

# CERTIFICATE OF APPROPRIATENESS PLACARD

for Raleigh Historic Resources

516 EUCLID STREET

Address

OAKWOOD

Historic District

Historic Property

008-14-MW

Certificate Number

1/21/2014

Date of Issue

7/21/2014

Expiration Date

## Project Description:

- Change previously approved COA 135-13-CA to alter window configuration on rear elevation, alter material location on façade of garage, and add crawlspace access;
- construct 42" wood fence along rear property line

OK to PERMIT

*This card must be kept pasted in a location within public view until all phases of the described project are complete. The work must conform with the code of the City of Raleigh and laws of the state of North Carolina. When your project is complete, you are required to ask for a final zoning inspection in a historic district area. Telephone the RHDC office at 832-7238 and commission staff will coordinate the inspection with the Inspections Department. If you do not call for this final inspection, your Certificate of Appropriateness is null and void.*

Signature, \_\_\_\_\_

Raleigh Historic Development Commission

A handwritten signature in dark ink, appearing to read "Liana Kelly", is written over a horizontal line. The signature is fluid and cursive.



# Planning & Development

## Development Services Customer Service Center

One Exchange Plaza, Suite 400  
Raleigh, North Carolina 27601  
Phone 919-996-2495  
Fax 919-516-2685

### Raleigh Historic Development Commission – Certificate of Appropriateness (COA) Application



- Minor Work (staff review) – 1 copy**
- Major Work (COA Committee review) – 14 copies**
  - Most Major Work Applications
  - Additions Greater than 25% of Building Square Footage
  - New Buildings
  - Demo of Contributing Historic Resource
- Post Approval Re-review of Conditions of Approval

**For Office Use Only**

Transaction # 385927

File # 008-14 MW

Fee \$28.00

Amt Paid \$28.00

Check # 1426

Rec'd Date 1-14-14

Rec'd By K Pruitt

If completing by hand, please use **BLACK INK**. Do not use blue, red, any other color, or pencil as these do not photocopy.

Property Street Address: 516 Euclid St.

Historic District: Oakwood

Historic Property/Landmark name (if applicable)

Owner's Name: Louis Cherry & Marsha Gordon

Lot size .12 acre

(width in feet) 100.85

(depth in feet) 52.50

For applications that require review by the COA Committee (Major Work), list all properties within 100 feet (i.e. both sides, in front (across the street), and behind the property):

Property Address	Property Address

I understand that all applications that require review by the commission's Certificate of Appropriateness Committee must be submitted by 4:00 p.m. on the application deadline; otherwise, consideration will be delayed until the following committee meeting. An incomplete application will not be accepted.

	TO BE COMPLETED BY APPLICANT		TO BE COMPLETED BY CITY STAFF		
	YES	N/A	YES	NO	N/A
<p>Attach 8-1/2 " x 11" sheets with written descriptions and drawings, photographs, and other graphic information necessary to completely describe the project. Use the checklist below to be sure your application is complete.</p> <p><b>Minor Work (staff review) – 1 copy</b></p> <p><b>Major Work (COA Committee review) – 14 copies</b></p>					
1. <b>Written description.</b> Describe clearly and in detail the nature of your project. Include exact dimensions for materials to be used (e.g. width of siding, window trim, etc.).	X		✓		
2. <b>Description of materials</b> (Provide samples, if appropriate).		X			✓
3. <b>Photographs</b> of existing conditions		X			✓
4. <b>Paint Schedule</b> (if applicable)	<input type="checkbox"/>	X			✓
5. <b>Plot plan</b> (if applicable). A plot plan showing relationship of buildings, additions, sidewalks, drives, trees, property lines, etc., must be provided if your project includes any addition, demolition, fences/walls, or other landscape work. Show accurate measurements. You may also use a copy of the survey you received when you bought your property. Revise the copy as needed to show existing conditions and your proposed work.		<input checked="" type="checkbox"/>			✓
6. <b>Drawings</b> showing proposed work <ul style="list-style-type: none"> <li><input type="checkbox"/> Plan drawings</li> <li><input type="checkbox"/> Elevation drawings showing the new façade(s).</li> <li><input type="checkbox"/> Dimensions shown on drawings and/or graphic scale.</li> <li><input type="checkbox"/> 8-1/2" x 11" reductions of full-size drawings. If reduced size is so small as to be illegible, make 8-1/2" x 11" snap shots of individual drawings on the big sheet.</li> </ul>	X		✓		
7. <b>Fee</b> ( <a href="#">See Development Fee Schedule</a> )	X		✓		

