



CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

420 CUTLER STREET

Address

BOYLAN HEIGHTS

Historic District

Historic Property

165-14-MW

Certificate Number

10/28/2014

Date of Issue

4/28/2015

Expiration Date

Project Description:

- Enclose rear screened porches;
- remove side wall window and relocate;
- remove side steps;
- remove rear window;
- change exterior paint color;
- install new doors

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____

Raleigh Historic Development Commission

Pending the resolution of appeals, commencement of work is at your own risk.



Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 eFax 919-996-1831

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
- Most Major Work Applications
- Additions Greater than 25% of Building Square Footage
- New Buildings
- Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 412202

File # 165-14-MW

Fee 29

Amt Paid 29

Check # 9318

Rec'd Date 10-17-14

Rec'd By pt

- If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address **420 Cutler Street**

Historic District **Boylan Heights**

Historic Property/Landmark name (if applicable)

Owner's Name **John and Beth Lunsford**

Lot size **6477sf +/-**

(width in feet) **51**

(depth in feet) **127**

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant **David Maurer AIA, Maurer Architecture PA**

Mailing Address **115.5 E. Hargett St Suite 300**

City **Raleigh** State **NC** Zip Code **27601**

Date **10.14.14** Daytime Phone **919-829-4969**

Email Address **david@maurerarchitecture.com**

Signature of Applicant 

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 4/28/15. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature  Date 10/28/14

Project Categories (check all that apply):

Exterior Alteration

Addition

New Construction

Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes

No

(Office Use Only)

Type of Work 66, 57, 29, 84,

51

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
3.4	Paint	Repaint siding, trim, and foundation
3.7	Windows and Doors	Relocate two ex'g windows from side to rear; install new rear door; install new windows and door at screen porch enclosure
3.8	Entrances, Porches, and Balconies	Enclose rear screen porch, main floor and second floor

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>					
1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)	<input checked="" type="checkbox"/>		✓		
2. Description of materials (Provide samples, if appropriate)	<input checked="" type="checkbox"/>		✓		
3. Photographs of existing conditions are required.	<input checked="" type="checkbox"/>		✓		
4. Paint Schedule (if applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
6. Drawings showing proposed work <ul style="list-style-type: none"> <input type="checkbox"/> Plan drawings <input type="checkbox"/> Elevation drawings showing the new façade(s). <input type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet. 	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
8. Fee (See Development Fee Schedule)	<input type="checkbox"/>		✓		



Lunsford Residence
420 Cutler Street
Certificate of Appropriateness, Minor Works

Scope of Work:

The southwest screen porches on the main floor and second level shall be enclosed for finished space. Existing columns will be retained, and panels of vertical wood siding (to distinguish new from old) and casement/fixed windows shall be installed. New half glass door shall be installed at side entry.

Rear window on first floor shall be removed. Two existing smaller original windows shall be removed from each side first floor and relocated to the rear. Wood siding shall be woven in at locations of removed windows. New half glass door shall be installed on the rear.

All new trim to match existing.

Rear utility chimney shall be removed and slate shall be installed to match existing.

Entire exterior of house shall be repainted.

Side landing and steps shall be replaced and new rear deck through a separate Major Works COA application.



Front (east) Elevation



Right (north) Elevation



Rear (west) Elevation

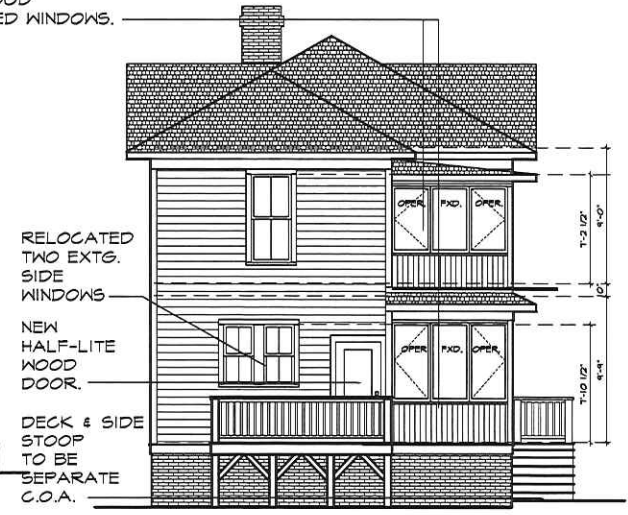


Left (south) Elevation

NEW INFILL W/ VERTICAL SIDING AND WOOD CASEMENT/FIXED WINDOWS.



