



# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

549 N BLOUNT STREET

Address

BLOUNT STREET

Historic District

Historic Property

111-14-MW

Certificate Number

8/8/2014

Date of Issue

8/8/2015

Expiration Date

## Project Description:

- Renew and change COA 076-10-CA for rear parking area.
- Change layout, surface material and add new walkway.

*This card must be kept posted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

Raleigh Historic Development Commission

A handwritten signature in black ink, appearing to read "David Kelly", is written over a horizontal line. The signature is fluid and cursive.

*Pending the resolution of appeals, commencement of work is at your own risk.*



# Planning & Development

Development Services  
Customer Service Center  
One Exchange Plaza  
1 Exchange Plaza, Suite 400  
Raleigh, North Carolina 27601  
Phone 919-996-2495  
eFax 919-996-1831

## Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
  - Most Major Work Applications
  - Additions Greater than 25% of Building Square Footage
  - New Buildings
  - Demo of Contributing Historic Resource
  - Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 399206

File # 111-14-MW

Fee \$28.00

Amt Paid \$28.00

Check # Paid w/ Debit Card

Rec'd Date 6-10-14

Rec'd By K. Pruitt

• If completing by hand, please use BLACK INK. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address 540 N. BLAUNT STREET

Historic District NORTH BLAUNT STREET

Historic Property/Landmark name (if applicable) JAZZMAN HOUSE

Owner's Name HOLY TRINITY CHURCH

Lot size 0.26 acres (width in feet) 72 (depth in feet) 155'

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

| Property Address | Property Address |
|------------------|------------------|
|                  |                  |
|                  |                  |
|                  |                  |
|                  |                  |
|                  |                  |

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following:

Applicant JAMES E. BAKER

Mailing Address 436 N. HAZLEWOOD ST. SUITE 140

City RAVENH State NC Zip Code 27603

Date 6-10-14 Daytime Phone 919 810 0066

Email Address jebbaker95@gmail.com

Signature of Applicant [Signature]

**Minor Work Approval (office use only)**

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 8/8/15. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature [Signature] Date 8/8/14

Project Categories (check all that apply):

- Exterior Alteration
- Addition
- New Construction
- Demolition

RENEWAL - SITE IMPROVEMENTS  
PARKING LOT

Will you be applying for state or federal rehabilitation tax credits for this project?

- Yes
- No

(Office Use Only)

Type of Work 89, 91

\_\_\_\_\_

\_\_\_\_\_

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

| Section/Page | Topic              | Brief Description of Work           |
|--------------|--------------------|-------------------------------------|
| 2.5          | OFF STREET PARKING | NEW PARKING LOT                     |
| 2.7          | Lighting           | NEW SITE LIGHTS                     |
| 2.3          | Plantings          | LANDSCAPE PLAN                      |
|              |                    | Renew COA 076-10-CA                 |
|              |                    | Change: Layout of new parking area. |

| TO BE COMPLETED BY APPLICANT   | TO BE COMPLETED BY CITY STAFF       |                                     |     |    |     |
|--|-------------------------------------|-------------------------------------|-----|----|-----|
|  | YES                                 | N/A                                 | YES | NO | N/A |
| <p>Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p><b>Minor Work (staff review) – 1 copy</b></p> <p><b>Major Work (COA Committee review) – 13 copies</b></p>  |                                     |                                     |     |    |     |
| 1. <b>Written description.</b> Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)  | <input checked="" type="checkbox"/> |                                     |     |    |     |
| 2. <b>Description of materials</b> (Provide samples, if appropriate)   | <input checked="" type="checkbox"/> |                                     |     |    |     |
| 3. <b>Photographs</b> of existing conditions are required.   | <input checked="" type="checkbox"/> |                                     |     |    |     |
| 4. <b>Paint Schedule</b> (if applicable)   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |     |    |     |
| 5. <b>Plot plan</b> (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |     |    |     |
| 6. <b>Drawings</b> showing proposed work <ul style="list-style-type: none"> <li><input checked="" type="checkbox"/> Plan drawings</li> <li><input type="checkbox"/> Elevation drawings showing the new façade(s). <i>N/A</i></li> <li><input checked="" type="checkbox"/> Dimensions shown on drawings and/or graphic scale. <i>1</i></li> <li><input checked="" type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet.</li> </ul> | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |     |    |     |
| 7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)   | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |     |    |     |
| 8. Fee ( <a href="#">See Development Fee Schedule</a> ) <i>Per-review</i>  | <input type="checkbox"/>            |                                     |     |    |     |

*Per-review*  
28

Holy Trinity Church Parking Lot COA Renewal

6/10/14

Description of Work:

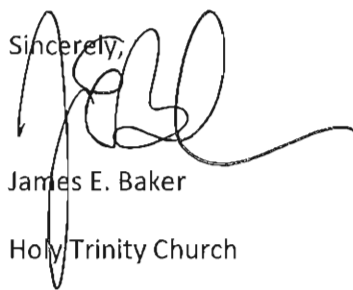
This is a submittal to renew the previously approved parking lot for Holy Trinity Church. The attached package is largely made up of construction drawings that match up very well with the original schematic design for the site as part of the master plan. The parking spaces are required for our use.

The attached sheets include:

- Existing conditions map
- Proposed map
- Photos of site
- Landscape Plan
- Site Lighting Plan Drawing
- Site Lighting Pole/fixture Detail sheet

We ask for your quick review.

Sincerely,

A handwritten signature in black ink, appearing to read 'J. Baker', written over the printed name 'James E. Baker'.

James E. Baker

Holy Trinity Church

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1 file / 32.04 MB

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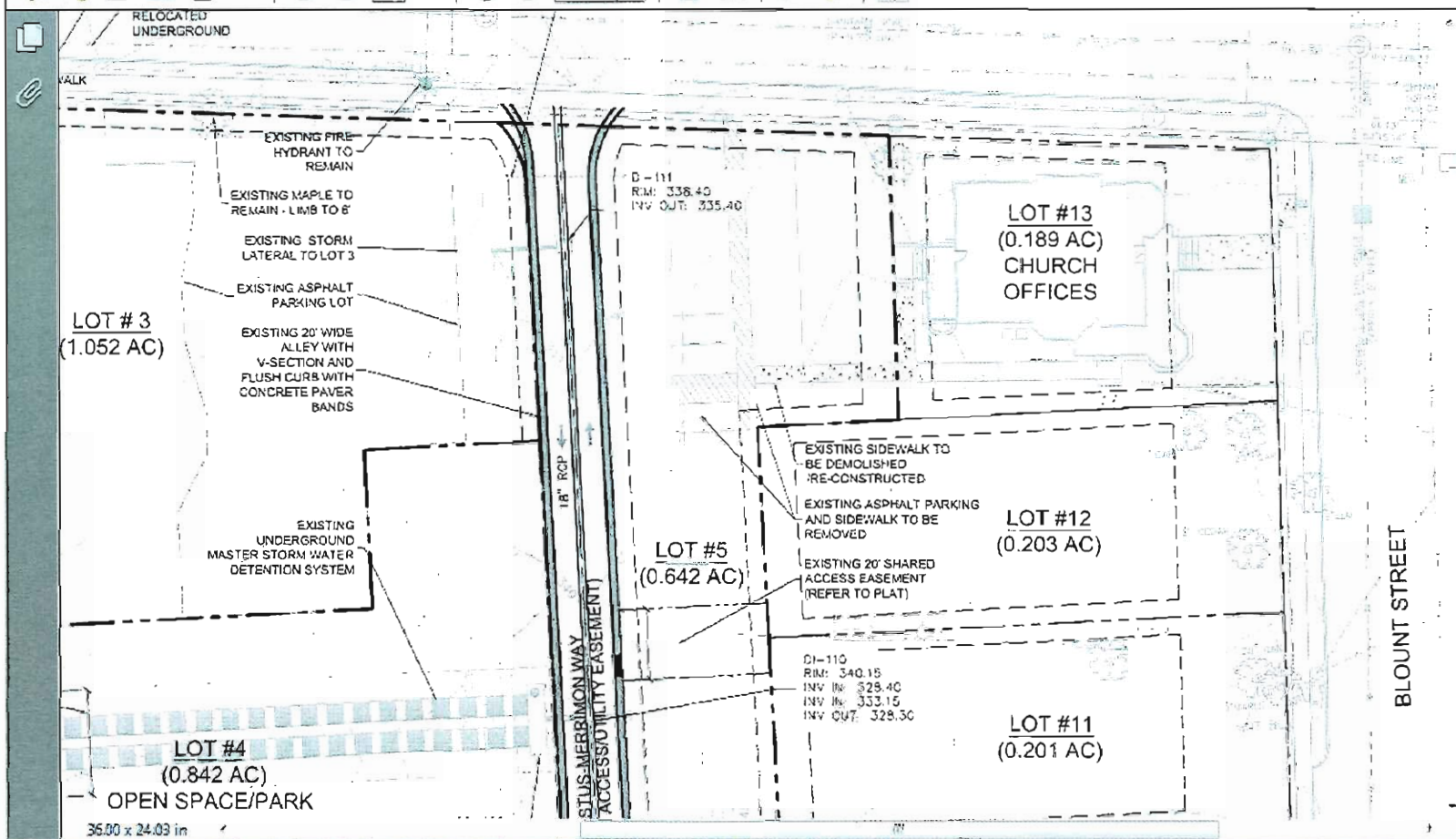
Microsoft Word (\*.docx)