Type or print the following:

**Applicant** Louis Cherry & Marsha Gordon

**Mailing Address** 421 N. Bloodworth St.

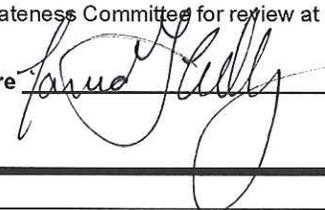
<b>City</b> Raleigh	<b>State</b> NC	<b>Zip Code</b> 27604
<b>Date</b> 1/08/14	<b>Daytime Phone</b> 919-971-2299	

**Email Address** [lou.cherry9@gmail.com](mailto:lou.cherry9@gmail.com) [marshagordon99@gmail.com](mailto:marshagordon99@gmail.com)

**Signature of Applicant** 

**Minor Work Approval** (office use only)

Upon being signed and dated below by the Planning Director or designee, this application becomes the Minor Work Certificate of Appropriateness. It is valid until 7/21/14. Please post the enclosed placard form of the certificate as indicated at the bottom of the card. Issuance of a Minor Work Certificate shall not relieve the applicant, contractor, tenant, or property owner from obtaining any other permit required by City Code or any law. Minor work projects not approved by staff will be forwarded to the Certificate of Appropriateness Committee for review at the next scheduled meeting.

**Signature**  \_\_\_\_\_ **Date** 1/21/14 \_\_\_\_\_

**Project Categories (check all that apply):**

**Exterior Alteration**

Addition

New Construction

Demolition

**Will you be applying for state or federal rehabilitation tax credits for this project?**

Yes

No

**(Office Use Only)**

**Type of Work** \_\_\_\_\_

35, 89

\_\_\_\_\_

\_\_\_\_\_

**Design Guidelines** Please cite the applicable sections of the design guidelines ([www.rhdc.org](http://www.rhdc.org)).

Section/Page	Topic	Brief Description of Work
		CHANGE WINDOW CONFIGURATION
		ADD CRAWL SPACE ACCESS
		FACADE CHANGE
		ADD FENCE

516 Euclid proposal for Minor Work:

We request permission for four minor changes for 516 Euclid St.

1) Because we decided to do a crawlspace instead of a basement, we require an exterior entrance to our crawlspace. We have sited this entrance on the northeast corner—this was the only viable location for the entrance, as determined by site conditions. It is a 3x3 standard crawlspace entrance with an access well made of concrete slabs and concrete block and a wood access door.

2) We made minor adjustments to the layout of three south facing windows.

a) Window in living room was changed from four fixed panels to two fixed panels with four operable windows below. The overall size of this window did not change.

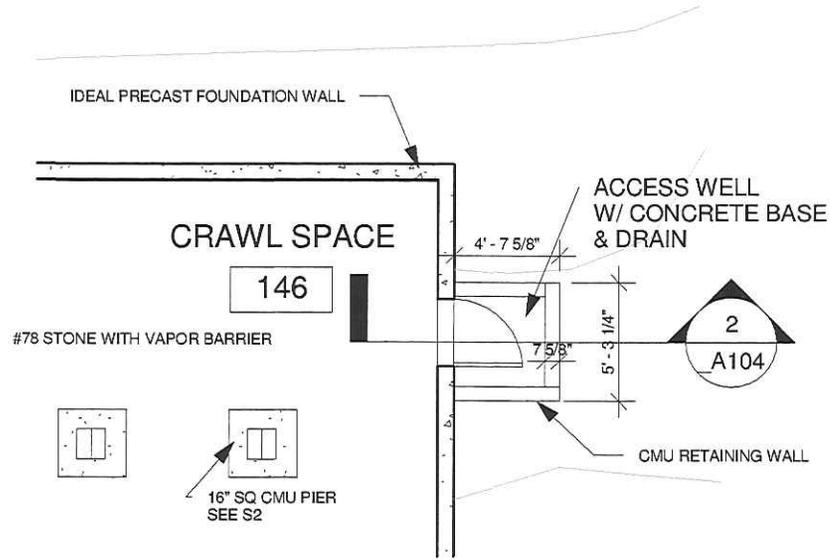
b) Both the window on the south side of the garage and studio changed from four operable casements to one fixed panel and two operable casements on either side of the fixed panel. The overall size of these windows did not change.