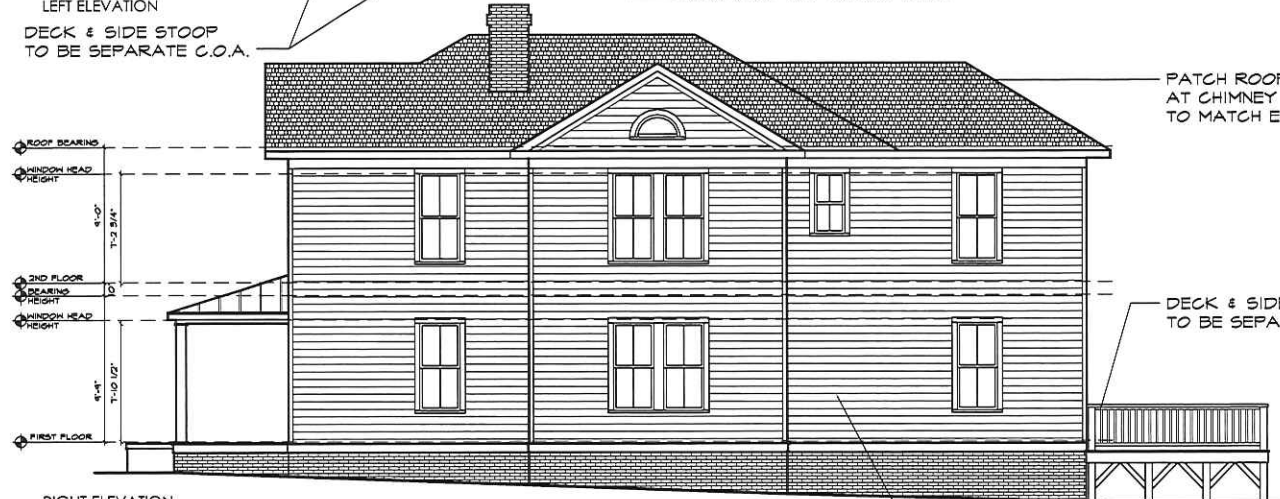
LEFT ELEVATION
DECK & SIDE STOOP
TO BE SEPARATE C.O.A.



RELOCATED TWO EXTG. SIDE WINDOWS
NEW HALF-LITE WOOD DOOR.

DECK & SIDE STOOP TO BE SEPARATE C.O.A.

REAR ELEVATION

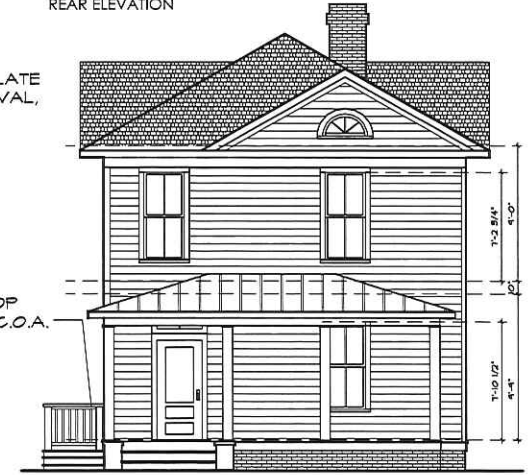


PATCH ROOF W/ SLATE AT CHIMNEY REMOVAL, TO MATCH EXTG.

DECK & SIDE STOOP TO BE SEPARATE C.O.A.

PATCH AT RELOCATED WINDOW, TO MATCH EXTG.

