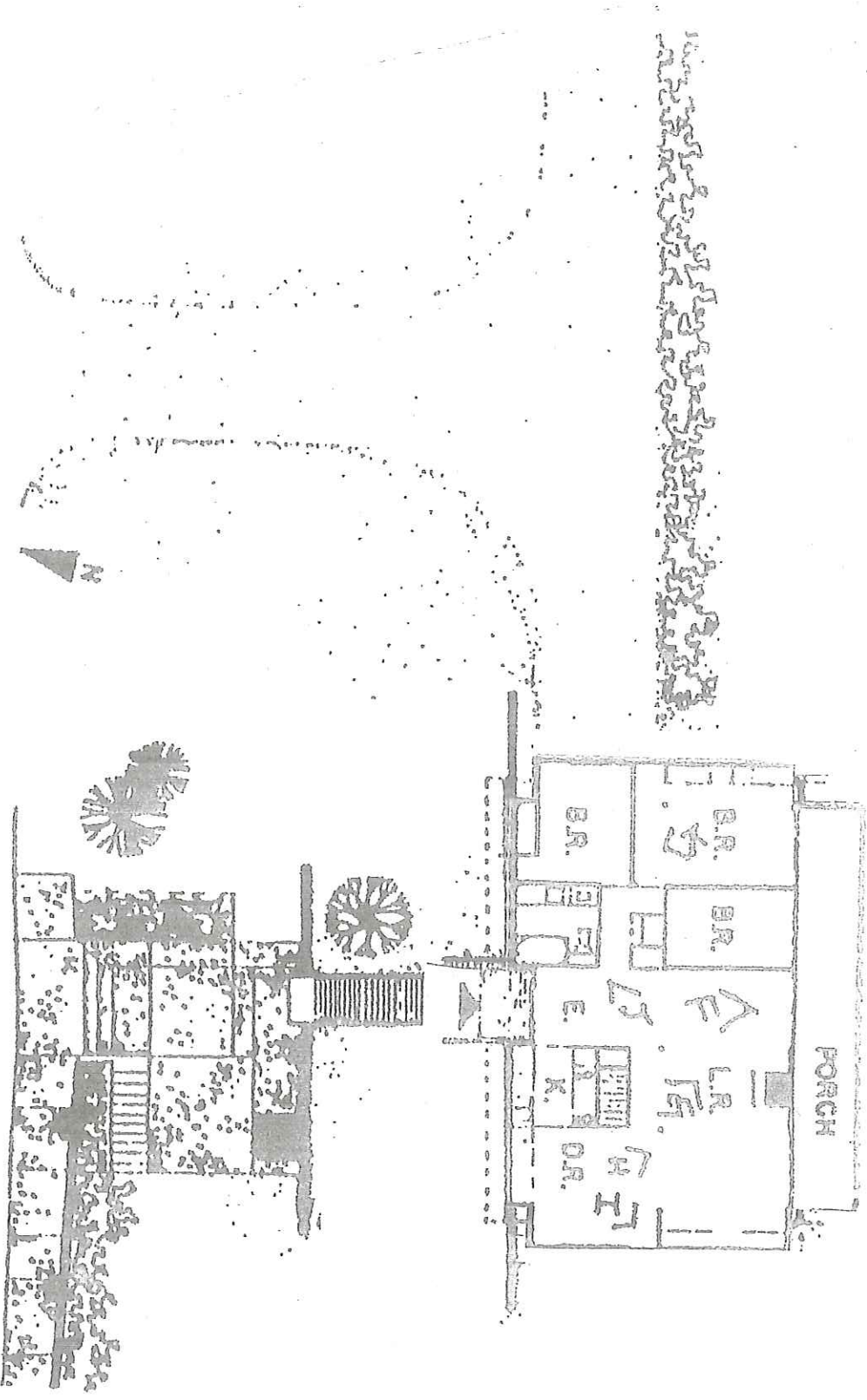
planter walls – drawing attached

The delayed schedule has provided time for giving the project more thought. Absorbing all the Commissioners' general comments and suggestions and then realizing these ideas have led us to modify somewhat the original plans. Instead of replacing the ramp with Ipe, we have decided to use the same material as has been there. The wood boards will have a semi-transparent stain to give them a warm color as well as lengthen their life. We feel this material is more in keeping with the original aesthetic of the house. For the same reason, instead of making the handrails of stainless steel, we have decided to use a painted steel railing – with the same proposed wood cap. The short bends would create unsightly redundancies with the cable railing anchors, and the steel affords the simple lines incorporated in mid-century design. (The boards of the ramp will overhang the I-beams, to capture the new handrail supports so they don't appear as add-ons, and to eliminate the trip at the platform.) A mockup of the handrail design is available at the house.

In the initial proposal, when addressing the replacement of the existing sidewalk, the possibility of a curb and gutter was introduced. Discussions with the City revealed that they would require engineering drawings to implement a curb and gutter. We felt such a step was more of an effort, not to mention expense, than was warranted. Consequently we will replace the sidewalk keeping more to the original configuration. The only difference is that we will not use wood strips on the sidewalk because that would result in a walkway not strong enough to withstand the heavy vehicular traffic now common on Runnymede. We would end up once again with a broken sidewalk.