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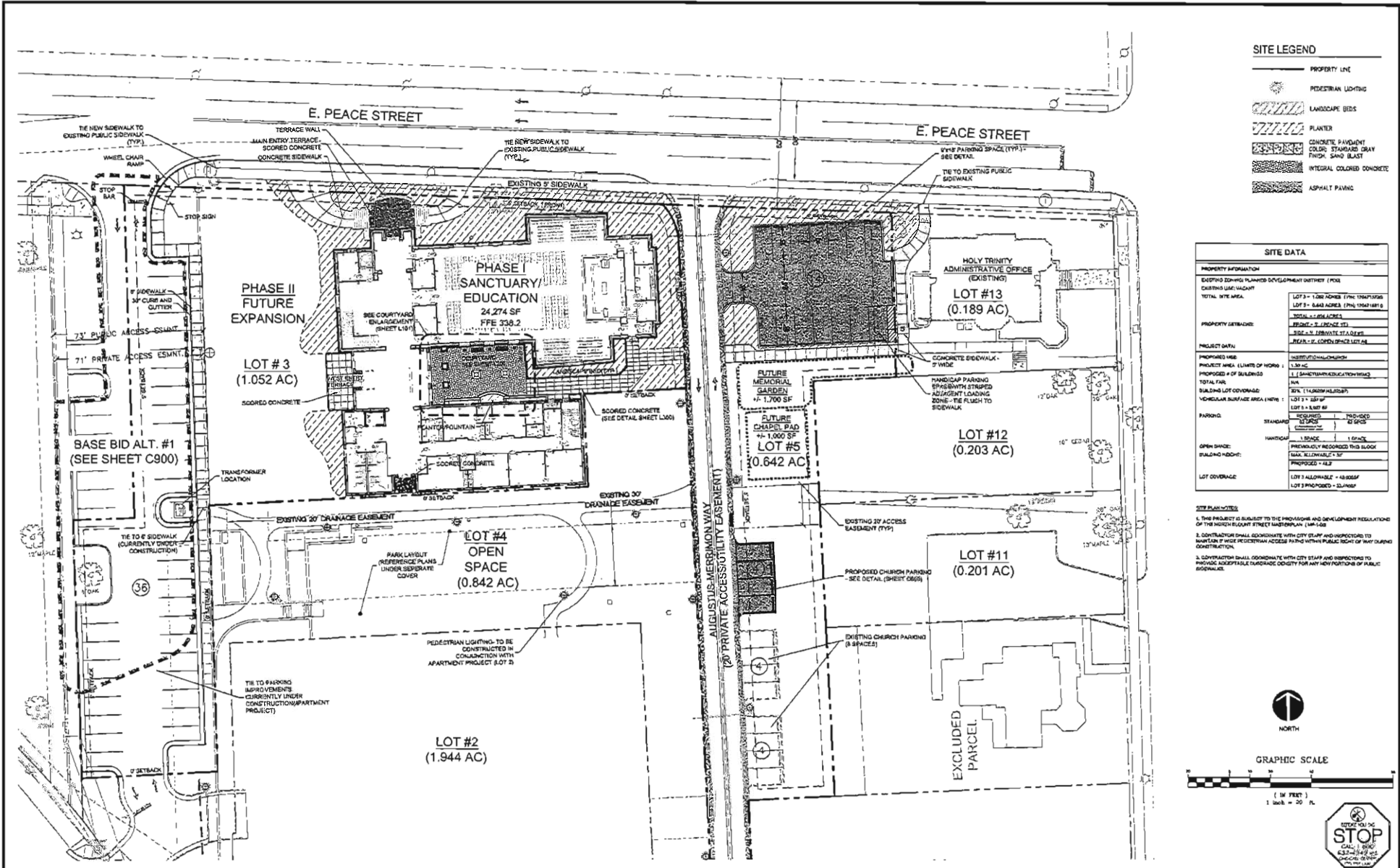
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Existing Conditions



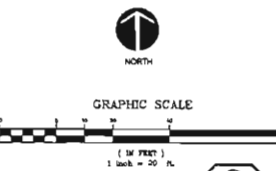
**SITE LEGEND**

- PROPERTY LINE
- PEDESTRIAN LIGHTING
- LANDSCAPE BEDS
- PLANTER
- CONCRETE PAVEMENT COLOR: STAINLESS GRAY FINISH: SAND BLAST
- INTERIOR COLORED CONCRETE
- ASPHALT PAVING

**SITE DATA**

| PROPERTY INFORMATION                               |  |
|--|--|
| EXISTING EDGING PLANNED DEVELOPMENT DISTRICT (PDD) |  |
| EXISTING LOT VOUCHER                               |  |
| TOTAL SITE AREA                                    | LOT 3 - 1.052 ACRES (776,170 SQ FT)<br>LOT 4 - 0.842 ACRES (59,140 SQ FT)<br>TOTAL = 1.894 ACRES |
| PROPERTY ADDRESS                                   | 100 E. PEACE ST.<br>100 E. PEACE ST. S.W.<br>RALEIGH, NC 27604                                   |
| PROJECT DATA                                       |  |
| PROPOSED USE                                       | CHURCH   |
| PROJECT AREA (LIMITS OF WORK)                      | 1.894 AC   |
| PROPOSED # OF BUILDINGS                            | 1 (SANCTUARY/EDUCATION BLDG)   |
| TOTAL FAN  | 100  |
| BUILDING LOT COVERAGE                              | 78% (1,000 SQ FT)  |
| VEHICLE SURFACE AREA (FMT)                         | LOT 3 - 250 SQ FT<br>LOT 4 - 1,000 SQ FT   |
| PARKING  | STANDARD<br>REQUIRED - 10 SPACES<br>PROPOSED - 10 SPACES   |
| OPEN SPACE   | 1.894 AC   |
| STANDING HEIGHT                                    | PREVIOUSLY REQUIRED THIS BLOCK<br>MAX. ALLOWABLE 5' 6"   |
| LOT COVERAGE                                       | PROPOSED - 42%<br>LOT 3 ALLOWABLE - 43.00%<br>LOT 4 PROPOSED - 25.00%                            |

- SITE REGULATIONS**
- THIS PROJECT IS SUBJECT TO THE PROVISIONS AND DEVELOPMENT REGULATIONS OF THE NORTH CAROLINA STREET MASTERPLAN (1991-1995)
  - CONTRACTOR SHALL COORDINATE WITH CITY STAFF AND INSPECTORS TO MAINTAIN PROPER PEDESTRIAN ACCESS PATHS WITHIN PUBLIC RIGHT-OF-WAY DURING CONSTRUCTION.
  - CONTRACTOR SHALL COORDINATE WITH CITY STAFF AND INSPECTORS TO PROVIDE ACCEPTABLE DRAINAGE CONDITIONS FOR ANY ADJUSTMENTS OF PUBLIC SIDEWALKS.



| REV. | DESCRIPTION | DATE | DESIGNED BY | CHECKED BY |
|------|-------------|------|-------------|------------|
|      |             |      |             |            |

The Architect, together with the contractor and design professional herein, is not responsible for the specific purpose and use for which it was prepared. Review of all proposed activities on this document shall be submitted and approved by Holy Trinity and Associates, Inc. prior to construction. Liability for design and construction shall remain with the contractor and design professional herein.

**HOLY TRINITY CHURCH**  
100 E. PEACE STREET  
RALEIGH, NC 27604

PREPARED BY THE OFFICE OF  
**Kirilay-Horn and Associates, Inc.**

CLIENT: **HOLY TRINITY ANGLICAN CHURCH**

TITLE: **SITE PLAN**



PROJECT: **SANCTUARY AND PHASE I EDUCATION BUILDING**

DATE: 3/2/14  
SCALE: 1" = 20'

PROJECT NUMBER: 011120000

SHEET NUMBER: **C300**

**OVERALL SITE PLAN**

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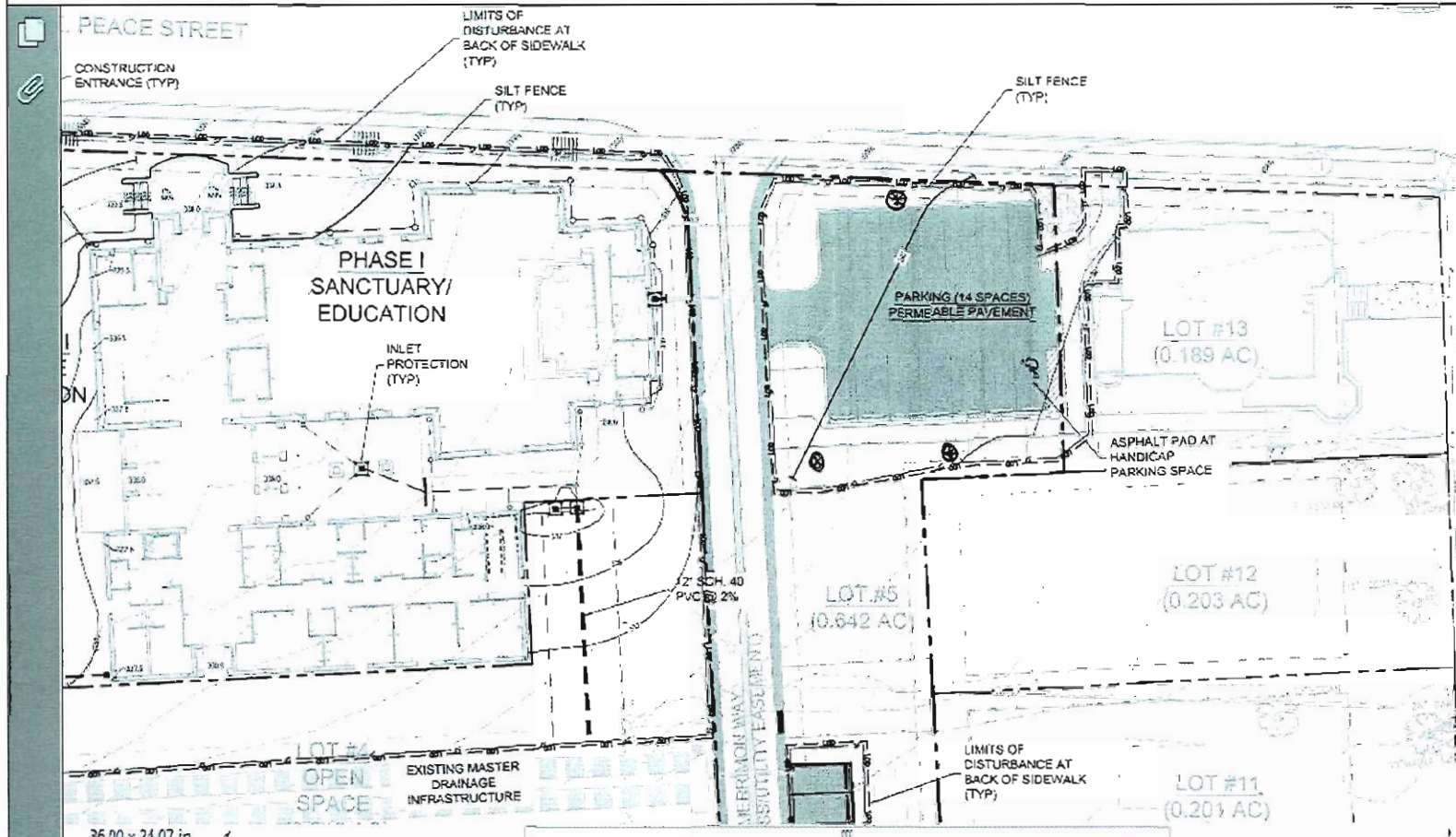
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*⊗ - New site light poles @ parking lot*