RIGHT ELEVATION



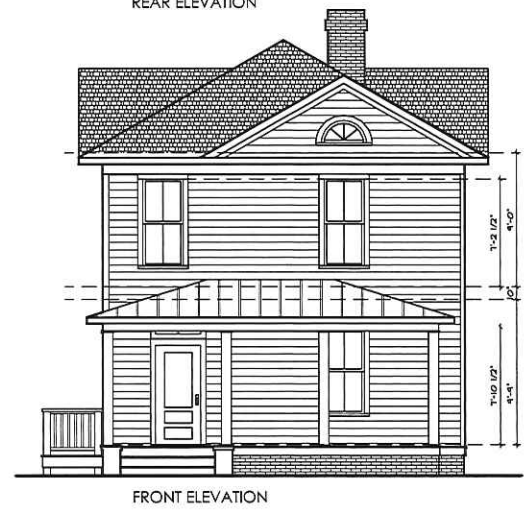
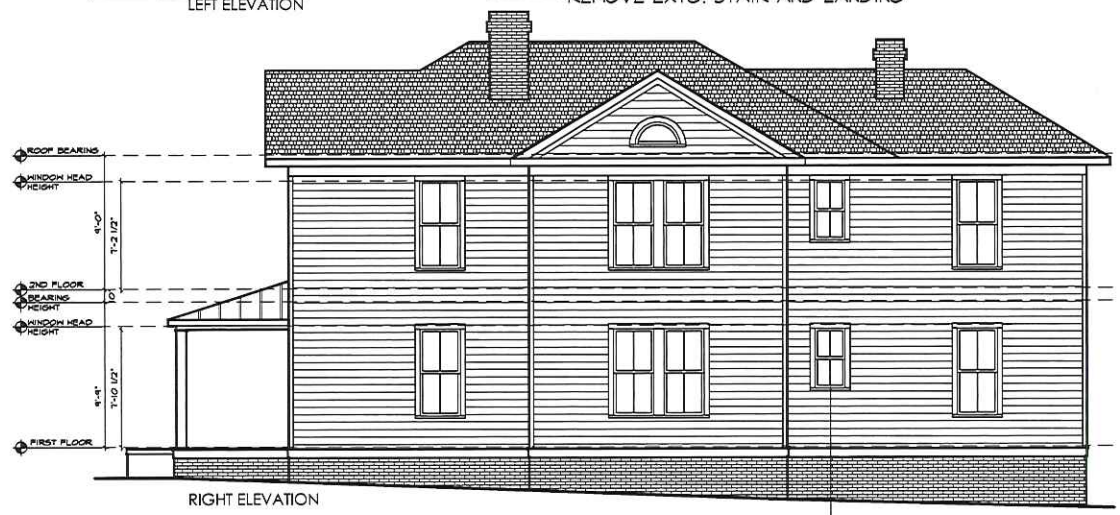
FRONT ELEVATION

REVIEW SET FOR:	John and Beth Lunsford 420 Cutler	
ELEVATIONS	SCALE: 1/8"=1'-0"	DATE: 10.15. 2014





REMOVE EXTG. SCREEN/ LATTICE FOR NEW INFILL.



EXISTING CONDITIONS FOR: John and Beth Lunsford 420 Cutler		
ELEVATIONS	SCALE: 1/8"=1'-0"	DATE: 10.15. 2014



REMOVE EXTG. SCREEN FOR NEW INFILL. COLUMNS TO REMAIN.

