

CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

606 N BOUNDARY STREET

Address

OAKWOOD

Historic District

Historic Property

009-14-MW

Certificate Number

1/29/2014

Date of Issue

7/29/2014

Expiration Date

Project Description:

- Change previously approved COAs 176-13-MW and 008-13-CA:
- configuration of rear screened porch screening;
- relocate front walkway and steps to align with front steps of altered house;
- change front retaining wall material to brick;
- install storm door;
- change front gable from cedar shakes to horizontal siding;
- change porch railing design.

OK to PERMIT

This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.

Signature, _____
Raleigh Historic Development Commission



Planning & Development

Development Services
 Customer Service Center
 One Exchange Plaza
 1 Exchange Plaza, Suite 400
 Raleigh, North Carolina 27601
 Phone 919-996-2495
 eFax 919-996-1831

Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



- Minor Work (staff review) – 1 copy
- Major Work (COA Committee review) – 13 copies
 - Most Major Work Applications
 - Additions Greater than 25% of Building Square Footage
 - New Buildings
 - Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

For Office Use Only

Transaction # 386158

File # 009-14-MW

Fee \$28.00

Amt Paid \$28.00

Check # Debit Card

Rec'd Date 1-16-14

Rec'd By J.Pruitt

App Complete 1/27/14

• If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address 606 North Boundary Street

Historic District Oakwood

Historic Property/Landmark name (if applicable)

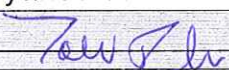
Owner's Name Todd Barlow

Lot size .178 ac (width in feet) 50' (depth in feet) 154'

For applications that require review by the COA Committee (Major Work), provide addressed, stamped envelopes to owners of all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property) not including the width of public streets or alleys:

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

Type or print the following: Todd Barlow		
Applicant Todd Barlow		
Mailing Address 606 North Boundary Street		
City Raleigh	State NC	Zip Code 27604
Date 1/14/14	Daytime Phone 919-696-0863	
Email Address tbarlow713@yahoo.com		
Signature of Applicant 		

Minor Work Approval (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 1/29/14. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

Signature  _____ Date 1/29/14

Project Categories (check all that apply):

Exterior Alteration

Addition

New Construction

Demolition

Will you be applying for state or federal rehabilitation tax credits for this project?

Yes

No

(Office Use Only)

Type of Work _____

89,

Design Guidelines Please cite the applicable sections of the design guidelines (www.rhdc.org).

Section/Page	Topic	Brief Description of Work
	Rear Screen Porch	field change from drawing of overall height and framing of screening (see photo)
	Front sidewalk steps and driveway retaining walls	move sidewalk steps to center of house and new matching 18" to 24" brick retaining wall at front of house and driveway
	Front exterior porch columns	field change from drawings from round to tapered columns and brick construction ILO stone built off porch ILO ground
	Front exterior door	add glass storm door with wood trim to match wood door finish
	Exterior shake siding	change exterior <i>unpainted</i> cedar shake from staggered pattern to straight pattern
	Exterior porch wood pickets	field change from drawing reducing total number vertical wood pickets

Revise CoA 176-13-MW

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p>Minor Work (staff review) – 1 copy</p> <p>Major Work (COA Committee review) – 13 copies</p>			✓		
<p>1. Written description. Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.)</p> <p>request for construction changes and modifications</p>	<input checked="" type="checkbox"/>		✓		
<p>2. Description of materials (Provide samples, if appropriate)</p> <p>water washed concrete /approve brick / wood columns</p>	<input checked="" type="checkbox"/>		✓		
<p>3. Photographs of existing conditions are required.</p> <p>attached to application</p>	<input checked="" type="checkbox"/>		✓		
<p>4. Paint Schedule (if applicable)</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
<p>5. Plot plan (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.</p>	<input type="checkbox"/>	<input checked="" type="checkbox"/>			✓
<p>6. Drawings showing proposed work</p> <p><input checked="" type="checkbox"/> Plan drawings</p> <p><input type="checkbox"/> Elevation drawings showing the new façade(s).</p> <p><input type="checkbox"/> Dimensions shown on drawings and/or graphic scale.</p> <p><input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet.</p>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	✓		
<p>7. Stamped envelopes addressed to all property owners within 100 feet of property not counting the width of public streets and alleys. (Required for Major Work)</p>	<input type="checkbox"/>	<input type="checkbox"/>			
<p>8. Fee (<u>See Development Fee Schedule</u>)</p> <p style="text-align: center;">\$28.00</p>	<input checked="" type="checkbox"/>		✓		

approved COA plans on file



New 18" to 24" brick retaining wall matching house to extend from new steps to right edge of property

new concrete steps with brick sidewalls and location - reference attached sheet A1.0