See attached drawing that reflects the new window formations on the south side.

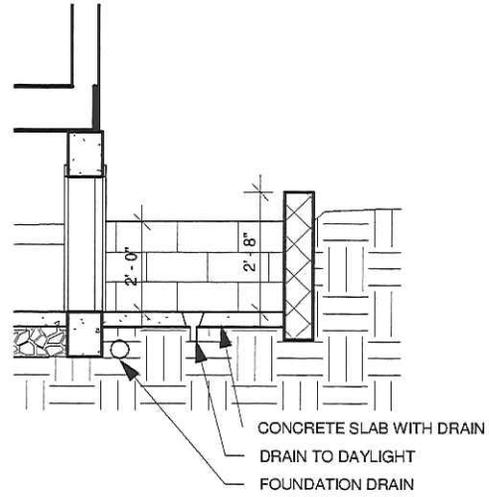
3) The original plan for the north face of the second floor of the garage building was to use hardiepanel between the second floor windows; we now propose using cypress (the other primary exterior material, which has already been approved for the structure) instead. See attached drawing.

4) Prior to starting construction on the house we removed a chainlink fence that ran along the south side of our lot, and we propose replacing it with a 42" high vertical picket painted wood fence that runs back length of the property (and stops at the tree behind our garage building). The fence will be designed to have identical faces on either side of the property line (see attached drawing). The fence is in keeping with guideline 2.4.8: Introduce compatible new fences and walls constructed of traditional materials only in locations and configurations that are characteristic of the historic district. Keep the height of new fences and walls consistent with the height of traditional fences and walls in the district.