**PLANT SCHEDULE**

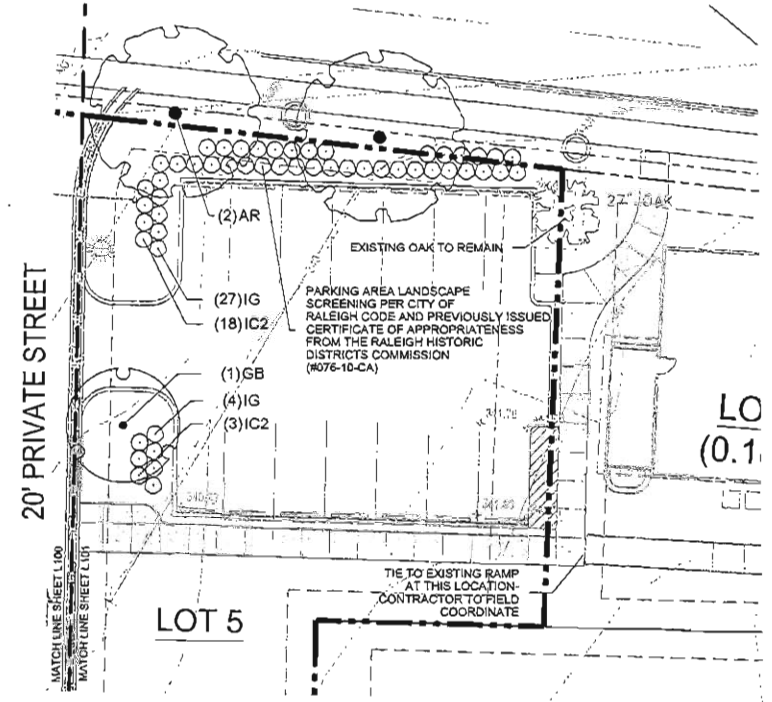
| TREES         | QTY      | BOTANICAL NAME                       | COMMON NAME                 | CONT   | CAL   | SIZE   | REMARKS  |           |
|---------------|----------|--------------------------------------|-----------------------------|--------|-------|--------|----------|-----------|
| AR            | 8        | Acer rubrum                          | Red Maple                   | B&B    | 4"Cal |        |          |           |
| GB            | 3        | Ginkgo biloba                        | Maldenhalr Tree             | B&B    |       | 8' HT. |          |           |
| SHRUBS        | QTY      | BOTANICAL NAME                       | COMMON NAME                 | SIZE   | WIDTH | HEIGHT | SPACING  | REMARKS   |
| CJ            | 10       | Cleyera japonica                     | Sakaki                      | 3 gal  | 18"   | 24"    | 48" o.c. |           |
| GJ            | 17       | Gardenia jasminoides 'August Beauty' | Gardenia                    | 3 gal  | 18"   | 18"    | 36" o.c. |           |
| IC2           | 27       | Ilex cornuta 'Burfordii Nana'        | Dwarf Burford Holly         | 3 gal  | 18"   | 18"    | 36" o.c. |           |
| IC3           | 4        | Ilex cornuta 'Burfordii'             | Burford Chinese Holly       | 7 gal  | 24"   | 36"    | 72" o.c. | Tree Form |
| IG            | 31       | Ilex glabra 'Nana'                   | Dwarf Inkberry              | 3 gal  | 18"   | 18"    | 36" o.c. |           |
| IX            | 3        | Ilex x attenuata 'Foster'            | Foster's Holly              | 5 gal  | 18"   | 24"    | 60" o.c. |           |
| PC            | 13       | Prunus caroliniana 'Emerald King' TM | Emerald King Cherry Laurel  | 7 gal  | 24"   | 36"    | 72" o.c. |           |
| PL            | 9        | Prunus laurocerasus                  | English Laurel              | 3 gal  | 18"   | 16"    | 36" o.c. |           |
| TD            | 13       | Thuja occidentalis                   | American Arborvitae         | B & B  |       | 6'     | 48" o.c. |           |
| WF            | 8        | Wegelia florida 'Wine and Roses'     | Wegelia                     | 3 gal  | 18"   | 18"    | 36" o.c. |           |
| SHRUB AREAS   | QTY      | BOTANICAL NAME                       | COMMON NAME                 | CONT   | WIDTH | HEIGHT | SPACING  | REMARKS   |
| PA            | 21       | Pennisetum alopecuroides 'Hamine'    | Hamine Dwarf Fountain Grass | 1 gal  | 12"   | 16"    | 12" o.c. |           |
| GROUND COVERS | QTY      | BOTANICAL NAME                       | COMMON NAME                 | CONT   | WIDTH | HEIGHT | SPACING  | REMARKS   |
| LM            | 80       | Liriope muscari                      | Lily Turf                   | 4" pot |       |        | 12" o.c. |           |
| SOD/SEED      | QTY      | BOTANICAL NAME                       | COMMON NAME                 | CONT   | WIDTH | HEIGHT | SPACING  | REMARKS   |
| ZE            | 9,916 sq | Zoysia japonica 'Emerald'            | Emerald Zoysia              | sod    |       |        |          |           |

**LANDSCAPE REQUIREMENTS & CALCULATIONS**

| AREA TO BE LANDSCAPED  | CODE REQUIREMENT  | SQUARE FEET/LINEAL FEET OF FRONTAGE | TOTAL QUANTITY REQUIRED                           | TOTAL QUANTITY PROVIDED                                       | COMMENTS  | CODE SECTION                   |
|------------------------|---|-------------------------------------|---|---|---|--------------------------------|
| VSA PLANTINGS          | 1 SHRUB PER 500 SF OF TOTAL VSA<br>1 CANOPY TREE PER 2000 SF VSA      | 3,927 SF                            | 3,927/500 = 7.8 SHRUBS<br>3,927/2000 = 1.96 TREES | 82 SHRUBS<br>1 NEW TREE<br>1 EXISTING TREE<br>TOTAL = 2 TREES | TREES - 8" MIN. HEIGHT & 2" CALIPER INSTALLED<br>SHRUBS - MIN 18" HT AS PLANTING  | 10.2002.A.C.2<br>10.2002.A.C.7 |
| STREET PROTECTIVE YARD | EAST FACE ST.<br>1 (ONE) SHADE TREE PLANTED AT AN AVERAGE OF 80' O.C. | N/A                                 | 1 TREE REQUIRED @ 80' O.C.                        | 1 EXISTING TREE<br>TOTAL = 1 TREE                             | TREES - 8" MIN. HEIGHT & CALIPER INSTALLED. TREES SHALL BE NATIVE, LOCALLY ADAPTED SPECIES.<br>*REFERENCE SHEET M-102 OF 2017 STREET PWD DOCUMENT | MP-1-06                        |

**GENERAL LANDSCAPE NOTES**

ALL PLANTS MUST BE HEALTHY, HIGHEST MATERIAL GRADE OF ROOTS AND BRANCHES.  
 ALL PLANTS MUST BE CONTAINERS GROWN OR BALLED AND BURLAPPED AS INDICATED IN THE PLANT SCHEDULE.  
 ALL TREES MUST HAVE A STRAIGHT TRUNK AND FULL HEADS AND MEET ALL REQUIREMENTS SPECIFIED.  
 ALL PLANTS ARE SUBJECT TO THE APPROVAL OF THE LANDSCAPE ARCHITECT BEFORE DELIVERY AND AFTER INSTALLATION.  
 ALL TREES MUST BE COVERED OR SHAWED AS SHOWN IN THE DETAILS.  
 ALL SHADE TREES ADJACENT TO PEDESTRIAN WALKWAYS SHALL BE BRANCHED 6"-7" FEET ABOVE 2001 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES, ALL SHADE TREES LOCATED WITHIN VEHICLE SIGHT TRIANGLES SHALL BE BRANCHED MIN 8' (CHECKED FROM ADJACENT PROTECTED CURB LINE ELEVATION PER AASHTO 2001 STANDARDS FOR HEIGHT OF BRANCHING - STREET TREES.  
 ALL PLANTING AREAS MUST BE COMPLETELY MULCHED AS SPECIFIED.  
 PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES AND SHALL PROVIDE DAMAGE TO ALL UTILITIES AND SHALL AVOID DAMAGE TO ALL UTILITIES DURING THE COURSE OF THE WORK. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY AND ALL DAMAGE TO UTILITIES, STRUCTURES, SITE IMPROVEMENTS, ETC. WHICH OCCURS AS A RESULT OF THE LANDSCAPE CONSTRUCTION.  
 THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES SHOWN ON THESE PLANS BEFORE BEGINNING THE WORK. ANY DISCREPANCIES BETWEEN QUANTITIES ON PLANS AND PLANT LIST SHALL BE RESOLVED TO THE ATTENTION OF CITY OF RALEIGH INSPECTOR AND ANY FIELD ADJUSTMENTS OR QUANTITY ADJUSTMENTS MUST BE APPROVED PRIOR TO PLANTING.  
 THE CONTRACTOR IS RESPONSIBLE FOR PLANT MAINTENANCE ALL PLANTING INCLUDING BUT NOT LIMITED TO WATERING, STAKING, MULCHING, PRUNING, ETC. OF THE PLANTING AREAS AND LAWN UNTIL SUBSTANTIAL COMPLETION.  
 THE CONTRACTOR SHALL COMPLETELY GUARANTEE ALL PLANT MATERIAL FOR A PERIOD OF ONE (1) YEAR BEGINNING ON THE DATE OF SUBSTANTIAL COMPLETION. THE CONTRACTOR SHALL PROPERLY MAINTAIN ALL REPLACEMENTS, DEFENSE OR AT THE END OF THE GUARANTEE PERIOD.  
 THE LANDSCAPE ARCHITECT SHALL APPROVE THE STAKING LOCATION OF ALL PLANT MATERIAL PRIOR TO INSTALLATION.  
 AFTER STAKE DRUG AT THE NURSERY SOURCE, ALL TREES IN LEAF SHALL BE ACQUAINTED FOR TWO (2) WEEKS UNDER A MIST SYSTEM PRIOR TO INSTALLATION.  
 ANY PLANT MATERIAL WHICH DIES, FLINGS BROWN, OR DEGRADATES PRIOR TO SUBSTANTIAL COMPLETION OF THE WORK SHALL BE PROMPTLY REMOVED FROM THE SITE AND REPLACED WITH MATERIAL OF THE SAME SPECIES, QUANTITY, AND SIZE AND MEETING ALL PLANT SPECIFICATIONS.  
 STANDARDS SET FORTH IN "LANDSCAPE STANDARDS FOR NORTHERN STATES" INDICATED INDIVIDUAL SPECIFICATIONS ONLY AND SHALL CONSTITUTE MINIMUM QUALITY REQUIREMENTS FOR PLANT MATERIAL. ALL PLANT MATERIAL SHALL MEET OR EXCEED MS. 1 GARDENING STANDARDS.  
 ALL SHRUB, CROPPING DECIDUOUS AND SEASONAL COLOR ANNUAL PLANTING BEDS ARE TO BE COMPLETELY COVERED WITH DOUBLE SPECIFIED MULCHING MEDIUM TO A DEPTH OF THREE (3) INCHES.  
 LOCATIONS OF EXISTING BARRIERS (UTILITY LINES) SHOWN ON THE PLANS ARE BASED UPON BEST AVAILABLE INFORMATION AND ARE TO BE CONSIDERED APPROXIMATE. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO VERIFY THE LOCATIONS OF UTILITY LINES AND ADJUST TO THE WORK AREA. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY LINES DURING THE CONSTRUCTION PERIOD.  
 SAFE, CLEARLY MARKED PEDESTRIAN AND VEHICULAR ACCESS TO ALL ADJACENT PROPERTIES MUST BE MAINTAINED THROUGHOUT THE CONSTRUCTION PROJECTS.  
 ALL PLANT MATERIAL QUANTITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLETE COVERAGE OF ALL PLANTING BEDS AT STAKING POINTS.  
 THE TOP OF ALL ROOT SHALL BEAR THE SAME RELATIONSHIP TO FINISHED GRADE AS NOTED TO PREVIOUS GRAD AND GRADING CONDITIONS.  
 ALL ROOT SHALL BE REMOVED FROM OVERHEADS SHALL BE SKINNED PRIOR TO INSTALLATION.  
 ALL STAKING AND TOP 2/3 OF WIRE BASKET MUST BE CUT AWAY AND REMOVED FROM ROOT SHALL PRIOR TO BACKFILLING PLANTING PIT. HEIGHT TOP 1/3 OF THE OVERUP FROM ROOT SHALL.  
 FOR NEW PLANTING AREAS, REMOVE ALL EXISTING BARRIERS, BURLAP AND CONSTRUCTION BARRIERS, REMOVE EXISTING SOIL, AND ADD 14" HIGH FORMS OR UNDERPINNED AND ABOVE THE TOP 2" OF EXISTING SOIL TO BEST PRACTICE PLANTING USE ESTABLISHED FOR TREES. SEE DETAILS THIS SHEET.  
 THE CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING TREES AND SHRUBS THAT WILL MEET BOTH MINIMUM SIZE AND SPACING FOR TREE AND SHRUBS OR GRASS. PERMIT TO INSTALL PLANT MATERIAL FOR THIS PLAN WILL BE NECESSARY IN ORDER OF FIVE (5) DAYS PRIOR TO CONSTRUCTION.  
 CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING INSPECTIONS OF PLANT MATERIAL.  
 CONTRACTOR SHALL COMPLY WITH ALL APPLICABLE ORDINANCES AND REGULATIONS REGARDING LANDSCAPING. GENERAL CONTRACTOR IS TO CLEAN THE ENTIRE SITE OF ALL CONSTRUCTION DEBRIS AND TO MAINTAIN DRIVE SITE.  
 THE CONTRACTOR SHALL INSTALL BLACK FABRIC PLYMOUTH WITH LANDSCAPE PLANTING BED WALK TO PREVENT WOOD BURNING.  
 CONTRACTOR SHALL MAINTAIN LANDSCAPING FOR AT LEAST 30 DAYS AFTER BEGINNING AND PLANTING SHRUBS, AND 60 DAYS AFTER BEGINNING, OR AS LONG AS IS NECESSARY TO ESTABLISH UNIFORM STRAINS OF THE SPECIFIED SPECIES OR UNTIL SUBSTANTIAL COMPLETION OF THE PROJECT, OR UNTIL APPROVAL OF THE LANDS AND SHRUBS INSPECTOR IS OBTAINED.