Revisions

(1) & (2)



Runnymede Road

Photographs

1 Entrance area

2 Entrance area, showing brick to be used in replacing planter







Matsumoto House 2014-10-31 TGT (5)



Matsumoto House 2014-10-31 TGT (2)



Matsumoto House 2014-10-31 TGT (7)



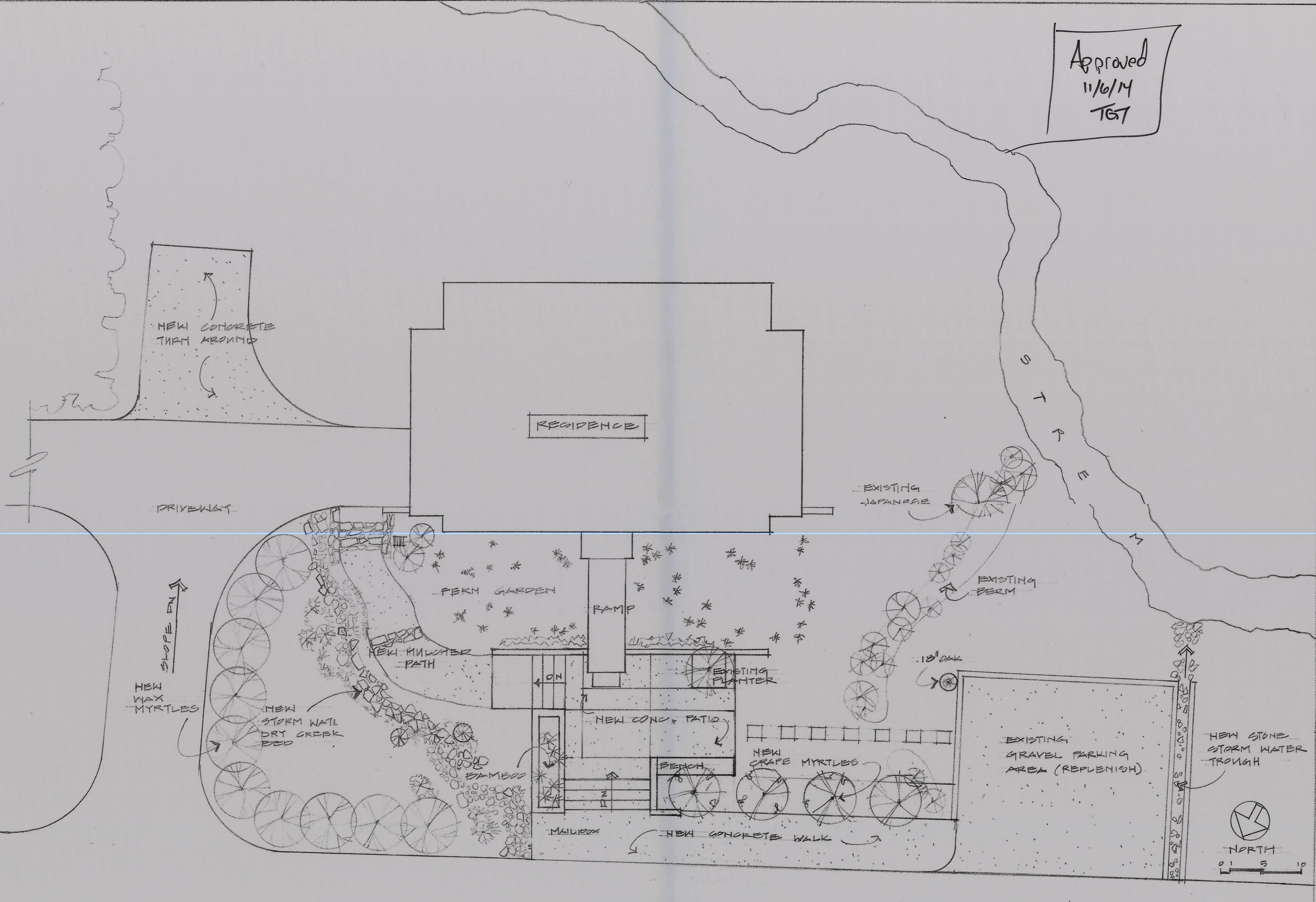
Matsumoto House 2014-10-31 TGT (1)



Matsumoto House 2014-10-31 TGT (3)

Approved
11/6/14
TGT

kollellik



LANDSCAPE PLAN FOR HUSTON PASCHAL 321 RUNNYMEADE RD. OCT. 21, 2014 EPA

COA

1412516

Approved
11/6/14 TGT

Not part of this application. TGT

RESIDENCE

ENTRY

ok see photo TGT

EXIST'G RAMP

NEW PAINTED STEEL RAILING W/ WOOD CAP.

NEW PT. 2x6 DECKING W/ SEMI TRANSPARENT STAIN
PAINT EXIST'G BLOCK RETAINING WALL

WINTER SWEET PLANTER 4'x4'

2x4 PT. DIVIDERS

4 STEPS DN

EXIST'G OAK



GRAVEL PARKING AREA 20'x30'

NEW 6x6 FT. BORDER

CRAPE MYRTLES

NEW BRICK DECK

NEW CONCRETE WALK

NEW BRICK RETAINING WALL

4 STEPS DN

NEW BRICK RETAINING WALL

BRICK PLANTER BAMBOO

WATER METER

NEW CONCR. PATIO

6'-8"

12'-5"

5'-0"

1'-4" 1'-4" 1'-4"

21'-0"

10'-5"

52'-0"

RUNNYMEDE ROAD

FORECOURT PLAN

SCALE: 1/4" = 1'-0"