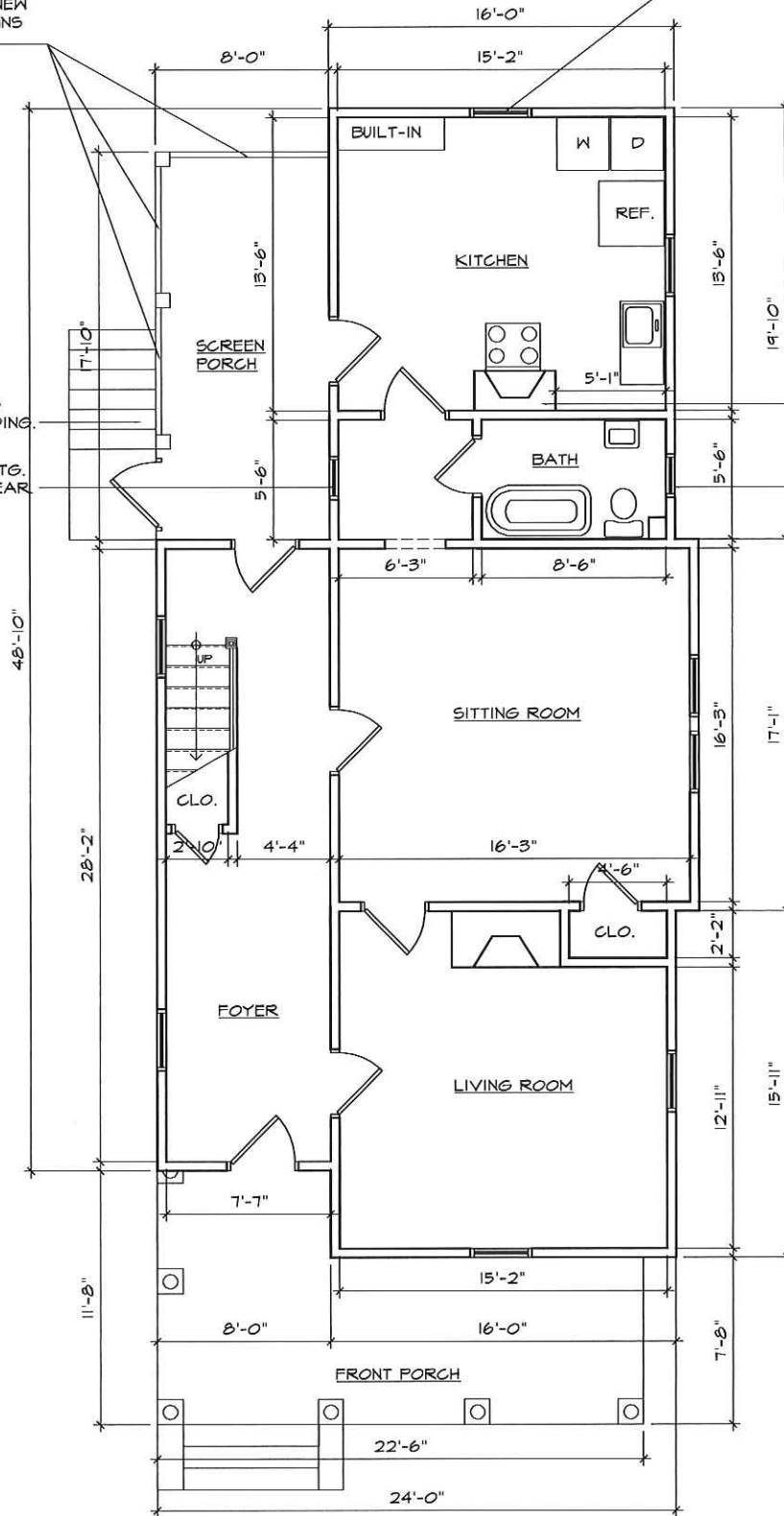
REMOVE EXTG. WINDOW FOR RELOC. OF TWO EXTG. WINDOWS

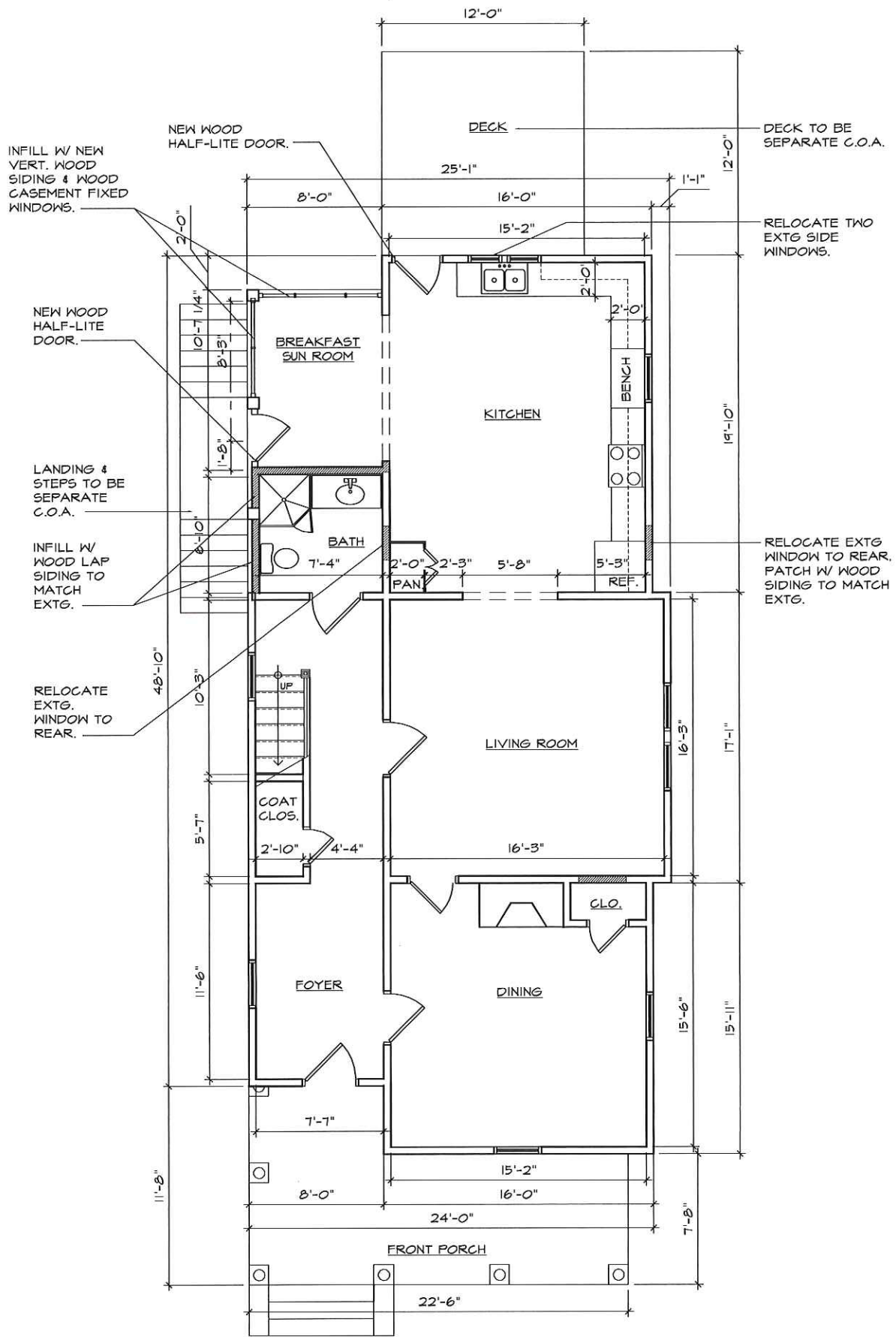
REMOVE EXTG. STEPS & LANDING.

RELOCATE EXTG. WINDOW TO REAR.

REMOVE EXTG. CHIMNEY. PATCH ROOF W/SLATE TO MATCH EXTG.

RELOCATE WINDOW TO REAR. PATCH W/ WOOD SIDING TO MATCH EXTG.