| REV | DESCRIPTION | DATE | BY | CHECKED BY |
|-----|-------------|------|----|------------|
|     |             |      |    |            |
|     |             |      |    |            |

**HOLY TRINITY CHURCH**  
 100 E. PEACE STREET  
 RALEIGH, NC 27604

PREPARED BY THE OFFICE OF  
**Kiritley-Horn and Associates, Inc.**

CLIENT: HOLY TRINITY ANGLICAN CHURCH  
 PROJECT: SANCTUARY AND PHASE 1 EDUCATION BUILDING  
 TITLE: LANDSCAPE/ HARDSCAPE PLAN  
 DATE: 3/3/14  
 SHEET NO: 10  
 PROJECT NO: 13-174  
 SCALE: 1" = 10'-0"  
 DRAWN BY: HRH  
 CHECKED BY: RGS  
 DESIGNED BY: RGS

DATE: 01/11/2000  
 SHEET NUMBER: L101

LANDSCAPE PLAN @ PARKING LOT

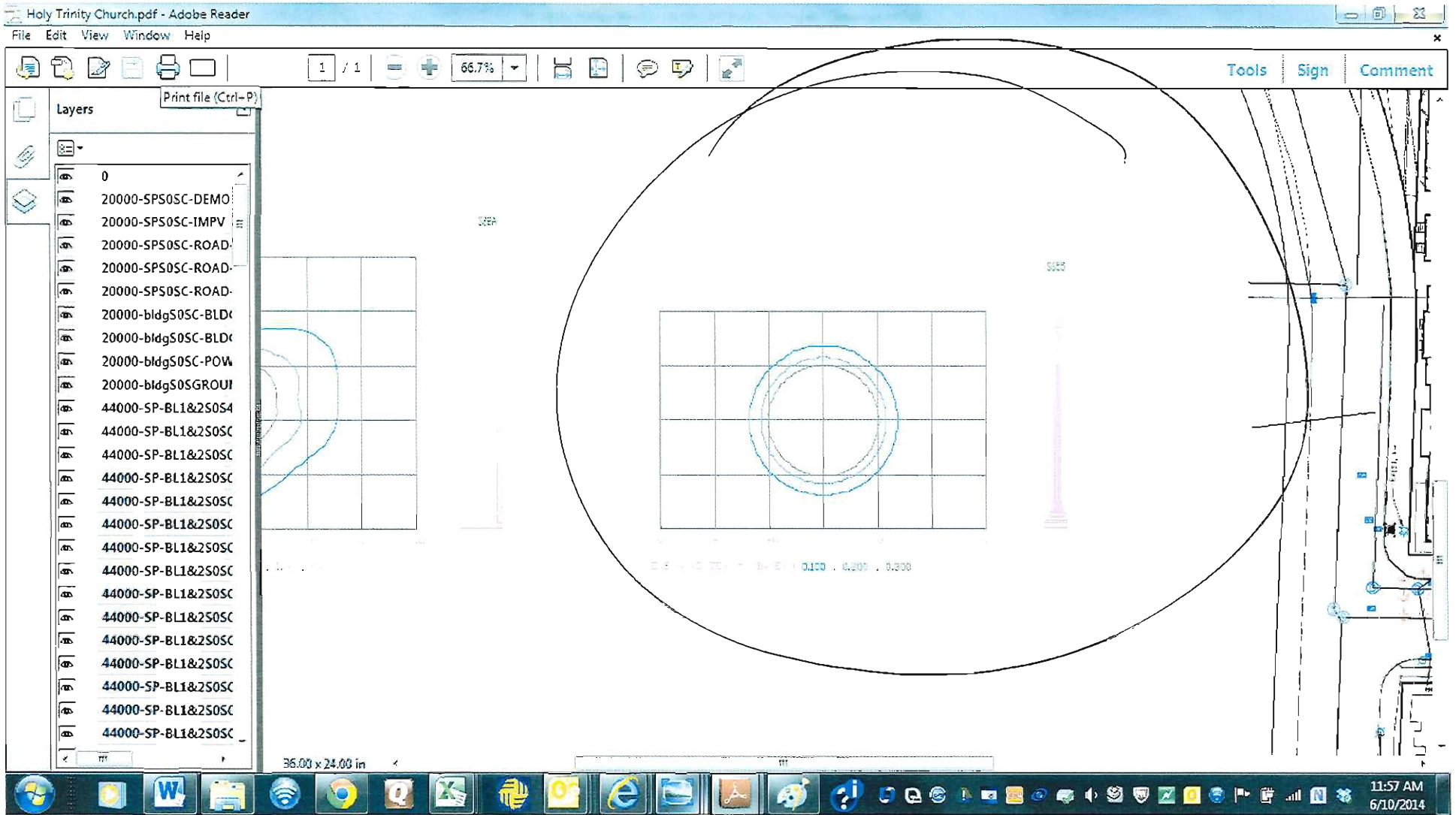


VIEW OF PROPERTY FROM DRIVEWAY.  
(FUTURE PARKING LOT)

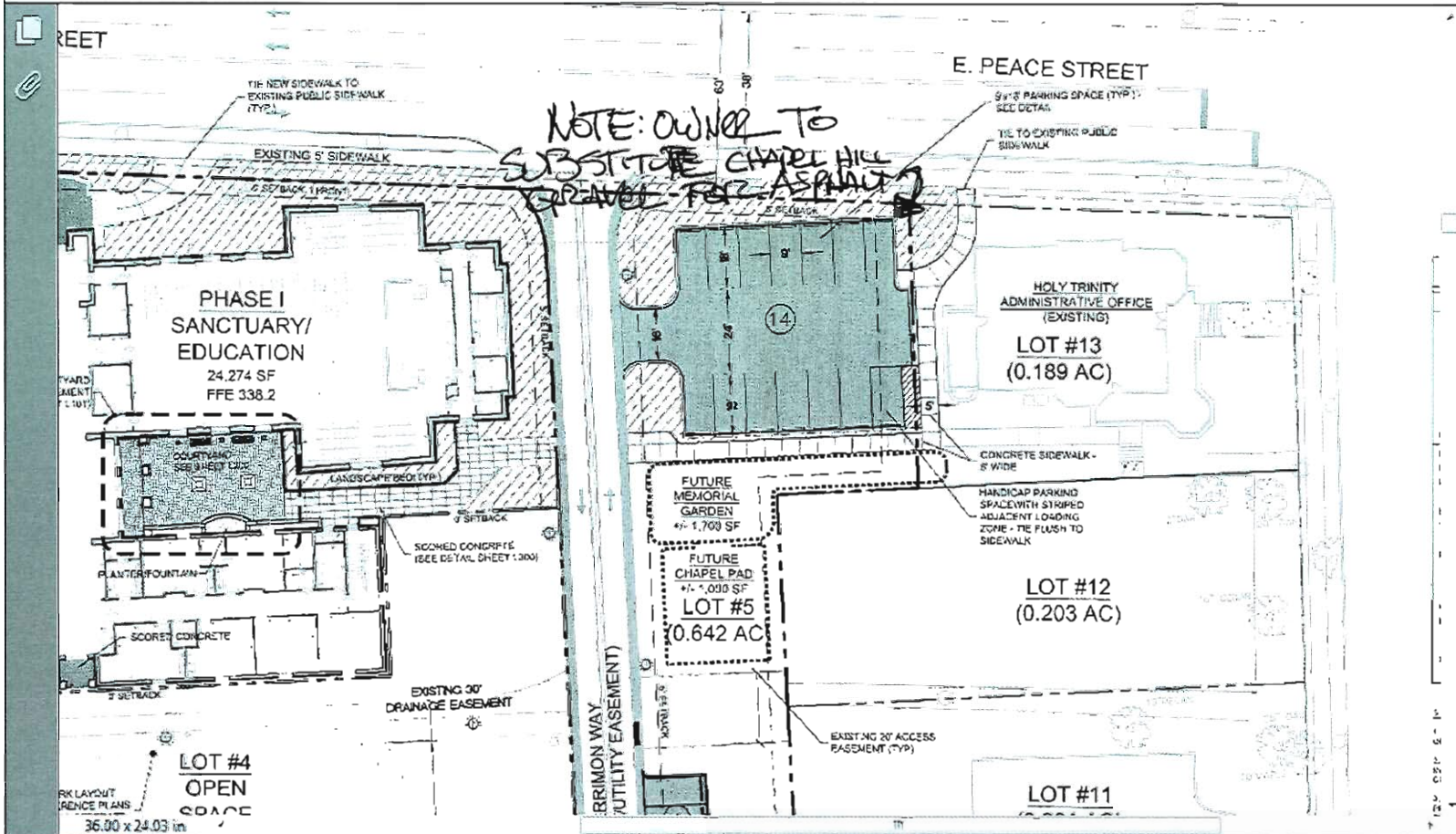


VIEW TOWARD SWEET WAY AND  
PEACE ST.