#1



1  
A104 1/8" = 1'-0"



2  
A104 1/4" = 1'-0"

1/13/2014 9:33:22 AM

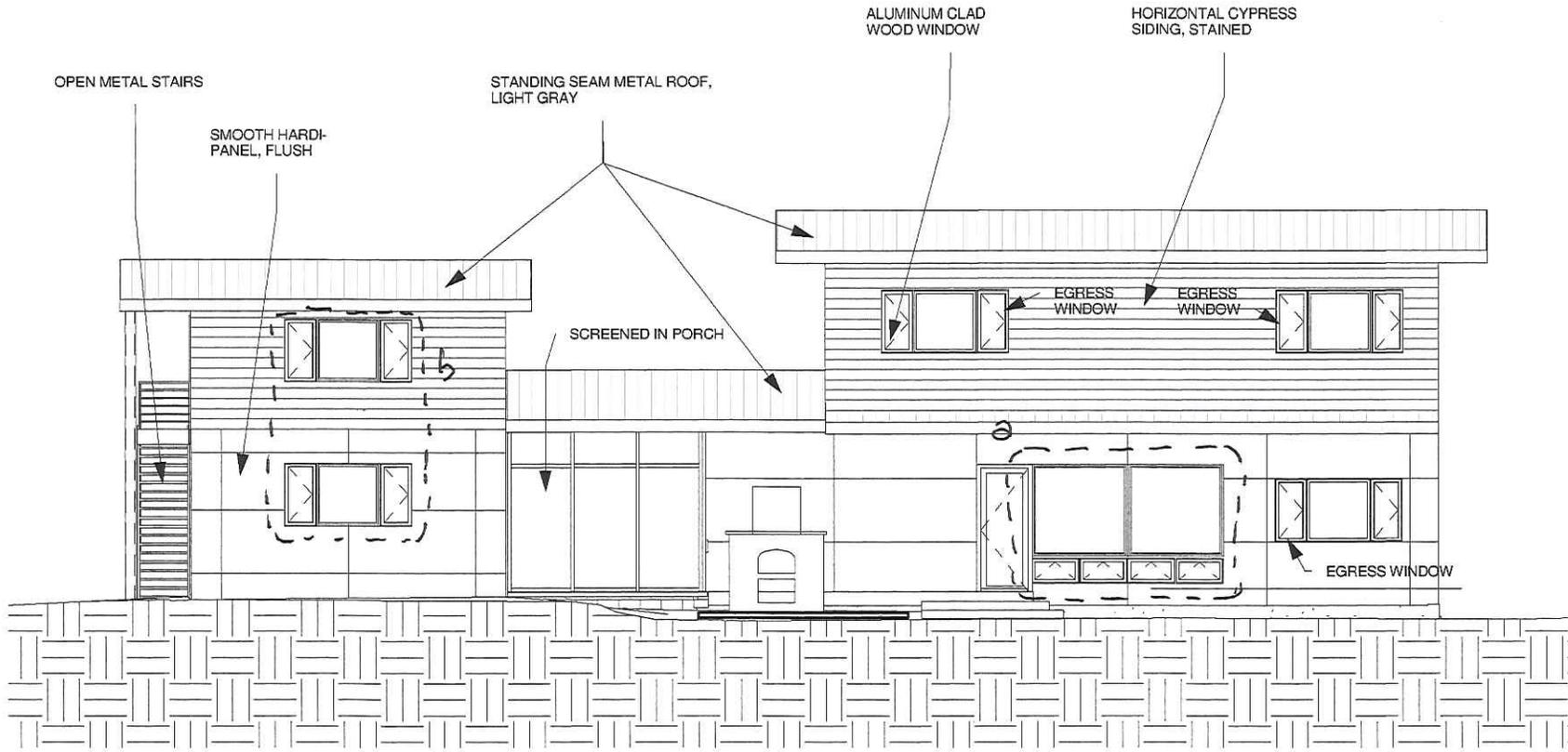
CHERRY / GORDON RESIDENCE

ACCESS TO CRAWL SPACE

LOUIS CHERRY, FAIA  
 421 N Bloodworth St  
 Raleigh, North Carolina 27604  
 919.971.2299T  
 www.louischerry.com