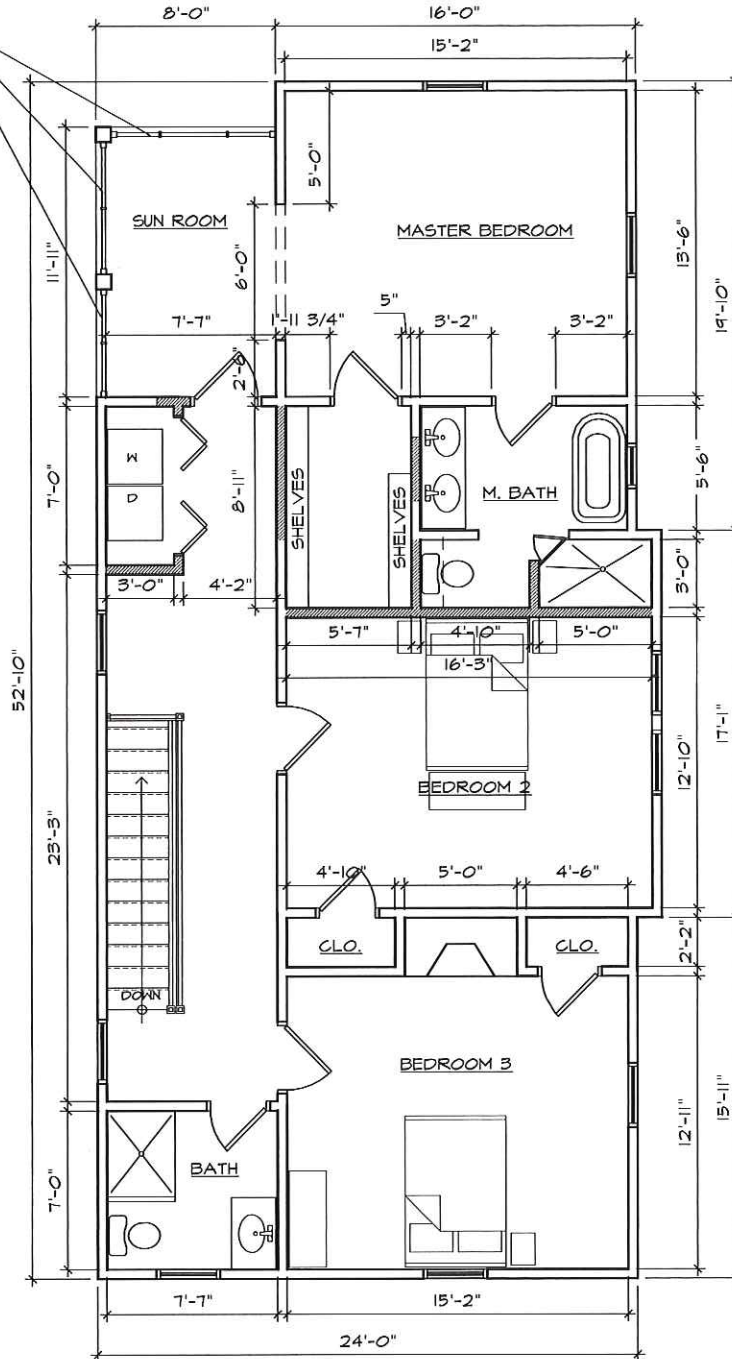


REVIEW SET FOR: **John and Beth Lunsford**
420 Cutler

1ST FLOOR PLAN	SCALE: 3/16" = 1'-0"	DATE: 10.15. 2014
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