(FUTURE PARKING LOT)



SITE LIGHT FIXTURE (PER MASTER PLAN)  
FROM DUKE ENERGY



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Proposed Parking Lot

Approved 8/8/14  
TGT  
See Associated Drawings.

July 31, 2014

City of Raleigh  
Historic Districts Commission  
Attn: Tania G. Tully, Preservation Planner  
One Exchange Plaza  
Raleigh, NC 20601

333 Fayetteville Street  
Suite 600  
Raleigh, North Carolina  
27601-1772

Project Info: Holy Trinity Anglican Church – 100 East Peace Street  
Parking improvements within the Blount Street Historic District  
COA Renewal (076-10-CA)  
KHA Project Number: 011120000

Subject: Tree Protection Plan

Following is the proposed tree protection plan that will be implemented throughout the construction of the above referenced project.

**Existing Conditions:** There is one mature tree (24" oak) located within the historic district limits along the Peace street right-of-way between the existing Church Administrative offices and existing private ally (refer to plan included with this application). This tree will likely be impacted to some degree by construction of the adjacent gravel parking lot and required sidewalk to the Peace Street right-of-way and as such, active tree protection measures will be taken to ensure limited impact to the critical root zone of this tree to the extent practicable.

**Preparation:** Before clearing and grading begins, the contractor shall stake and flag all limits of disturbance as well as the corners of the proposed parking lot and sidewalk within the project area and schedule a meeting with the landscape architect. The purpose of the meeting is to verify all limits of clearing specified in this area of the plan and authorize necessary adjustments to staking and tree protection measures. In addition, the landscape architect will assess the potential for damage to the critical root zone (greater than 30% disturbance of the CRZ) due to grade changes, excavation, soil compaction, etc.

Once the conditions have been assessed, the approved tree protection devices will be installed per the tree protection plan details. The devices must be highly visible, at least four feet high and placed completely outside of the tree protection area according to the details. Once in place, they must be maintained during the entire construction phase, including fine grading and seeding. No equipment or machinery, vehicles materials or excessive foot traffic shall be allowed within the protected areas. None of the devices should be in any way anchored or attached to the tree inside of the tree protection area.

**Active Tree Protection Measures:** Once the approved devices are in place, the contractor may request an additional meeting with the landscape architect to review the installation and to discuss any issues with implementing the prescribed stress reduction measures below. These measures should be taken as far in

advance of clearing and grading as possible in order to ensure the best chance of survival of the tree. Appropriate measures include:

1. **Root Pruning** - Prune fibrous roots prior to construction using proper pruning equipment to ensure a clean cut. Under no circumstances should main roots be severed. Exposed roots should be covered immediately with top soil, peat moss or other suitable material.
2. **Hand digging** - Excavate around roots to be pruned by hand digging in all instances.
3. **Main Roots** – Locate the primary roots (3" dia. or greater) and flag accordingly prior to grading or construction. Excavated by hand digging all primary roots to be covered by new sidewalk and backfill the portion of the root path to be covered with #78 gravel. In areas where the concrete flush curb of the adjacent parking lot intersects a primary root, a notch shall be formed in the curb footing to preserve a clear root path. A specific detail can be provided if necessary following the initial site meeting.
4. **Watering** – Provide a watering system capable of irrigating the tree roots with 20/gal of water each day for the first 10 days and 4 days/week thereafter for the duration of construction activity. This system can be achieved with tree bags, drip irrigation or hand watering, etc. Submit or review irrigation method with the landscape architect.
5. **Fertilizing** – Apply a low nitrogen, slow release fertilizer in late fall or early spring

During the construction phase of the project, the tree protection devices and the tree will be inspected periodically. If issues arise, the landscape architect or tree care professional will give written notice of any problems to the contractor who will be expected to correct them in a timely manner.

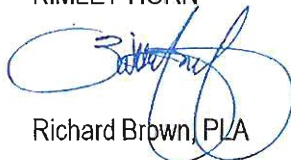
After construction is complete, an inspection will be requested by the contractor. At this time the landscape architect will inspect the construction area for compliance with the tree protection plan. During this inspection all tree protection devices will be removed and the limits of disturbance will be measured against the original plan.

During this inspection the landscape architect or other tree care professional will assess the health of the tree and suggest corrective actions if deemed necessary at that time. If a problem is identified and is directly related to damage or impacts which occurred during the construction process, corrective action must be taken. If required, these measures must be carried out by a qualified tree care expert. Measures may include the following:

- Removal of dead or dying tree branches
- Pruning of damaged or declining limbs
- Soil aeration
- Fertilization and watering
- Wound repair
- General protection area clean up

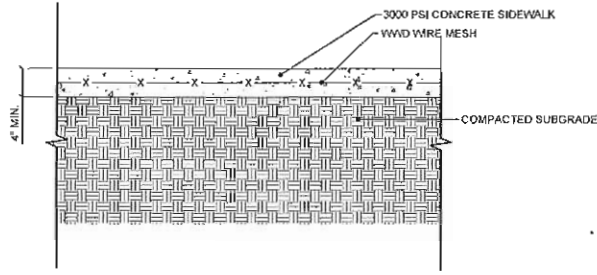
Following final completion, if it is determined that any long-term damage to the tree has occurred; the landscape architect or other qualified tree care expert may make additional recommendations as necessary at that time.

Sincerely,  
KIMLEY-HORN

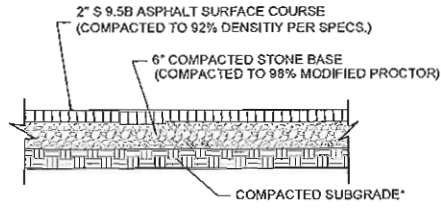


Richard Brown, PLA

NOTE:  
 1. SAWCUT JOINTS TO BE EQUAL TO SIDEWALK WIDTH  
 2. EXPANSION JOINTS TO BE EVERY THIRD SAWCUT JOINT  
 3. SCARIFY AND RECOMPACT TOP 6 INCHES OF SUBGRADE TO 95% STANDARD PROCTOR

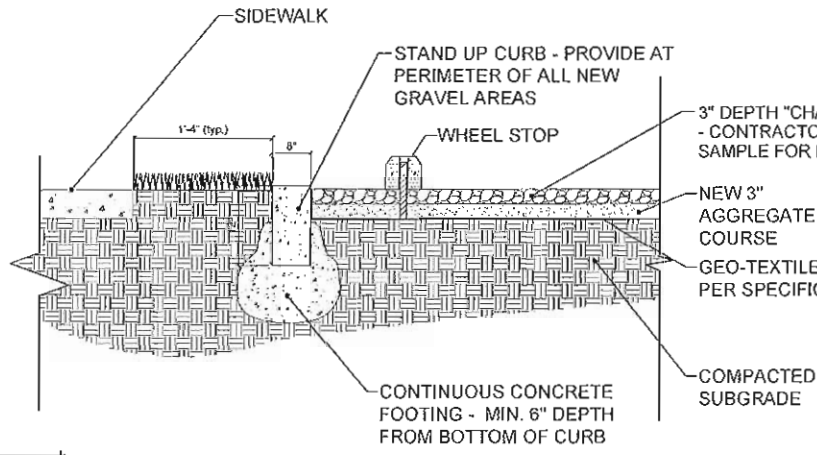


**1 TYPICAL CONCRETE SIDEWALK**  
 C300 1/8" = 1'-0" SCALE

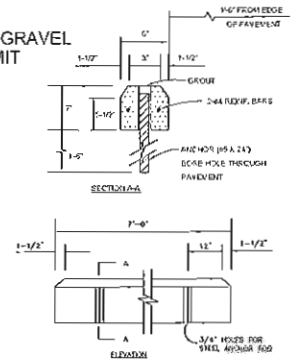


\* SCARIFY AND RECOMPACT TOP 12 INCHES OF SUBGRADE TO 98% STANDARD PROCTOR.

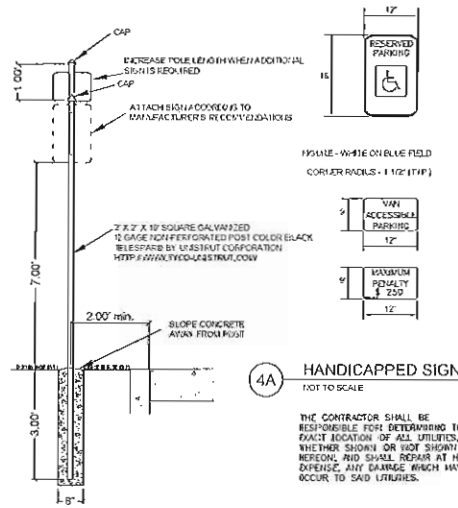
**2 LIGHT DUTY ASPHALT DETAIL**  
 C300 1/8" = 1'-0" SCALE



**3 LANDSCAPE BED/ PARKING LOT DETAIL**  
 C300 SCALE: NTS SECTION A-A

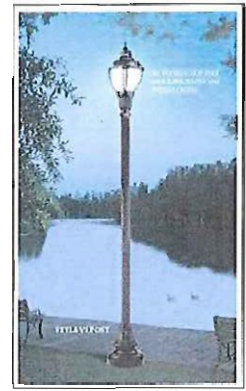


**4 WHEEL STOP DETAIL**  
 C300 SCALE: NTS



**4A HANDICAPPED SIGN DETAILS**  
 1/8" = 1'-0" SCALE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF ALL UTILITIES, WHETHER SHOWN OR NOT SHOWN HEREON, AND SHALL REPAIR AT HIS EXPENSE ANY DAMAGE WHICH MAY OCCUR TO SAID UTILITIES.