New 18" to 24" brick retaining wall matching house to extend from new steps to right side of driveway





No retaining wall with sloped grass yard on right side of driveway

new brick retaining wall matching house / matching previous wall dimensions extending from steps to edge of driveway

new brick retaining wall matching house / matching previous wall dimensions

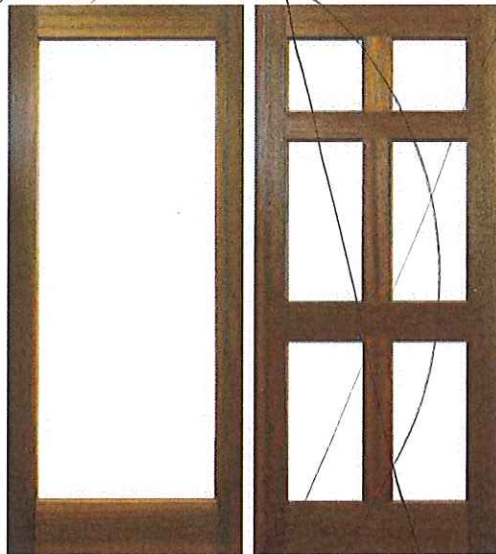


Rear screened in porch -
screen does not extend full
height as shown on approved
drawings

NEW ITEMS | CUSTOM DOORS | ACCESSORIES | STAIN OPTIONS | GALLERY | DP RATING | WARRANTY

STORM DOORS

- RENAISSANCE
- ABERDEEN
- TRINITY
- HALF ROUND
- WAKEFIELD
- TUSCANY
- BRIARCLIFF
- HIGH COUNTRY
- SANTA BARBARA
- WESTCHESTER
- TIFFANY
- ALEXANDRIA
- BUILDER
- MILAN
- WINDOWS



GLASS: Clear Bevel
TIMBER: Mahogany
DOOR: 36 1/4" x 84 1/4" x 1 1/8"

These doors come oversized and must be cut to accommodate opening.

*CLICK image for larger view

© 2012 DSA Master Crafted Doors. ALL RIGHTS RESERVED

FOR location of front sidewalk only.