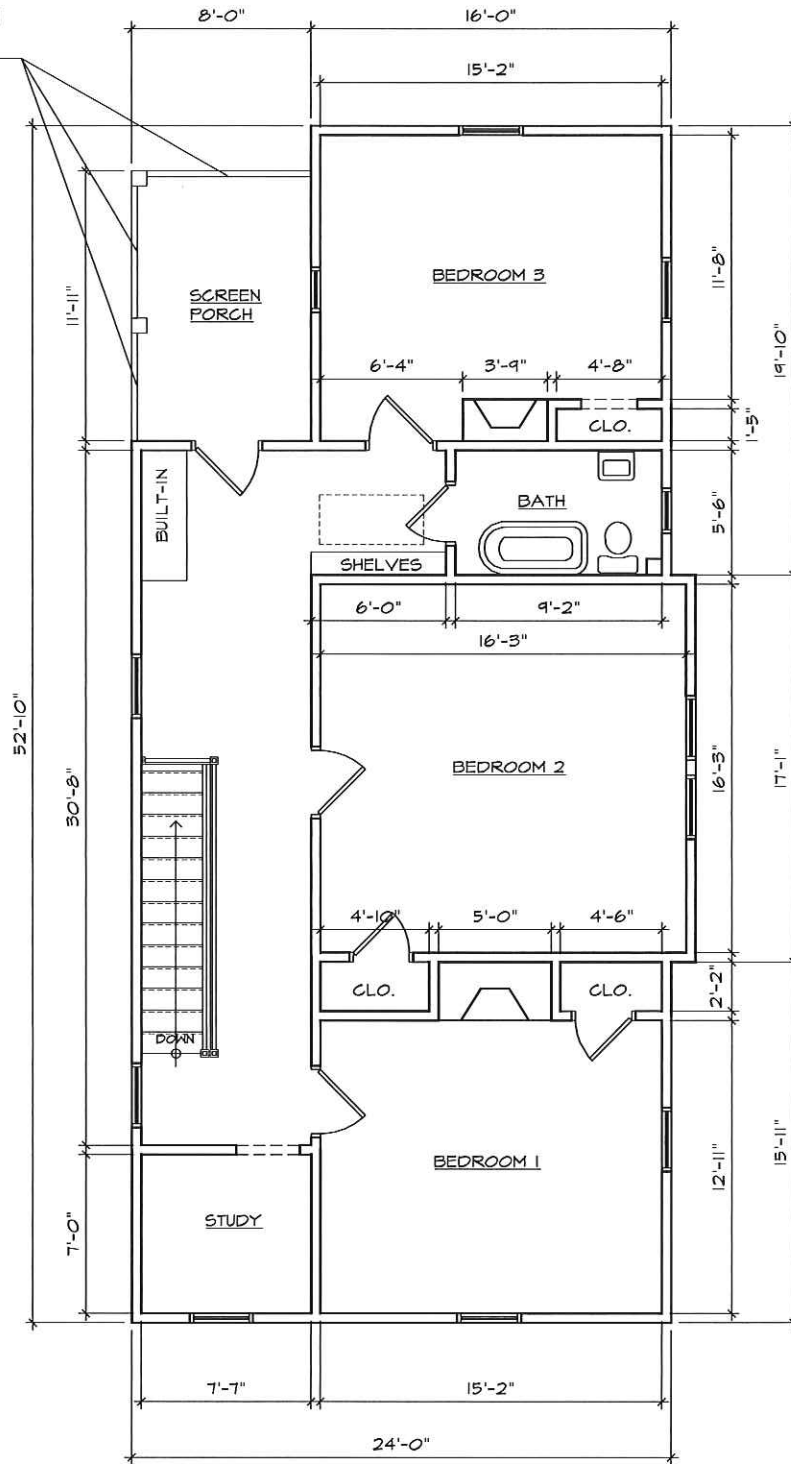
NEW INFILL W/
VERTICAL WOOD
SIDING & WOOD
CASEMENT/FIXED
WINDOWS.



REVIEW SET FOR:	John and Beth Lunsford 420 Cutler	
2ND FLOOR PLAN	SCALE: 3/16" = 1'-0"	DATE: 10.15.2014