\_A104

#2



1/10/2014 3:56:38 PM

CHERRY / GORDON RESIDENCE

SOUTH ELEVATION

\_A202

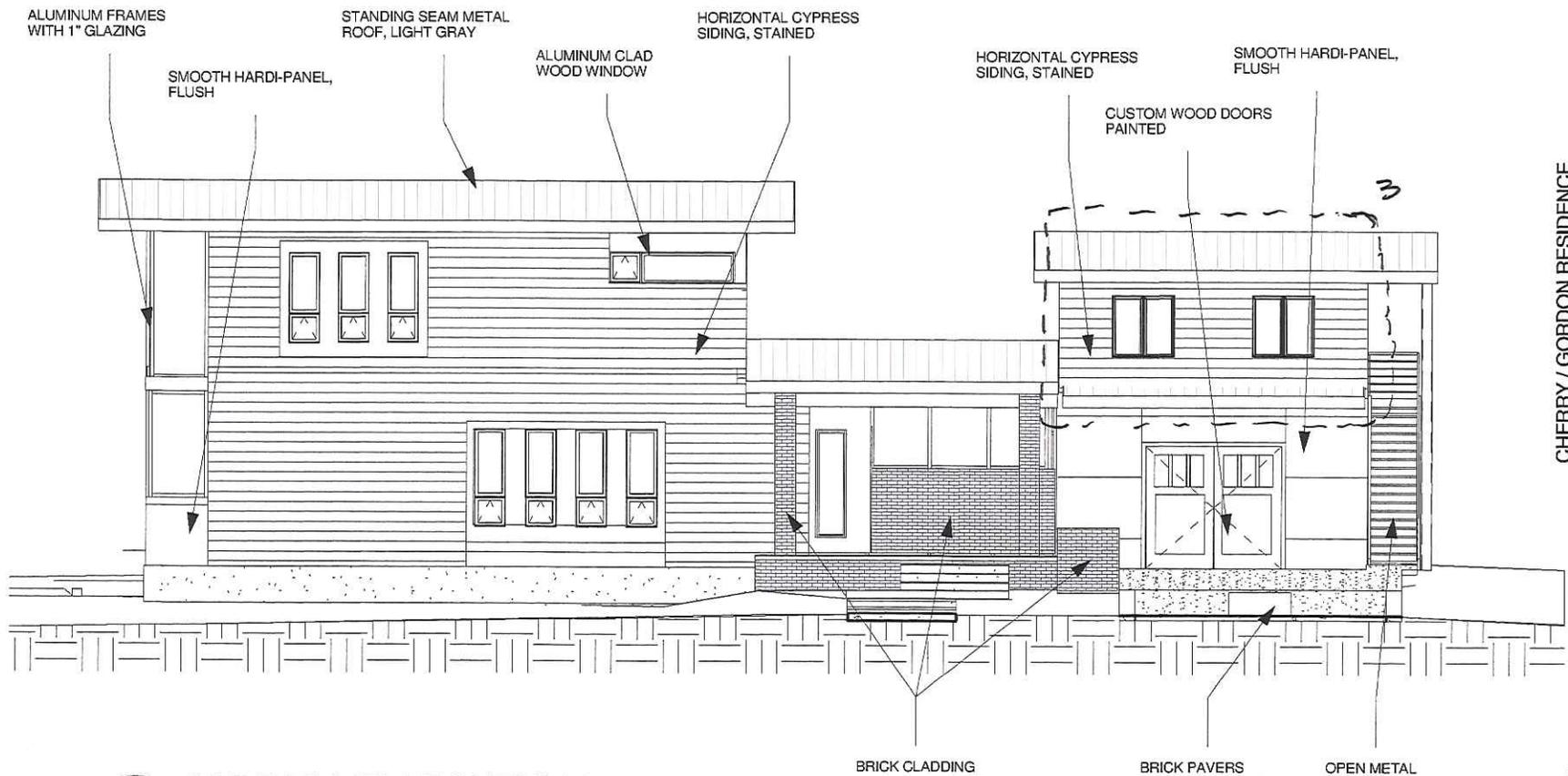
1  
A202

# SOUTH ELEVATION

3/32" = 1'-0"

LOUIS CHERRY, FAIA  
 421 N Bloodworth St  
 Raleigh, North Carolina 27604  
 919.971.2299 T  
 www.louischerry.com

#3



1 NORTH ELEVATION  
 A201 3/32" = 1'-0"

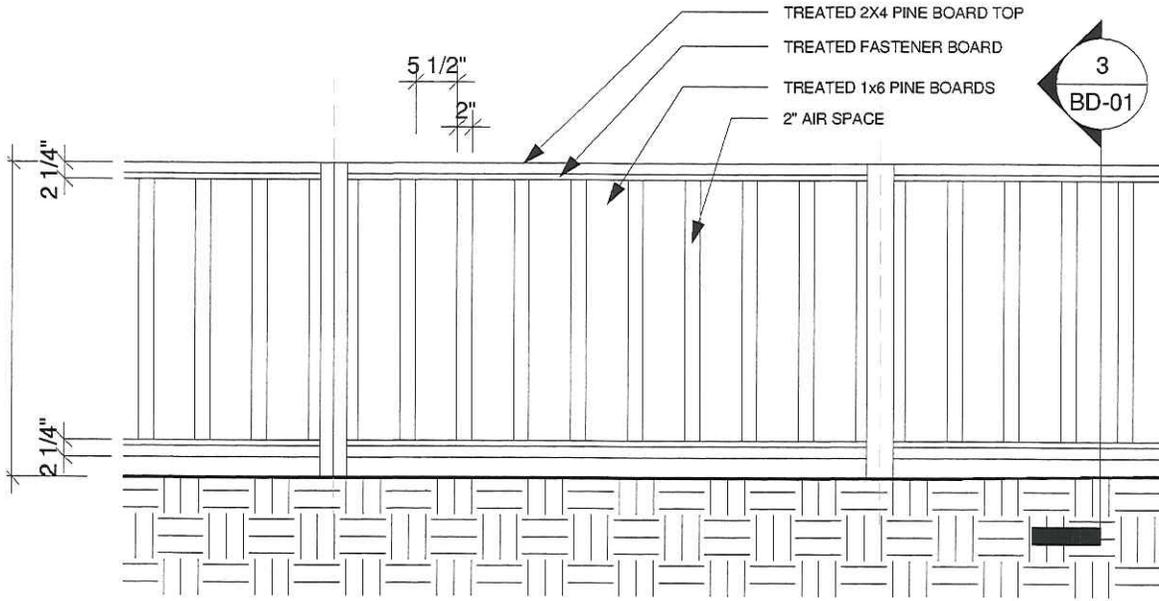
1/10/2014 3:56:37 PM  
 CHERRY / GORDON RESIDENCE

NORTH ELEVATION

LOUIS CHERRY, FAIA  
 421 N Bloodworth St  
 Raleigh, North Carolina 27604  
 919.971.2298T  
 www.louischerry.com