CORPORATE STAMP



ARCHITECT'S STAMP

No Rev./Submissions	D	DATE	COMMENTS
	RHDC	06/1	
		07/1	

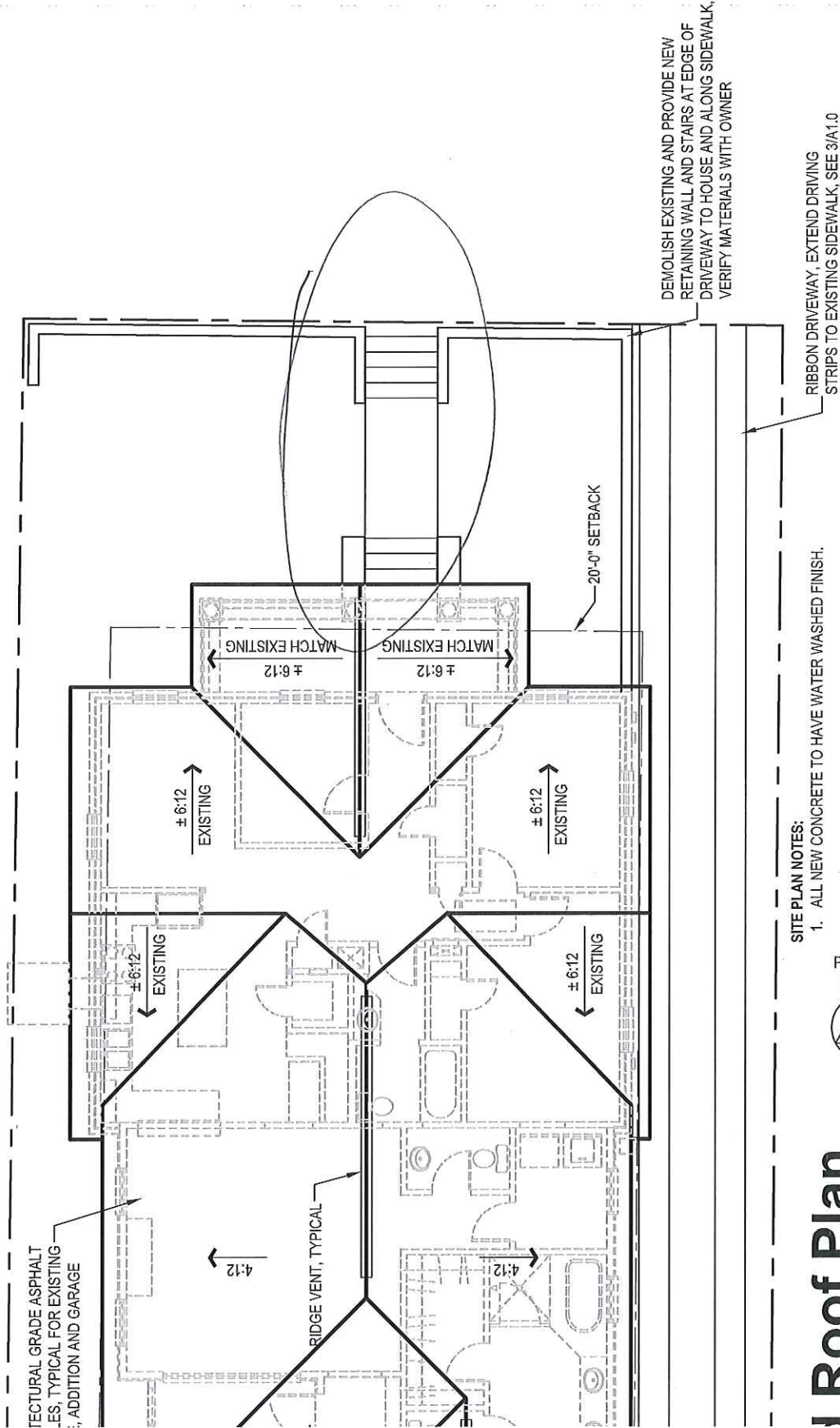
SCALE	AS NOTED	PROJECT NO	11061
DESIGNED	RSR	DATE	22 JUL
DRAWN	RSR	CHECKED	RSF

DRAWINGS

HOUSE FIRS
FLOOR PLAN
SITE PLAN

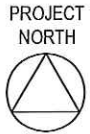
DRAWING NO

A1.0



SITE PLAN NOTES:

1. ALL NEW CONCRETE TO HAVE WATER WASHED FINISH.



Roof Plan

DEMOLISH EXISTING AND PROVIDE NEW RETAINING WALL AND STAIRS AT EDGE OF DRIVEWAY TO HOUSE AND ALONG SIDEWALK, VERIFY MATERIALS WITH OWNER