**9500 LUMENS - HIGH PRESSURE SODIUM (SOFT YELLOW GLOW)**

FIXTURE TYPE: PROGRESS ENERGY - STYLE 'COLUMBIA'  
 HIGH PRESSURE SODIUM 100 WATT, 9500 LUMENS  
 HOUSING HEIGHT 34-1/2"  
 POST TYPE: FIBERGLASS  
 COLOR: BLACK

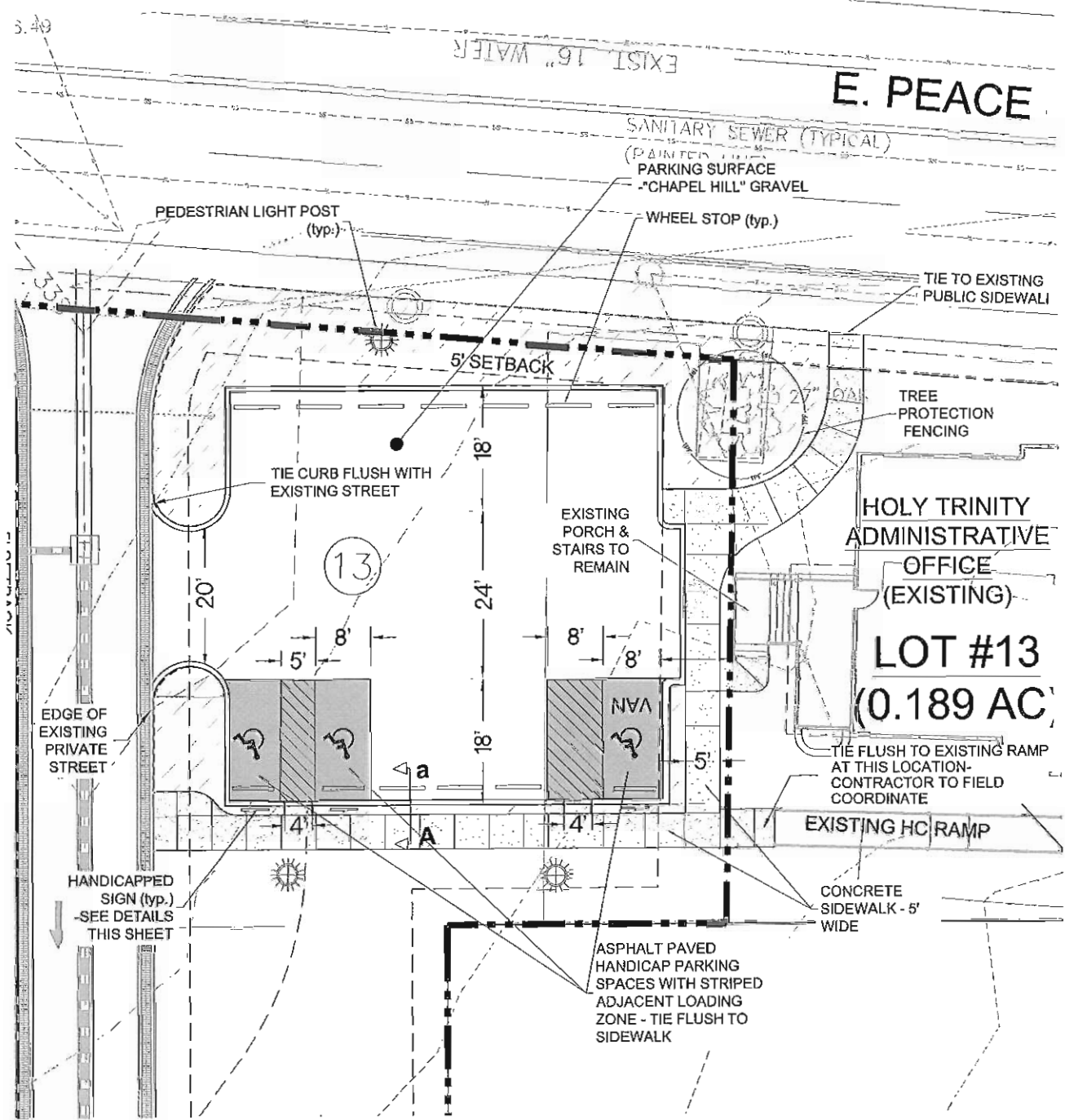
- NOTES:**
- ALL AREA AND OTHER LIGHTING FIXTURES TO BE PROVIDED BY AND LEASED FROM PROGRESS ENERGY, NORTH CAROLINA. THIS PLAN SHALL BE THE BASIS FOR PHOTO-METRIC PLANS TO BE PREPARED BY PROGRESS ENERGY.
  - LIGHTING LOCATIONS SHOWN ARE PROPOSED AND WILL BE BASED ON FIELD SURVEY, SELECTION AND RESULTING PHOTO-METRICS BY UTILITY PROVIDER.
  - REFER TO EXISTING AND PROPOSED SLEEVING LOCATIONS, STUD LOCATIONS, CONDUIT ROUTING, AND FIXTURE HOUSING DETAILS.

**5 ACCESSIBLE PARKING AND SIGNAGE STANDARDS**  
 C300 SCALE: NTS

**6 PEDESTRIAN LIGHT DETAIL**  
 C300 SCALE: NTS

**SITE LEGEND**

- PROPERTY LINE
- PEDESTRIAN LIGHTING
- LANDSCAPE BEDS
- CONCRETE PAVEMENT COLOR: STANDARD GRAY FINISH: SAND BLAST
- ASPHALT PAVING



**NORTH**

GRAPHIC SCALE IN FEET  
 0 5 10 20



| REV. NO. | REVISION  | DATE       | BY  | CHECKED BY |
|----------|---|------------|-----|------------|
| 1        | REVISED/RESPONSE TO CITY OF RALEIGH FIRST REVIEW COMMENTS | 04/22/2014 | BVN | RJD        |

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**HOLY TRINITY CHURCH**  
 100 E. PEACE STREET  
 RALEIGH, NC 27604

PREPARED IN THE OFFICE OF  
**Kimley-Horn and Associates, Inc.**  
 10101 GOLF COURSE ROAD, SUITE 200, RALEIGH, NC 27615  
 PHONE: 919-877-8820 FAX: 919-877-2228 NC LICENSE # 17-0028

CLIENT: **HOLY TRINITY ANGLICAN CHURCH**

TITLE: **SITE PLAN**

DATE: 3/14/14  
 HORIZONTAL SCALE: 1" = 20'  
 VERTICAL SCALE: N/A  
 DRAWN BY: AJV  
 DESIGNED BY: RLB  
 CHECKED BY: B.M.

PROJECT: **SANCTUARY AND PHASE 1 EDUCATION BUILDING**

ATTACHED REFERENCE FILES: [None listed]

JOB NUMBER: 011120000 SHEET NUMBER: **C300**





## Tully, Tania

---

**From:** Tully, Tania  
**Sent:** Wednesday, June 18, 2014 11:34 AM  
**To:** Fountainhead (jebbaker95@gmail.com)  
**Cc:** Ekstrom, Vivian (Vivian.Ekstrom@raleighnc.gov)  
**Subject:** COA Renewal and parking lot change at the Jordan House  
**Attachments:** 076-10-CA\_Application.pdf; 069-12-MW.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Completed

Hi Jim –

I am reviewing your COA application for the parking lot at 549 N Blount Street and need additional information. In looking at the lot that was approved in 2010 (COA 076-10-CA) the layout has changed. Additionally there are walkway changes that do not show up in any of the approved COAs.

- 076-10-CA for “Expand, reconfigure, and screen rear yard parking lot”
- 020-11-CA for “Change exterior paint colors; install new ADA compliant ramp; construct new porch on west elevation; install new sidewalks; replace windows on 3rd floor; remove extra doors; install windows; remove old utility equipment; remove windows at new porch; install new door”
- 069-12-MW for “Change previously approved COA 020-11-CA: [after-the-fact] reconfigure ramp; [after-the-fact] remove two curb cuts; [after-the-fact] alter design of new rear porch; plant 5 trees; create mulch beds; reconfigure site walkways”

As I see it there are a couple of changes from the previously approved COAs:

- Gravel surface rather than asphalt for the parking lot;
- New walk between the parking lot and house that extends to the city sidewalk on Peace Street;
- Layout of the parking area (I’ve attached the application from 076-10-CA);

With that in mind, please provide the following:

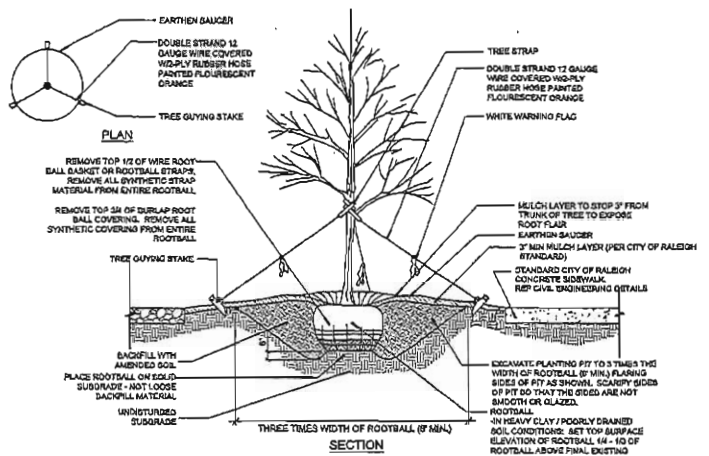
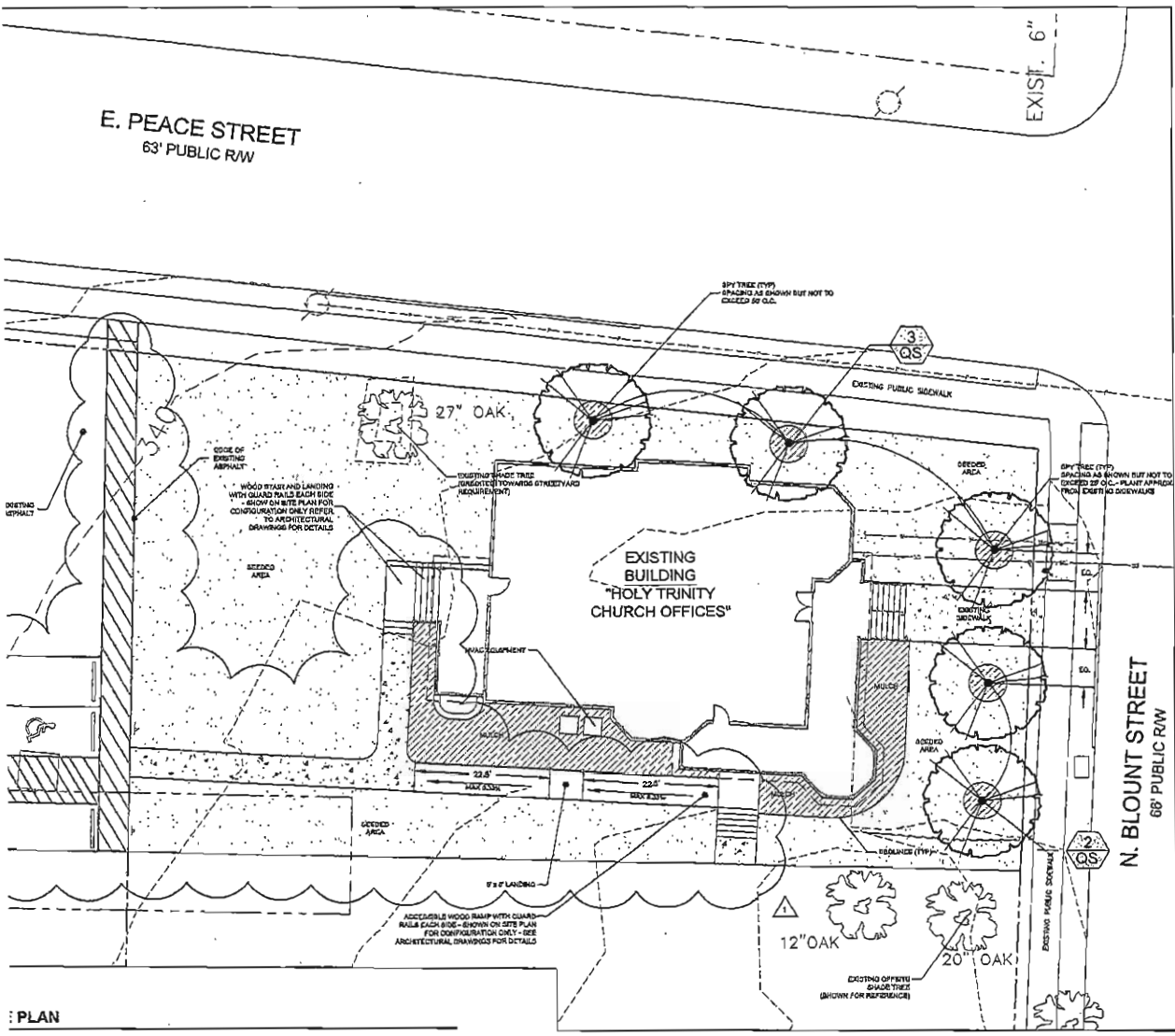
- The tree protection plan as required by 076-10-CA;
- Electronic versions of the drawings provided in the application (they are hard to read as printed);
- Parking lot edge treatment;
- Clarification on the location of the new walk. The drawings provided do not show the stairs on the rear of the house.