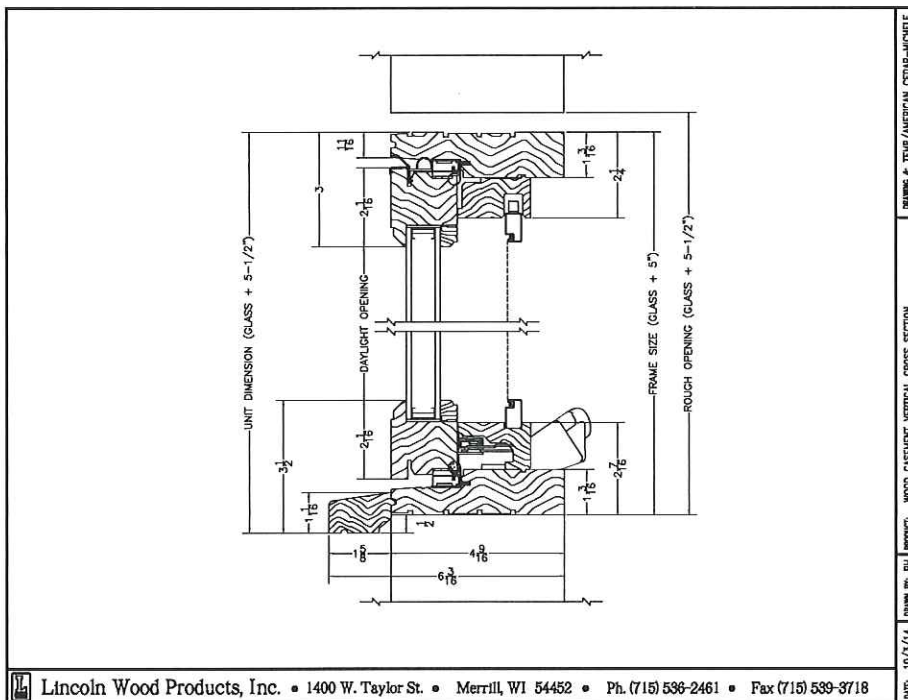


REMOVE EXTG
SCREEN FOR NEW
INFILL. COLUMNS
TO REMAIN.





New Rear and Side wood doors



New Lincoln wood fixed/casement windows in screen porch enclosures

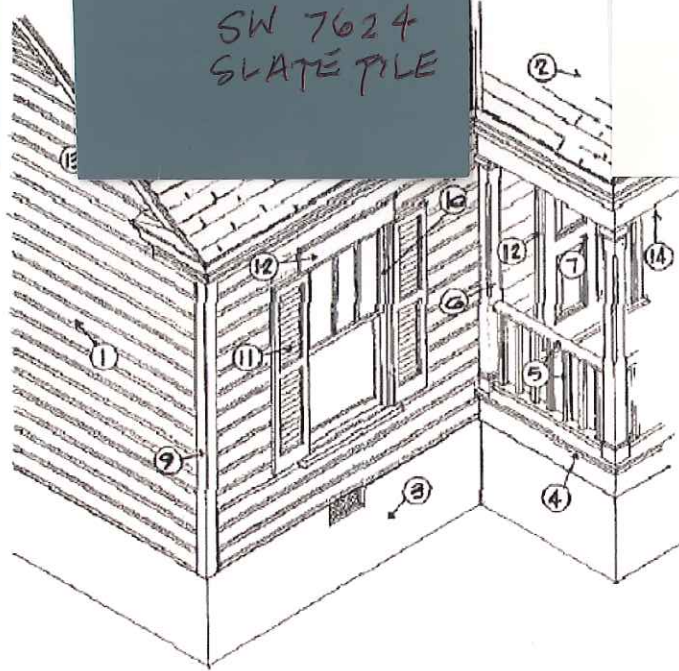
Develop

e of Approp

SW 7603
POOLHOUSE

SW 7624
SLATE TILE

SW 7008
ALABASTER



Applicant John and Elizabeth Lunsford

Address 420 Cutler Street

Paint Manufacturer (Please submit color chips with this schedule) Sherwin Williams

Color Schedule

1	Body of House	SW 7603 Poolhouse
2	Roofing	Existing
3	Foundation	SW 7624 Slate Tile
4	Porch Floor	SW 7624 Slate Tile
5	Railing	N/A
6	Columns	SW 7008 Alabaster
7	Entrance Door	Existing stain
8	Cornice	SW 7008 Alabaster
9	Corner Boards	SW 7008 Alabaster
10	Window Sash	SW 7624 Slate Tile
11	Shutter	N/A
12	Door & Window Trim	SW 7008 Alabaster
13	Rake	SW 7008 Alabaster
14	Porch Ceiling	SW 7008 Alabaster
15	Other	