\_A201

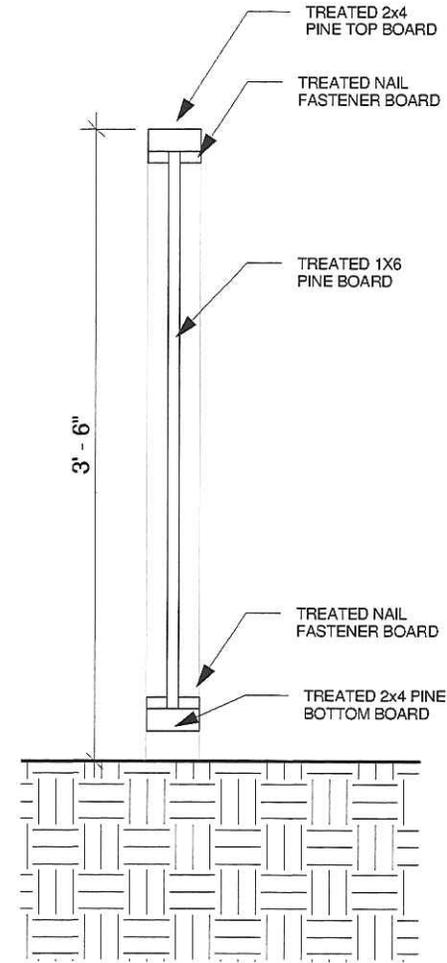
#4



1 FENCE ELEVATION  
BD-01 1/2" = 1'-0"



2 FENCE PLAN  
BD-01 1/2" = 1'-0"



3 FENCE SECTION  
BD-01 1" = 1'-0"

1/10/2014 11:00:05 AM

CHERRY / GORDON RESIDENCE

SKETCH 8X11

LOUIS CHERRY, FAIA  
421 N Bloodworth St  
Raleigh, North Carolina 27604  
919.971.2299  
www.louischerry.com

BD-01



## Tully, Tania

---

**From:** Louis Cherry <lou.cherry9@gmail.com>  
**Sent:** Wednesday, January 15, 2014 6:41 PM  
**To:** Tully, Tania  
**Cc:** Marsha Gordon  
**Subject:** Re: Minor Work COA

Hi Tania,

To the last point, we agree that we will dig by hand holes near existing trees 8" DBH or greater and 1" or larger roots will be cleanly cut by hand.

Please let us know if you need anything else.

Thanks,  
Louis

On Jan 15, 2014, at 3:13 PM, "Tully, Tania" <[Tania.Tully@raleighnc.gov](mailto:Tania.Tully@raleighnc.gov)> wrote:

Marsha and Louis –

I am in receipt of your COA application and need the following additional information in order to complete my review:

- Current photos of the property;
- Site/plot plan showing the proposed location of the fence;
- Confirmation that the post holes near existing trees 8" DBH or greater will be hand dug and that all roots larger than 1" in diameter will be cut cleanly with a proper tool.

Thanks!  
Tania

Tania Georgiou Tully, Preservation Planner  
Long Range Planning Division  
Raleigh Department of City Planning  
919.996.2674 **new phone number**  
919.516.2684 (fax)  
[tania.tully@raleighnc.gov](mailto:tania.tully@raleighnc.gov)

"E-mail correspondence to and from this address may be subject to the North Carolina Public Records Law and may be disclosed to third parties by an authorized City or Law Enforcement official."

Louis Cherry, FAIA  
421 N Bloodworth St  
Raleigh, NC 27604  
919-971-2299  
[lou.cherry9@gmail.com](mailto:lou.cherry9@gmail.com)  
[louischerry.com](http://louischerry.com)

## Tully, Tania

---

**From:** Louis Cherry <lou.cherry9@gmail.com>  
**Sent:** Friday, January 17, 2014 10:51 AM  
**To:** Tully, Tania  
**Subject:** photos

Hi Tania,

So sorry for the difficulty with getting appropriate photos to you. I just sent a drop box link with 3-4MB files that should be plenty big. Please let me know that you get these and that they work. Sorry it is such a pain.

Thanks,

Louis

Louis Cherry, FAIA  
421 N Bloodworth St  
Raleigh, NC 27604  
919-971-2299  
[lou.cherry9@gmail.com](mailto:lou.cherry9@gmail.com)  
[louischerry.com](http://louischerry.com)



Euclid Fence Line 1



Euclid Crawl Access



Euclid Fence Line



Euclid End of Fence



Euclid Rear Elevation