Thanks!

Tania

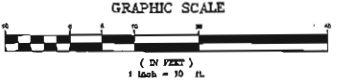
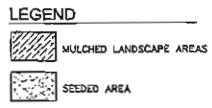
Tania Georgiou Tully, Preservation Planner  
Long Range Planning Division  
Raleigh Department of City Planning  
919.996.2674  
919.516.2684 (fax)  
[tania.tully@raleighnc.gov](mailto:tania.tully@raleighnc.gov)

COA process information is available [here](#).



2 TYPICAL TREE PLANTING/GUYING DETAIL  
L100 SCALE: NOT TO SCALE

- NOTES:
1. ALL PROPOSED PLANT MATERIAL SHALL COMPLY WITH THE CURRENT EDITION OF ANSI Z60.1 AMERICAN STANDARDS FOR NURSERY STOCK.
  2. ANY DISTURBED AREAS NOT SCHEDULED FOR HANDSCAPE, GRAVEL PARKING OR EOD SHALL BE MULCHED.
  3. CONTRACTOR SHALL AMEND ALL PROPOSED PLANT BEDS WITH SOIL AMENDMENTS PER CITY OF RALEIGH STANDARDS.
  4. NO PLANT SUBSTITUTIONS ARE PERMITTED WITHOUT WRITTEN APPROVAL OF THE OWNER'S REPRESENTATIVE.
  5. ALL PLANT LOCATIONS AND BED LAYOUT SHALL BE STAMPS IN THE FIELD AND APPROVED BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
  6. ALL PLANTINGS SHALL BE INSTALLED WITH THE SPECIFIED LAYER OF MULCH AND SOIL AMENDMENTS. REFERENCE DETAILS FOR DEPTH AND TYPE OF MULCH.



| LANDSCAPE REQUIREMENTS & CALCULATIONS  |          |                  |                         |  |  |
|--|----------|------------------|-------------------------|--|--|
| CODE   | QUANTITY | SIZE             | TOTAL QUANTITY REQUIRED | TOTAL QUANTITY PROVIDED (REPRESENTATIVE) | COMMENTS   |
| STREET PROTECTIVE YARD PER APPROVED MASTER PLAN (SEE REQUIREMENTS PAGE 2) (SHADE TREES SURROUNDING CALIPER) (PROTECTIVE YARD LAYOUT)   | 76 LF    | N/A              | 3 SHADE TREES           | 3 SHADE TREES                            | TREES SHALL BE 4" CALIPER AND A 18" HI. MIN. WHEN INSTALLED AND SHALL REACH A MIN. MATURITY H.C. OF 30 FT. |
| STREET PROTECTIVE YARD PER APPROVED MASTER PLAN (SEE REQUIREMENTS PAGE 2) (SHADE TREES SURROUNDING CALIPER) (EVERY 25 LF O.C. MINIMUM) | 180 LF   | 1 TREE (07' OAK) | 3 SHADE TREES           | 3 SHADE TREES                            | TREES SHALL BE 4" CALIPER AND A 18" HI. MIN. WHEN INSTALLED AND SHALL REACH A MIN. MATURITY H.C. OF 30 FT. |

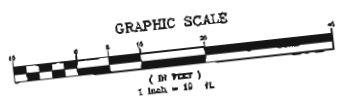
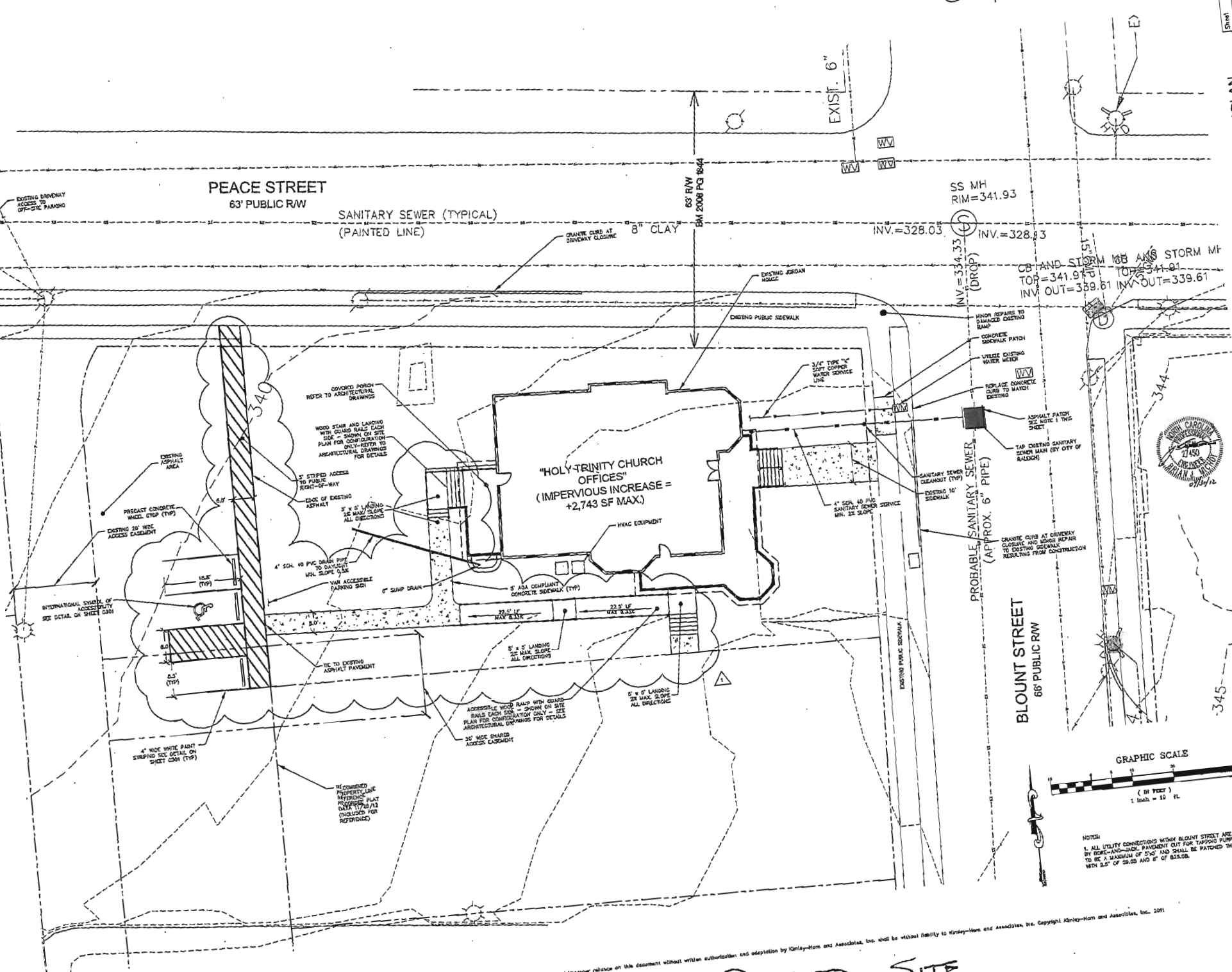
| MASTER PLANT LIST |           |                            |                     |               |         |        |      |          |       |
|-------------------|-----------|----------------------------|---------------------|---------------|---------|--------|------|----------|-------|
| TYPE              | ETHNOLOGY | BOTANICAL NAME             | COMMON NAME         | SPECIFICATION |         |        |      |          |       |
|                   |           |                            |                     | CALIPER       | HEIGHT  | SPREAD | ROOT | SPACING  | OTHER |
| TREES             | OS        | Quercus shumardii 'COPTIC' | Pennock Shumard Oak | 4"            | 10' MIN |        | BAG  | AS SHOWN |       |



PROPOSED SITE Landscaping

| REVISION | DATE       | BY       | AS NOTED |
|----------|------------|----------|----------|
| 1        | 04/21/12   | Scale    |          |
| 2        |            | Date     |          |
| 3        | 04/26/2011 | AS NOTED |          |