RIBBON DRIVEWAY, EXTEND DRIVING STRIPS TO EXISTING SIDEWALK, SEE 3/A1.0



Minor Work Pic's 001



Minor Work Pic's 003



Minor Work Pic's 004



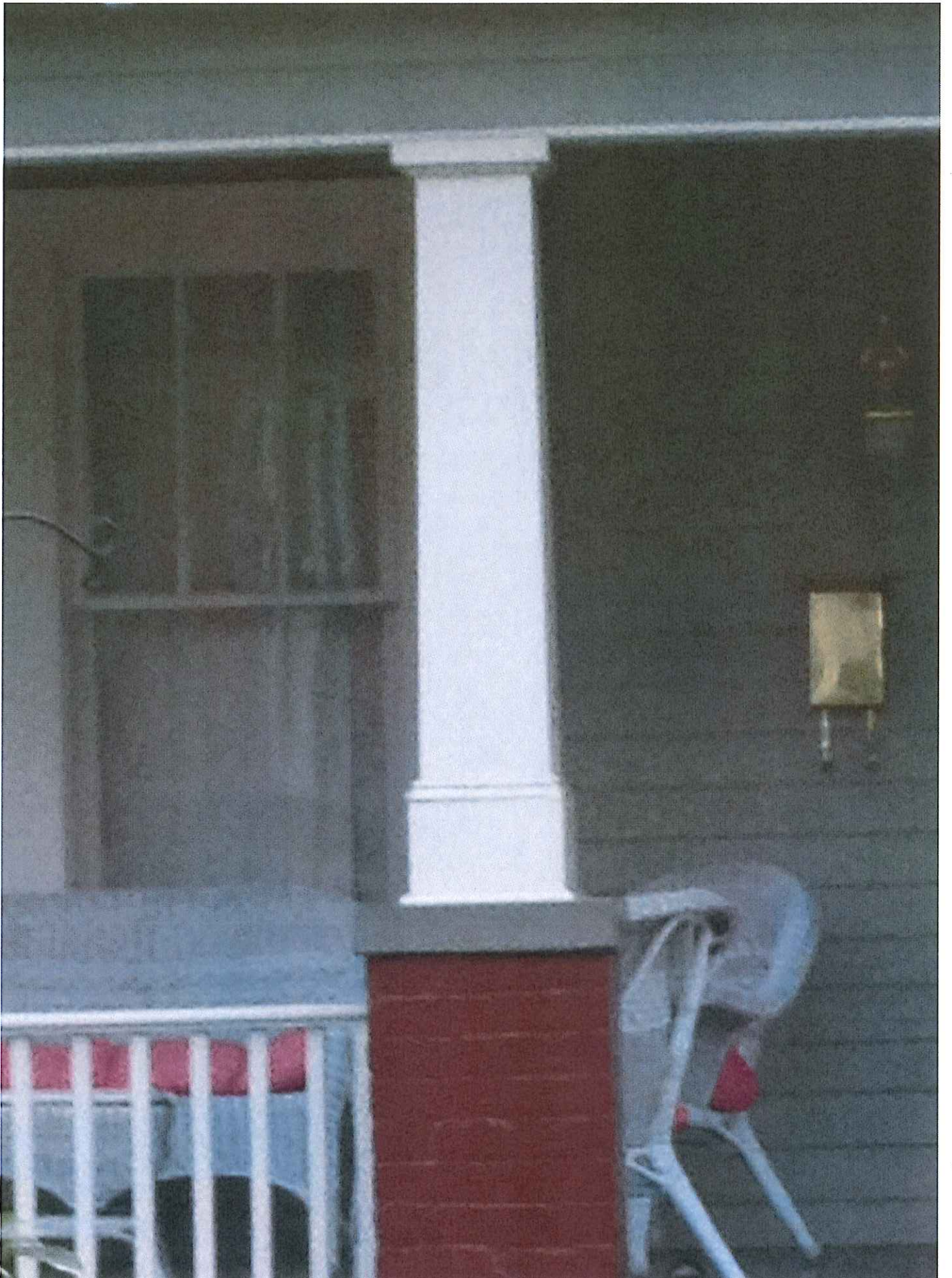
Minor Work Pic's 005



Minor Work Pic's 006



Minor Work Pic's 007



Minor Work Pic's 009

Tapered Column

Tully, Tania

From: Tully, Tania
Sent: Monday, January 27, 2014 11:06 AM
To: 'Todd Barlow'
Cc: Tyson Warren (tyson@1ts.com)
Subject: RE: Minor Work COA - Additional Information Needed

Todd -

See my responses below:

Tania Georgiou Tully, Preservation Planner
Long Range Planning Division
Raleigh Department of City Planning
919.996.2674 new phone number
919.516.2684 (fax)
tania.tully@raleighnc.gov

From: Todd Barlow [<mailto:tbarlow713@yahoo.com>]
Sent: Saturday, January 25, 2014 6:51 PM
To: Tully, Tania
Cc: Tyson Warren (tyson@1ts.com)
Subject: Fw: Minor Work COA - Additional Information Needed

Tania,

Please note responses below and in body of email. Apologize but will be sending the info in multiple emails. Please let us know if you have any questions and appreciate your help.

Todd

Todd -

I am reviewing the Minor Work COA application and need the following additional information in order to complete my review:

1.
Current photos of the front of the house; Photos will be forwarded in separate emails for current front of house and driveway views. **OK**
2.
Specifications/details for the proposed tapered columns; Will provide sketch/drawing in separate email **OK (not yet received)** — see photo 009
3.
Storm door specifications; Link attached in separate email and note framed glass door on shown on left of page **OK (not yet received)**
4.
Explanation of "brick construction ILO stone built off porch ILO ground" As stated in a previous email stone

was never approved. No construction issue just noting brick - reference attached pictures in separate email **OK**

5.
Explanation of "change unpainted cedar shake from staggered pattern to straight pattern" Include a drawing or sketch for clarity if necessary. Shake no longer being considered in construction. Wanting to change to matching smooth siding with 7" reveal and bead (pending COA decision)

OK – That's what I thought we had discussed.

6.
For the porch railing additional information beyond "reducing the number of vertical wood pickets" is needed; provide either a drawing or dimensions of the pickets and the on-center spacing. 2x2 pickets spaced 6" apart **OK**

7.
Need a revised drawing (plan only is ok) showing the new location of the front sidewalk and steps. (photo references an attached sheet A.10 that was not included) Current drawing A1.0 shows front sidewalk location - site and roof plan view on bottom of drawing. **Drawing not included with application. Please send.**

8.
For the retaining wall more specificity is needed.

a.
Clarify that the brick on the retaining wall is the same as the foundation of the house - yes **OK**

b.
You say that the wall will be 18" to 24" – will this height difference require stepping? A simple elevation drawing is recommended. No stepping – wall parallel with the ground 24" tall. **OK**

c.
How will the top of the wall be treated? (simple is better) solid brick rowlock. **OK**

d.
What will be the bond pattern of the brick? Running bond. Same as foundation **OK**

e.
How will the end of the wall at the driveway be treated? The wall will run parallel with the sidewalk until it gets about 2 feet away from the driveway. Then it will turn at a 45 degree angle up towards the house for another 2 feet. Then another 45 degree turn two feet up the driveway. The wall will run parallel to the ground along the full length of the wall as designated in 8.b. above. Where it will end and die into the sloped yard. **OK**

f.
Will the brick wall on the left of the driveway step like the block wall does now? If not how will it look? The brick on the left will have a running bond pattern connected at the same height of the neighbors existing wall. The wall will run parallel to the driveway along the property line. **OK**

Best,
Tania
Tania Georgiou Tully, Preservation Planner

Tully, Tania

From: Barlow, Todd <TBarlow@nycominc.com>
Sent: Monday, January 27, 2014 11:15 AM
To: Tully, Tania
Cc: tyson@1ts.com; tbarlow713@yahoo.com
Subject: RE: Minor Work Response (#1)
Attachments: Minor Work Pic's 003.jpg; Minor Work Pic's 009.jpg; Minor Work Pic's 001.jpg

From: Barlow, Todd
Sent: Monday, January 27, 2014 11:10 AM
To: 'tania.tully@raleighnc.gov'
Cc: 'tyson@1ts.com'; 'tbarlow713@yahoo.com'
Subject: Minor Work Response

Hi Tania,

Sorry and having some issues with Yahoo email. Might have to break up emails due to photo attachments and email capacity.

TLB Picture 009 shows a similar tapered column that we will look to match. Tapered column will start at 15"x15" wide and extend 50" high.

- Pictures 001 & 003 show brick column construction in reference to note 4.
- Pictures 004 – 007 show current front of house views
- Picture 008 shows close house siding with bead

Tyson – could you please help me and forward Tania the glass storm link

Thanks for the help, Todd

C read

Todd Barlow

Account Manager NC/VA

NC Office (919)957-9545 / Virginia Office (804)794-3044

Direct Extension #7010

tbarlow@nycominc.com

"Customer Allegiance - Excellence"

Check us out at: www.nycominc.net

Tania Georgiou Tully

From: Tania Georgiou Tully <ttully@rhdc.org>
Sent: Tuesday, January 21, 2014 4:36 PM
To: Todd Barlow
Cc: Tyson Warren
Subject: Minor Work COA - Additional Information Needed

Todd –

I am reviewing the Minor Work COA application and need the following additional information in order to complete my review:

1. Current photos of the front of the house;
2. Specifications/details for the proposed tapered columns;
3. Storm door specifications;
4. Explanation of “brick construction ILO stone built off porch ILO ground” As stated in a previous email stone was never approved.
5. Explanation of “change unpainted cedar shake from staggered pattern to straight pattern” Include a drawing or sketch for clarity if necessary.
6. For the porch railing additional information beyond “reducing the number of vertical wood pickets” is needed; provide either a drawing or dimensions of the pickets and the on-center spacing.
7. Need a revised drawing (plan only is ok) showing the new location of the front sidewalk and steps. (photo references an attached sheet A.10 that was not included)
8. For the retaining wall more specificity is needed.
 - a. Clarify that the brick on the retaining wall is the same as the **foundation** of the house
 - b. You say that the wall will be 18” to 24” – will this height difference require stepping? A simple elevation drawing is recommended.
 - c. How will the top of the wall be treated? (simple is better)
 - d. What will be the bond pattern of the brick?
 - e. How will the end of the wall at the driveway be treated?
 - f. Will the brick wall on the left of the driveway step like the block wall does now? If not how will it look?

Best,
Tania

Tania Georgiou Tully, Preservation Planner
Raleigh Historic Development Commission
PO Box 829 Century Station
Raleigh NC 27602
919.832.7238
919.996.2674 **new phone number**
919.516.2684 (fax)
www.rhdc.org