Holy Trinity Church - The Jordan House  
549 N Blount St. Raleigh, NC 27604

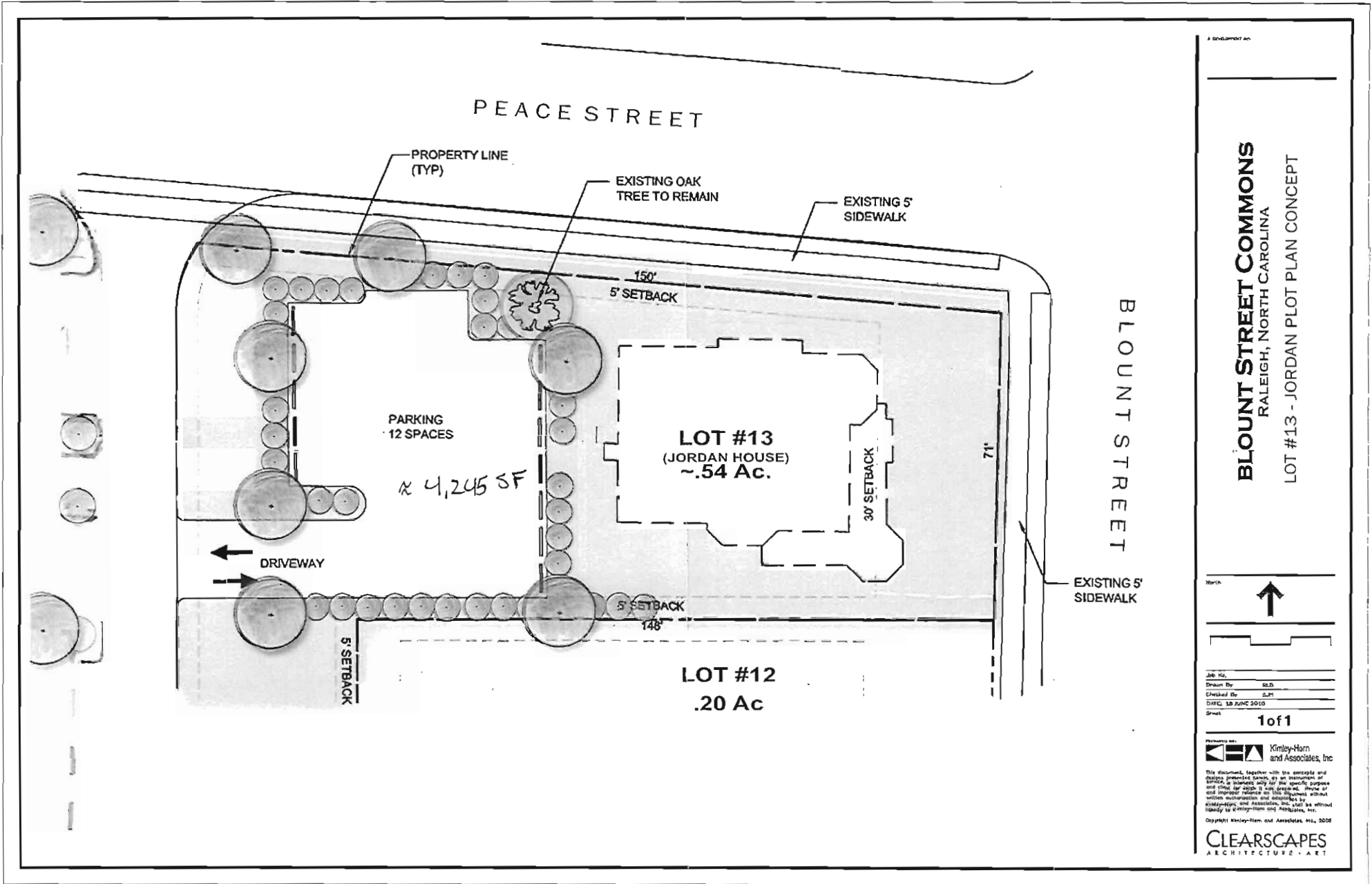


NOTES:  
1. ALL UTILITY CONNECTIONS WITHIN BLOUNT STREET ARE TO BE DONE BY ROPE-LATCH PAVEMENT CUT FOR TAPPING PURPOSES AND TO BE A MINIMUM OF 5" AND SHALL BE PATCHED THE SAME WAY WITH 2.5" OF 25.00 AND 6" OF 83.00.

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PROPOSED SITE

076 10 CA



**BLOUNT STREET COMMONS**  
 RALEIGH, NORTH CAROLINA  
 LOT #13 - JORDAN PLOT PLAN CONCEPT

North  
  
 Job No.  
 Drawn By: SLD  
 Checked By: SLM  
 DATE: 18 JUNE 2010  
 Sheet  
**1 of 1**

Prepared by:  
  
 Kinley-Horn and Associates, Inc.  
 This document, together with the concepts and designs presented herein, is an instrument of service, is submitted only for the specific purpose and uses for which it was prepared. Review of and approval of this document without written authorization and approval by Kinley-Horn and Associates, Inc. shall be without liability to Kinley-Horn and Associates, Inc.  
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**CLEARSCAPES**  
 ARCHITECTURE • ART

## Tully, Tania

---

**From:** Fountainhead <jebbaker95@gmail.com>  
**Sent:** Wednesday, June 18, 2014 5:25 PM  
**To:** Tully, Tania  
**Cc:** Ekstrom, Vivian  
**Subject:** RE: COA Renewal and parking lot change at the Jordan House

Tania,

I have reviewed everything you commented on. I believe I can provide you with better information as you have requested.

Thanks for pointing out a design issue at the stairs. We have a solution. It was merely an oversight with regards to the civil engineer not picking up everything from the architect.

I will try to turn this around ASAP.

Jim

**JAMES E. BAKER, ASSOC. AIA**  
**FOUNTAINHEAD DESIGN & BUILD**  
*DOWNTOWN OFFICE:*  
436 N. HARRINGTON ST.  
SUITE 140  
RALEIGH, NC 27603

*MIDTOWN OFFICE:*  
2041 PROGRESS COURT  
RALEIGH, NC 27608

OFFICE .....919-782-9786  
MOBILE .....919-810-0066

[JEBAKER95@GMAIL.COM](mailto:JEBAKER95@GMAIL.COM)  
[WWW.BUYSELLDEVELOP.NET](http://WWW.BUYSELLDEVELOP.NET)  
**DIFFERENT BY DESIGN!**

---

**From:** Tully, Tania [<mailto:Tania.Tully@raleighnc.gov>]  
**Sent:** Wednesday, June 18, 2014 11:34 AM  
**To:** Fountainhead ([jebbaker95@gmail.com](mailto:jebbaker95@gmail.com))  
**Cc:** Ekstrom, Vivian  
**Subject:** COA Renewal and parking lot change at the Jordan House

Hi Jim –

I am reviewing your COA application for the parking lot at 549 N Blount Street and need additional information. In looking at the lot that was approved in 2010 (COA 076-10-CA) the layout has changed. Additionally there are walkway changes that do not show up in any of the approved COAs.

## Tully, Tania

---

**From:** Fountainhead <jebbaker95@gmail.com>  
**Sent:** Wednesday, June 25, 2014 1:16 PM  
**To:** Tully, Tania  
**Cc:** Ekstrom, Vivian  
**Subject:** RE: COA Renewal and parking lot change at the Jordan House  
**Attachments:** 2014-6-25\_HT Site and Landscape Plans\_COA.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Tania,

I have attached a digital plan that should encompass all of the clarifications that you were requesting.

I can't remember the sequencing of permitting but as part of the site plan review for the Trinity House building permits, the zoning folks enforced a new ordinance within the City. It requires that all structures on corner lots must have walkways leading to both street frontages. In the context of design of the Trinity House and the new Handicap ramp, it made more sense to have the walkway to Peace street in the rear of the house. We simply left some existing asphalt to make that one walk path that was utilized until now. The attached plans memorialize what our long term intent was to be with regard to pedestrian access. Hopefully that helps explain the back and forth a bit.

Please review the attached documents and let me know if this is adequate for your approval. If I need to produce other information, please let me know.

Jim

**JAMES E. BAKER, ASSOC. AIA**  
**FOUNTAINHEAD DESIGN & BUILD**  
*DOWNTOWN OFFICE:*  
436 N. HARRINGTON ST.  
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**DIFFERENT BY DESIGN!**

---

**From:** Tully, Tania [mailto:Tania.Tully@raleighnc.gov]  
**Sent:** Wednesday, June 18, 2014 5:28 PM  
**To:** Fountainhead

## Tully, Tania

---

**From:** Tully, Tania  
**Sent:** Friday, June 27, 2014 1:41 PM  
**To:** 'Fountainhead'  
**Cc:** Ekstrom, Vivian  
**Subject:** RE: COA Renewal and parking lot change at the Jordan House

Jim –

Almost there! The plans submitted take care of everything except the tree protection plan.

The drawings show tree protection fencing, but that is only part of a tree protection plan. We also need to know what care will be taken during the installation of the surrounding sidewalk and parking area to avoid killing the tree. The critical root zone expands far beyond the proposed tree fencing. Typical measures include hand digging in the critical root zone. Of specific concern to your tree is the continuous concrete footing for the perimeter of the parking lot.

The condition of approval requires a tree protection plan prepared by an arborist certified by the International Society of Arboriculture (ISA) or landscape Architect registered with the NCBLA. One of these professional will be able to advise on what measures should be taken (if any) to increase the survival of the tree post-construction.

I hope this clarifies the one remaining item.

Thanks!

Tania

Tania Georgiou Tully, Preservation Planner  
Long Range Planning Division  
Raleigh Department of City Planning  
919.996.2674  
919.516.2684 (fax)  
[tania.tully@raleighnc.gov](mailto:tania.tully@raleighnc.gov)

COA process information is available [here](#).

---

**From:** Fountainhead [mailto:jebbaker95@gmail.com]  
**Sent:** Wednesday, June 25, 2014 1:16 PM  
**To:** Tully, Tania  
**Cc:** Ekstrom, Vivian  
**Subject:** RE: COA Renewal and parking lot change at the Jordan House

Tania,

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I can't remember the sequencing of permitting but as part of the site plan review for the Trinity House building permits, the zoning folks enforced a new ordinance within the City. It requires that all structures on corner lots must have walkways leading to both street frontages. In the context of design of the Trinity House and the new Handicap ramp, it made more sense to have the walkway to Peace street in the rear of the house. We simply left some existing asphalt to make that one walk path that was utilized until now. The attached plans memorialize what our long term intent was to be with regard to pedestrian access. Hopefully that helps explain the back and forth a bit.



## Tully, Tania

---

**From:** Fountainhead <jebbaker95@gmail.com>  
**Sent:** Thursday, July 31, 2014 12:59 PM  
**To:** Tully, Tania  
**Cc:** James E. Baker  
**Subject:** RE: Checking in--Holy Trinity--399206  
**Attachments:** Holy Trinity - Tree Protection Plan.pdf

**Follow Up Flag:** Follow up  
**Flag Status:** Flagged

Tania,

I apologize for this taking so long to get to you. Apparently—everybody went on vacation!

Please let me know if this is what you were looking for from my Landscape Architect. I am not provided one of these before.

Jim

**JAMES E. BAKER, ASSOC. AIA**  
**FOUNTAINHEAD DESIGN & BUILD**  
*DOWNTOWN OFFICE:*  
436 N. HARRINGTON ST.  
SUITE 140  
RALEIGH, NC 27603

*MIDTOWN OFFICE:*  
204 1 PROGRESS COURT  
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[WWW.BUYSELLDEVELOP.NET](http://WWW.BUYSELLDEVELOP.NET)  
**DIFFERENT BY DESIGN!**

---

**From:** Tully, Tania [<mailto:Tania.Tully@raleighnc.gov>]  
**Sent:** Thursday, July 10, 2014 9:50 AM  
**To:** Fountainhead  
**Subject:** RE: Checking in--Holy Trinity--399206

Hi Jim –

Yes, I am waiting on the tree protection plan. See the attached recent correspondence. Hope you had a great vacation!

Tania

Tania Georgiou Tully, Preservation Planner  
Long Range Planning Division  
Raleigh Department of City Planning  
919.996.2674  
919.516.2684 (fax)  
[tania.tully@raleighnc.gov](mailto:tania.tully@raleighnc.gov)

COA process information is available [here](#).

---

**From:** Fountainhead [<mailto:jebbaker95@gmail.com>]

**Sent:** Thursday, July 10, 2014 9:44 AM

**To:** Tully, Tania

**Subject:** Checking in--Holy Trinity--399206

Tania,

I was on vacation all of last week and still trying to catch up. Can you update me on the status of the project review? Do I owe you anything?

Jim

**JAMES E. BAKER, ASSOC. AIA**  
**FOUNTAINHEAD DESIGN & BUILD**  
*DOWNTOWN OFFICE:*  
436 N. HARRINGTON ST.  
SUITE 140  
RALEIGH, NC 27603

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